



TO THE HONORABLE MAYOR AND COUNCIL:

DATE: February 24, 2015

SUBJECT: APPEAL OF THE PLANNING COMMISSION’S APPROVAL OF THE OAKMONT SENIOR LIVING USE PERMIT AN DESIGN REVIEW APPLICATION (PL1400211 – UP, DR) TO CONSTRUCT A 76-UNIT SENIOR ASSISTED LIVING FACILITY AT 1401 CIVIC COURT

Report in Brief

On January 7, 2015, the Planning Commission unanimously approved the Oakmont Senior Living Use Permit and Design Review application to construct an approximately 100,000 square-foot, 76-unit, senior assisted living facility at 1401 Civic Court. On January 14, 2015, Oakmont Senior Living LLC (“Appellant”) filed a timely appeal, requesting to amend a condition of approval related to parking requirements.

The City Council, as the appellate body, is required to conduct the hearing “de novo” and may consider new materials and testimony in addition to the same application, plans, and related project materials that were the subject of the Planning Commission’s decision. Based on the discussion and analysis set forth in the following report, staff recommends the City Council deny the appeal and approve the Oakmont Senior Living Use Permit and Design Review (PL1400211), subject to the Conditions of Approval adopted by Planning Commission Resolution No. 15-01PC.

Background

On May 19, 2014, the Appellant applied for a use permit and design review approval to construct a senior assisted living facility on a 2.42 acre site located at 1401 Civic Court. The approximately 100,000 square foot, 76-unit facility will offer individual rooms and apartment-style suites with full kitchens to accommodate seniors who require various levels of assisted care. Proposed project amenities and services include private and formal dining rooms, café, entertainment and activity rooms, beauty salon, library, in-house wellness and fitness center, on-call car service, and specialized memory care. The 24-hour facility will have approximately 38 employees consisting of 30 non-administrative staff on morning, afternoon, or evening shift schedules, and eight administrative staff on standard 8 a.m. – 5 p.m. schedules.

The project was recommended for approval by the Design Review Board on July 24, 2014, and the application deemed complete on October 14, 2014. The use permit and design review application were first considered by the Planning Commission on December 3, 2014 (staff report included in Attachment D). The Planning Commission indicated support for the project but had concerns related to the number of on-site

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parking spaces proposed and continued the hearing to allow the Appellant to return with a parking program to address the project's potential parking impacts. On January 21, 2015, the Appellant returned to the Planning Commission with a Transportation Management Plan (TMP), at which meeting the use permit and design review application was approved with conditions requiring additional parking measures and modification to the TMP.

Discussion

The Development Code does not contain a parking standard for assisted living facilities. The required parking is established through the use permit review process on a case-by-case basis. A trip generation and parking study (Attachment F) was prepared for the project that estimated a parking need of 22 spaces based on the following analysis:

- Nineteen parking spaces are needed for employees. The study surveyed two Oakmont facilities in Alameda and found that as much as 33% of employees utilized other modes of travel to work other than a single-occupant vehicle. The modes of travel observed include walking, biking, public transit, and rideshare. In this case, the study applied a 20% reduction in parking demand for the 22 employees at the maximum work shift between 2:30 p.m. – 5:00 p.m. This resulted in an estimate of 19 employees needing parking and three employees taking alternative modes of travel.
- Two parking spaces are needed for visitors. The study observed an average of two visitors, including health professionals, between one-hour sample periods during morning, afternoon, and evening times at two other Oakmont facilities.
- One parking space is needed for Oakmont's on-call car service.

The project includes 31 on-site parking spaces, resulting in nine parking spaces above the study's projected need. The Planning Commission believed the parking study projections were too conservative, especially for visitor parking. The Planning Commission was also concerned with parking demand during special events such as holiday parties, that would require vendor parking and likely encourage more visitors. The Planning Commission requested the Appellant develop a parking program that provided off-site parking, valet parking for special events, incentives for using public transit, and other measures to address potential parking issues.

The Appellant developed a Transportation Management Plan (TMP) in response to the Commission's concerns (Attachment G). The proposed TMP consists of four response levels to potential parking issues and includes, among other things, valet parking services for special events, on-call car service for residents' needs, programs and incentives encouraging employee transit and carpooling, BART shuttle service, and off-site parking at a nearby facility and at Oakmont's Montecito facility on Clayton Road.

The Planning Commission supported the TMP, and, after much deliberation, approved the project, adding conditions of approval (COA's) to further address parking concerns (Attachment E). The COA's, in

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particular COA #28, require establishing criteria approved by the City's Transportation Manager to determine when each TMP level is implemented; placing notices in conspicuous locations with information on how to lodge parking complaints with the City; securing a written agreement to lease 20 off-site employee parking spaces at "a nearby facility" on-going monitoring of parking conditions; annual reporting of parking conditions to the City's Transportation Manager during the first two years of occupancy; and setting a 30-day time limit to have Oakmont management address parking complaints. Condition of Approval #28 is the subject of the appeal.

The following analyzes three options for City Council action regarding the appeal:

1. Deny the appeal and uphold the Planning Commission's approval of the project with COA #28 as currently worded.

The approved COA #28 is provided below in its entirety.

28. *Implement the Transportation Management Plan (TMP) prepared by Crane Transportation Group, dated December 22, 2014, subject to the amendments set forth herein. The TMP shall be implemented on an on-going basis to ensure adequate parking is provided for Oakmont residents, employees, and visitors at all times. The TMP is hereby amended to require the following prior to issuance of Certificate of Occupancy:*
 - (a) *TMP Level 1 shall be in effect immediately. Criteria shall be established as to when each additional TMP level is triggered, as approved by the Transportation Manager*
 - (b) *Notice shall be posted in conspicuous public locations (including the lobby or concierge desk) and in employee areas directing Oakmont residents, employees, and visitors to lodge parking complaints with the City; and*
 - (c) *Twenty (20) off-site employee parking spaces shall be provided as part of TMP Level 1 in place of TMP Level 3.*

The Planning Commission's intent in adding COA #28(a) was to require TMP Level 1 as standard measures that would be implemented immediately and on an on-going basis. TMP Level 1 measures would include the following:

- 1) Provide on-call, by appointment car service for all residents at all times.
- 2) Prepare and distribute materials that describe and promote TMP services.
- 3) Monitor parking use to ensure that the supply is adequate at all times.
- 4) Maintain transportation information and provide current information to employees and visitors. This will include bicycle and pedestrian walking maps to/from the facility and the surrounding bus stops and transit locations.
- 5) Ensure that plans are in place to handle seasonal events and valet parking services when needed. An event at the proposed facility, with an estimated 150 attendees, would require valet services to arrange for vehicle storage in advance of an event. The service would require 5 to 6

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valets who would maximize the use of on-site parking space during the event, parking vehicles off-site in the pre-arranged location, as needed.

- 6) Secure 20 off-site employee parking spaces at a nearby facility (added to TMP Level 1 per COA #28(c)).

With respect to off-site employee parking, the Planning Commission felt that this was the most effective way to address potential parking capacity issues, and thus prioritized its implementation by moving the requirement to secure 20 off-site employee parking spaces from a TMP Level 3 to TMP Level 1. All TMP Level 1 actions would be implemented with the opening of the project and on-going. . The Appellant indicated to the Planning Commission that it could secure parking at the Metroplex garage located across the project site, and that Sierra Pacific Properties, the Metroplex owner, has indicated that they are agreeable to leasing parking spaces.

The Development Code typically requires off-site parking be secured through a formal agreement that is recorded and constitutes a covenant running with the land where the parking is provided. This ensures that the off-site parking will remain available throughout the life of the project. The Appellant has proposed a month-to-month lease for off-site parking at Metroplex. The Planning Commission agreed to accept a month-to-month arrangement, and acknowledged that compliance with the off-site parking requirement was contingent on parking being made available to Oakmont. The Planning Commission and Appellant are in agreement on this less restrictive method of engaging off-site parking.

2. Grant the appeal and approve the project with the Appellant's proposed modification to COA #28.

The Appellant does not wish to be required to lease the off-site spaces, and requests to leave that determination to Oakmont's Transportation Coordinator who will determine "if and when" such off-site parking is needed. Appellant proposes revising COA #28(a) as follows (deleted portions in strikethrough text with new language indicated in **bold** text):

~~TMP Level 1 shall be in effect immediately. Criteria shall be established as to when each additional TMP level is triggered, as approved by the Transportation Manager;~~ **Have in place a Transportation Coordinator to monitor parking on an on-going basis. TMP Level 1 shall be implemented if and when needed. Criteria shall be established as to when each additional TMP level is triggered, as approved by the Transportation Manager;**

Staff does not recommend the proposed modification from the Appellant for the following reasons:

- 1) the proposed revision to COA #28(a) gives the Appellant sole discretion on implementing TMP Level 1, and thus prevents the City from enforcing the strongest component of the TMP; and
- 2) the proposed revision to COA#28(a) does not require off-site parking as an available option at the project's outset, which the Planning Commission determined was the most effective TMP measure to address potential parking issues.

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Without an off-site parking agreement in place, the only option for additional parking would be for employees and/or visitors to utilize on-street parking. However, the Development Code requires projects to meet their parking need on-site. Moreover, on-street parking is prohibited along the project's frontage, except for a short segment of Civic Court that will likely be eliminated to accommodate a planned bus stop. This will force Oakmont employees and/or visitors to utilize street parking in front of other businesses on Civic Court. It is also worth noting that Waterworld visitors take up much of the street parking in summer. The proposed condition also does not allow any mechanism for the City to be aware that parking is a problem because the parking situation would be handled by the project's on-site Transportation Coordinator.

Therefore, staff recommends that the City Council deny the appeal and approve the Oakmont Senior Living Use Permit and Design Review (PL1400211), subject to the Conditions of Approval adopted by Planning Commission per Resolution No. 15-01PC.

3. Deny the appeal and approve the project with modifications to COA#28 as recommended by staff.

As a third option, the City Council may wish to deny the appeal and modify COA #28 in a different manner. For example, the City Council may consider moving the off-site employee parking requirement to TMP Level 2 as follows:

28. Implement the Transportation Management Plan (TMP) prepared by Crane Transportation Group, dated December 22, 2014, subject to the amendments set forth herein. The TMP shall be implemented on an on-going basis to ensure adequate parking is provided for Oakmont residents, employees, and visitors at all times. The TMP is hereby amended to require the following prior to issuance of Certificate of Occupancy:

- (a) TMP Level 1 shall be in effect immediately. Criteria shall be established as to when each additional TMP level is triggered, as approved by the City Transportation Manager.
- (b) Notice shall be posted in conspicuous public locations (including the lobby or concierge desk) and in employee areas directing Oakmont residents, employees, and visitors to lodge parking complaints with the City; and
- (c) Twenty (20) off-site employee parking spaces shall be provided as part of TMP **Level 2** in place of TMP Level 3.

This change would not require immediate implementation of the off-site parking in TMP Level 1, but would allow the City's Transportation Manager to set the criteria for implementing TMP Level 2, including off-site employee parking

Alternative Courses of Action

The Council may take a number of alternative actions on the appeal. Staff has identified several below:

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1. Adopt City Council Resolution No. 15-9 (Attachment B), denying the appeal and upholding the action of the of the Planning Commission to approve the Oakmont Senior Living Use Permit and Design Review application (PL1400211), subject to the Conditions of Approval contained therein as Exhibit A.
2. Adopt City Council Resolution No. 15-13 (Attachment C) granting the appeal and approving the Oakmont Senior Living Use Permit and Design Review (PL1400211), with modifications to COA #28 as proposed by the Appellant, and contained therein as Exhibit A.
3. Adopt a modified version of City Council Resolution No. 15-9, denying the appeal and approving the Oakmont Senior Living Use Permit and Design Review (PL1400211), with revisions to COA #28 as follows:
 28. *Implement the Transportation Management Plan (TMP) prepared by Crane Transportation Group, dated December 22, 2014, subject to the amendments set forth herein. The TMP shall be implemented on an on-going basis to ensure adequate parking is provided for Oakmont residents, employees, and visitors at all times. The TMP is hereby amended to require the following prior to issuance of Certificate of Occupancy:*
 - (a) *TMP Level 1 shall be in effect immediately. Criteria shall be established as to when each additional TMP level is triggered, as approved by the Transportation Manager.*
 - (b) *Notice shall be posted in conspicuous public locations (including the lobby or concierge desk) and in employee areas directing Oakmont residents, employees, and visitors to lodge parking complaints with the City; and*
 - (c) *Twenty (20) off-site employee parking spaces shall be provided as part of TMP Level 2 in place of TMP Level 3.*
4. Continue the public hearing to allow the project proponent and/or staff to respond to issues raised by the Council.

Fiscal Impact

The proposed assisted living facility would have a negligible fiscal impact on the City.

Public Contact

Notification was mailed to all owners and occupants of property within five-hundred (500) feet of the subject parcel as required by the Concord Municipal Code. This item has also been posted at the Civic Center and at the subject site at least 14 days prior to the public hearing. Prior to the hearing on the development application, the applicant conducted a neighborhood meeting.

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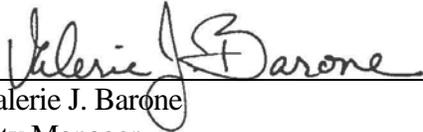
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Staff Recommendation

Staff recommends that the City Council adopt Resolution No. 15-9, denying the appeal and upholding the action of the of the Planning Commission to approve the Oakmont Senior Living Use Permit and Design Review application (PL1400211), subject to the Conditions of Approval contained therein as Exhibit A.

Prepared by: Frank Abejo
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Valerie J. Barone
City Manager
Valerie.barone@cityofconcord.org

Reviewed by: Victoria Walker
Director of Community &
Economic Development
Victoria.walker@cityofconcord.org

Attachments:

- Attachment A- Oakmont Senior Living LLC Appeal, date-stamped January 14, 2015
- Attachment B- City Council Resolution No. 15-9, denying the appeal and upholding the Planning Commission approval for Oakmont Senior Living Use Permit and Design Review with Conditions of Approval (Exhibit A)
- Attachment C- City Council Resolution No. 15-13, granting the appeal and approving the Oakmont Senior Living Use Permit and Design Review application with modifications to Conditions of Approval (Exhibit A)
- Attachment D- Planning Commission staff reports of December 3, 2014 and January 7, 2015
- Attachment E- Planning Commission-approved Conditions of Approval
- Attachment F- Trip Generation and Parking Study for Oakmont Senior Living, March 20, 2014
- Attachment G- Transportation Management Plan, December 22, 2014
- Attachment H- Project Plans, date-stamped September 23, 2014

RECEIVED

JAN 14 2015

PLANNING

Attachment A

RECEIVED

CITY OF CONCORD

Concord

2015 JAN 14 PM 12:00

NOTICE OF APPEAL

[Concord Municipal Code 2801(b)]

CITY CLERK'S OFFICE
ADMINISTRATIVE
SERVICES

FOR STAFF USE ONLY	
PUBLIC NOTICE FEE \$	_____
<small>(According to Fees and Charges Resolution)</small>	
DATE PAID	_____
FEE REC'D BY	_____

TO: City Council
 City of Concord
 1950 Parkside Drive, MS/03
 Concord, CA 94519-2578

DATE _____

I hereby appeal the decision / requirement of the Concord Planning Commission
(ADMINISTRATOR OR COMMISSION)

in approving / denying the application of OAKMONT Senior Living LLC
(NAME OF APPLICANT)

for Resolution No. 15-01PC
(TITLE OF ITEM BEING APPEALED) on January 7, 2015

Please indicate the specific action(s) or requirement(s) being appealed: Section 28(a)

Change the current language to the following: "Have in place a

Transportation Coordinator to monitor parking on an on-going

basis. TMP Level 1 shall be implemented if and when needed.

Criteria shall be established as to when each additional TMP level

is triggered, as approved by the Transportation Manager;"

William R. Mabry
(PRINT) NAME OF APPELLANT

William R. Mabry
SIGNATURE OF APPELLANT / REPRESENTATIVE

APPELLANT'S ADDRESS <u>220 Concourse Boulevard, Santa Rosa, CA 95403</u>		HOME PHONE	BUSINESS PHONE <u>707/535-3208</u>
ADDRESS FOR NOTICES <u>same</u>			
MY REPRESENTATIVE IS		BUSINESS PHONE	

FOR STAFF USE ONLY			
ADDRESS OF PROPERTY INVOLVED <u>1401 Civic Ct.</u>		MUNICIPAL CODE SECTION	
ASSESSOR'S PARCEL NUMBER(S) <u>126-300-052</u>			
FILE NUMBER <u>PL1400211</u>	FILE TITLE <u>Oakmont Senior Living</u>	NAME OF RESPONSIBLE PLANNER <u>F. Abejo</u>	REVIEWED BY (PLANNING STAFF) <u>F. Abejo</u>
RECEIVED BY <u>F. Abejo</u>	PROJECT PLANNER <u>F. Abejo</u>		

CITY CLERK USE ONLY	
Received written appeal on <u>1/14/15</u>	
Scheduled for Council agenda of <u>2/3/15</u>	to set for Public Hearing on <u>2/24/15</u>
<input type="checkbox"/> Copies distributed to appropriate parties	<i>Debra Jorkler</i> DEPUTY CITY CLERK

**BEFORE THE CITY COUNCIL OF THE CITY OF CONCORD
COUNTY OF CONTRA COSTA, STATE OF CALIFORNIA**

**A Resolution Denying an Appeal by Oakmont Senior
Living LLC, and Upholding the Approval for the
Oakmont Senior Living Use Permit and Design
Review (PL1400211 – UP, DR)**

Resolution No. 15-9

WHEREAS, on May 29, 2014, Oakmont Senior Living LLC, submitted a Use Permit and Design Review application (PL1400211 – UP, DR) to construct a 76-unit senior assisted living facility at 1401 Civic Court, APN 126-300-052; and

WHEREAS, on October 14, 2014, the application was deemed complete for processing; and

WHEREAS, the Planning Commission, after giving all public notices required by State law and the Concord Municipal Code, held a duly noticed public hearing on December 3, 2014, on the subject proposal; and

WHEREAS, the Planning Commission considered all oral and written information, testimony and comments received during the public review process, including information received at the public hearing and the oral and written reports from City staff dated December 3, 2014, as well as other documents contained in the record of proceedings relating to the proposed project, which are maintained at the offices of the City of Concord Planning Division; and

WHEREAS, on December 3, 2014, the Planning Commission continued the public hearing to January 7, 2015, to allow the applicant to return with a parking plan that addressed parking for visitors, employees, and residents during normal operations and special events; and

WHEREAS, on January 7, 2015, the Planning Commission, after consideration of all additional testimony and information, including a Transportation Management Plan prepared by Crane Transportation Group (TMP), dated December 22, 2014, adopted Resolution No. 15-01PC and approved the Oakmont Senior Living Use Permit and Design Review application (PL1400211 – UP, DR), subject to the findings and conditions of approval contained therein; and

WHEREAS, on January 14, 2015, Oakmont Senior Living LLC, filed a timely appeal of the Planning Commission approval for the Oakmont Senior Living Use Permit and Design Review

1 application (PL1400211 – UP, DR), in order to amend Condition of Approval #28(a) for the project;
2 and

3 **WHEREAS**, the City Council, after giving all public notices required by State Law and the
4 Concord Municipal Code, held a duly noticed public hearing on February 24, 2015, regarding the
5 subject appeal; and

6 **WHEREAS**, on February 24, 2015, the City Council, after consideration of all pertinent plans,
7 documents and testimony, declared their intent to deny the appeal and uphold the Planning
8 Commission approval for the Oakmont Senior Living Use Permit and Design Review application
9 (PL1400211 – UP, DR).

10 **NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF CONCORD DOES**
11 **RESOLVE AS FOLLOWS:**

12 **Section 1.** Denies the appeal by Oakmont Senior Living LLC, and upholds the Planning
13 Commission approval for the Oakmont Senior Living Use Permit and Design Review (PL1400211 –
14 UP, DR) application, subject to the following findings and conditions of approval contained herein
15 as Exhibit A:

16 CEQA

- 17 1. The project is Categorically Exempt pursuant to the California Environmental Quality
18 Act (CEQA) of 1970, Section 15332, Class 32 “In-Fill Development Projects,” because:
- 19 a. The project is consistent with the Concord 2030 Urban Area General Plan and
20 Concord Development Code, as further explained in the Use Permit Findings
21 below;
 - 22 b. There is no specific plan applicable to the project site;
 - 23 b. The project is located within City limits on a site less than five acres and
24 surrounded by urban uses;
 - 25 c. The project site has no value as habitat for endangered, rare, or threatened species;
 - 26 d. The project will not result in any significant effects relating to traffic, noise, air
27 quality, or water quality; and
28

1 e. The site can be adequately served by all required public utilities and public
2 services.

3 2. The project does not present unusual circumstances.

4 3. There is no reasonable possibility that the proposed project will have a significant
5 effect on the environment due to unusual circumstances.

6 4. The determination that a categorical exemption applies to the project reflects the
7 independent judgment and analysis of the City as the lead agency.

8 Use Permit

9 5. *The proposed use is allowed within the applicable zoning district and complies with all*
10 *other applicable provisions of the development code and the CMC.* The proposed use is a
11 Residential Facility for Seniors, Assisted Living, which is an allowed use within the DMX
12 (Downtown Mixed Use) Zoning District. The project meets standards for lot area, floor area
13 ratio, setbacks, and building height of DMX zoning, satisfies applicable requirements under
14 Development Code, Division IV, General Development Standards, and complies with all other
15 applicable provisions of the Development Code and Concord Municipal Code.

16 6. *The proposed use is consistent with the general plan and any applicable specific plan.*
17 The project provides a special housing need in an area predominated by office uses and is thus
18 consistent with the intent of the Downtown Mixed Use designation to establish a mix of
19 residential, commercial, and offices uses for the area. Additionally, the project is consistent
20 with General Plan policies encouraging a variety of housing types on infill sites (Policy LU-
21 1.3.1) and locating senior housing developments near shopping and other services, including
22 public transit (Housing Element Program H-3.1.2).

23 7. *The design, location, size and operating characteristics of the project are compatible*
24 *with existing and future uses in the vicinity.* The project's design, location, size, and operating
25 characteristics comply with the applicable standards related to circulation, access, parking,
26 landscaping, drainage, building design, etc., to ensure compatibility with existing and future
27 uses in the vicinity. As an added measure, the project will implement and manage a
28

1 Transportation Management Plan (TMP) on an-going basis that will provide additional off-site
2 parking as needed, and incentives for taking alternative modes of travel.

3 8. *The site is physically suitable for the type, density and intensity of the proposed use,*
4 *including access, utilities, and absence of physical constraint.* The 2.42-acre site is not
5 physically constrained and can accommodate up to four times the project's proposed floor area
6 ratio, and is thus physically suitable for the proposed development. The project will provide
7 sufficient parking, landscaping, access, utilities (including stormwater treatment areas), and
8 frontage improvements as required by the applicable codes and regulations to serve the project
9 site and surrounding area.

10 9. *Granting the permit will not be detrimental to the public health, safety, or welfare of*
11 *the persons residing or working in the subject neighborhood or materially detrimental or*
12 *injurious to property or improvements in the vicinity and zoning district where the property is*
13 *located.* The proposed assisted living facility for seniors is allowed by the DMX (Downtown
14 Mixed Use) zoning that applies to the property and surrounding areas. The project will not be
15 detrimental to the public health, safety, or welfare of persons residing or working in the
16 neighborhood because it will meet or exceed the applicable development standards to ensure
17 setbacks, landscaping, parking, and other project features are appropriate for the area. As an
18 added measure, the project will implement and manage a Transportation Management Plan
19 (TMP) on an-going basis that will provide additional off-site parking as needed, and incentives
20 for taking alternative modes of travel.

21 Design and Site Development Review

22 10. The project is consistent with the General Plan as explained in finding 6 above.

23 11. The project meets the following criteria in Section 18.415.080 (Design Criteria):

- 24 a. *The building design and landscaping supports public safety and security by*
25 *allowing for surveillance of the street by people inside buildings and elsewhere on the*
26 *site.* The project will have a single point of entry that will be monitored and secured
27 24-hours a day. Building windows will face the streets to allow for surveillance by
28

1 people inside the building.

2 b. *The design is compatible with the historical or visual character of any area*
3 *recognized by the City as having such character.* The area is not recognized as a
4 historical, architectural, or scenic area by the City.

5 c. *The project design preserves major view and vistas along major streets and open*
6 *spaces and trails and enhances them by providing project amenities.* The site and
7 surrounding area is flat and has no topographically significant features, such as valleys,
8 hillsides, and ridgelines that provide scenic views or vistas. The proposed two-story
9 building will not impact existing views from the Walnut Creek Channel Trail.
10 Additionally, the project will construct a portion of the Mokelumne Aqueduct Trail as
11 part of the future Commerce Avenue extension.

12 d. *The proposed lighting and fixtures are designed to complement on-site buildings,*
13 *are of an appropriate scale for the development, and provide adequate light for safety*
14 *and security while minimizing glare.* Building-mounted light fixtures are designed to
15 complement the architecture and will include ground-mounted light fixtures to
16 illuminate paths of travel while minimizing glare.

17 e. *All mechanical, electrical, and utility equipment is located, screened, or*
18 *incorporated into the design of the buildings so as not to be visible from off-site, and*
19 *screening devices are consistent with the exterior colors and materials of the buildings.*
20 Mechanical and rooftop equipment will be screened by parapets that match the
21 buildings' architecture.

22 f. *The overall design of the project, including its scale, massing, site plan, exterior*
23 *design, and landscaping, enhances the appearance and features of the project site and*
24 *surrounding natural and built environment.* The project will enhance the vacant site
25 and surrounding area with a quality-designed building and by constructing
26 improvements such as landscaping, stormwater treatment areas, and new frontage
27 improvements at Waterworld Parkway and Commerce Avenue.
28

1 g. *The project design is appropriate to the function of the project and will provide an*
2 *attractive and comfortable environment for occupants, visitors, and the general*
3 *community.* The project will provide an attractive and comfortable environment for its
4 residents, employees, visitors, and the general community with amenities and services
5 that include private and formal dining rooms, café, entertainment and activity rooms,
6 beauty salon, library, in-house wellness and fitness center, on-site parking,
7 landscaping, stormwater treatment areas, and new frontage improvements including
8 public sidewalks at Waterworld Parkway and Commerce Avenue.

9 h. *The architectural details, colors, materials, and landscaping are internally*
10 *consistent, fully integrated with one another, and used in a manner that is visually*
11 *consistent with the proposed architectural design.* Exterior colors and materials
12 include earth tone browns and green, tile roof, wood shutters, and stone veneer that are
13 internally consistent and appropriate for the proposed Mission-style building.

14 i. *The project is compatible with neighboring development in the same Zoning*
15 *District by avoiding large differences in building scale and character and provides a*
16 *harmonious transition between the proposed project and surrounding development.*
17 The project is compatible with neighboring development which include low rise, two-
18 story office buildings similar in scale and character to the project.

19 j. *The project creates an attractive and visually interesting built environment with a*
20 *variety of building styles and designs, well-articulated structures that present varied*
21 *building facades, rooflines, and building heights within a unifying context.* Design
22 changes were made to the building to articulate key elements, vary building mass, and
23 provide visual interest in a unifying context by adding gable-end pop-outs, widening
24 hip roof elements, and applying colors and materials to contrast wall surfaces and
25 varying wall planes.

26 k. *The landscaping is compatible with and enhances the architectural character of the*
27 *buildings and site features, and blends with the surrounding landscape. Landscape*
28

1 *elements complement the buildings and rooflines through color, texture, density, and*
2 *form. Landscaping is in scale with on-site and off-site buildings, and plantings have*
3 *been selected and located to avoid conflicts with views, lighting, infrastructure,*
4 *utilities, and signage. The Design Review Board has reviewed the landscape plan and*
5 *determined that it is compatible with the building architecture.*

6 1. *Stormwater treatment areas have been integrated into the landscape design. The*
7 *project includes bio-retention areas integrated into the landscape design.*

8 m. *New construction does not need to match existing surrounding development or*
9 *buildings; however, the design shall complement or enhance existing development.*

10 The proposed building complements existing buildings including adjacent two-story
11 offices that are similar in scale and mass to the project, and use similar stucco and roof
12 tile materials.

13 12. *The project complies with the design standards for signs set forth in Development Code*
14 *Section 18.180.140. The proposed ground sign includes an attractive wood trellis element,*
15 *stucco body, and colors that are compatible with the building’s architecture and exterior*
16 *materials. Additionally, indirect lighting for the sign will be directed and shielded away from*
17 *other structures and properties.*

18 13. *The project is consistent with all applicable Design Guidelines adopted by the City*
19 *Council that are in effect at the time of approval. The project is consistent with the Concord*
20 *Community Design Guidelines because:*

21 a. *The building is designed to minimize its height from distant views with an*
22 *attractive four-sided design that includes quality finishes and details.*

23 b. *The building will screen mechanical equipment with architectural elements that*
24 *seamlessly blend with the overall design.*

25 c. *The building is designed to reflect the rhythm of vertical and horizontal patterns*
26 *expressed by existing office buildings in the area, many of which are two-story office*
27 *buildings.*

- 1 d. Exterior building details provide visually interesting facades by using quality
2 finishes of varying textures including brick, tile, and stucco, and by providing strong
3 horizontal and vertical relief with towers, reveals, recesses, and pop-outs.
- 4 e. The building is sited to maintain the streetscape geometry of buildings parallel to
5 Civic Court and the future Commerce Avenue extension, and avoids creating
6 conflicting or arbitrary spaces and building forms.
- 7 f. The project will provide at least five bicycle parking spaces as required by the
8 Development Code.
- 9 g. New lighting will consist of building mounted fixtures that will be screened by
10 landscaping or are placed a considerable distance from neighboring properties to avoid
11 light trespass. All new light fixtures will be glare-shielded and directed downward to
12 further minimize lighting impacts.
- 13 h. Proposed buildings are articulated to minimize bulk with building off-sets and pop-
14 outs that break up facades, by tower and gable roof elements to avoid a boxy look, and
15 by balancing vertical and horizontal architectural elements to create visual interest.
- 16 i. The building is articulated to minimize mass by drawing attention to smaller-scaled
17 elements of the building, varying roof heights, and by visually breaking up major
18 surface planes with architectural elements and different materials.
- 19 j. Building colors are also used to highlight smaller building elements and transitions
20 in materials to further minimize building mass.
- 21 k. Architectural elements such as tower pop-outs create a rhythm that provides visual
22 interest and variety, and elements that create shadow such as overhangs add visual
23 relief.
- 24 l. Durable materials such as stone, tile and stucco are used as appropriate for the
25 function of the building.
- 26 m. Tree and shrub plantings are clustered to soften building edges, create strong accent
27 points, and to compliment the function of landscaped stormwater treatment areas.
28

EXHIBIT A

**FINAL CONDITIONS OF APPROVAL
OAKMONT SENIOR LIVING
PL1400211 – UP, DR
1401 CIVIC COURT
APN: 126-300-052**

PERMIT DESCRIPTION

1. These Conditions apply to and constitute the approval of a **Use Permit** to establish a “Residential Facility for Seniors, Assisted Living” in the DMX (Downtown Mixed Use) district.
2. These Conditions apply to and constitute approval of **Design Review** for building architecture, landscaping, and related site improvements. Exterior building materials and colors shall be in substantial conformance with the approved plans as follows:

**Approved Colors
and Materials**

<u>Manufacturer/Material</u>	<u>Color/Sample No.</u>
Body 1 Stucco 20/30 sand finish	Kelly Moore Sand Pebble #171
Body 2 Stucco 20/30 sand finish	Kelly Moore Villita #136
Trim 1 Stucco	Kelly Moore Navajo White #36
Trim 2 Stucco	Kelly Moore African Plain KM3975-3
Trim 3 Stucco	Kelly Moore Vermeer’s Fields AC 251-5
Shutters Atlantic Premium wood shutters	041 Walnut
Window Frame Vinyl	Almond
Roof Material US Tile “S” type Mission Style Clay Roof Tile	Old World Blend

3. The following Exhibits, date stamped received by the City of Concord, on September 23, 2014, are approved and shall be incorporated as Conditions of Approval.

<u>Plan</u>	<u>Date Prepared</u>	<u>Prepared by</u>	<u>Sheet</u>
Title Sheet	July 1, 2014	Ali Iqbal	A0.1
Building Elevations	July 1, 2014	Ali Iqbal	A1.1
Floor Plan	July 1, 2014	Ali Iqbal	A2.1-A2.2
Roof Plan	July 1, 2014	Ali Iqbal	A2.3
Building Sections	July 1, 2014	Ali Iqbal	A3.3-A3.4
Site Sections	July 1, 2014	Ali Iqbal	A3.5

Landscape Plan	Sept. 19, 2014	Landesign Group	L1-L2
Photometric	Sept. 19, 2014	Landesign Group	L3
Dimensional Site Plan	Sept. 2014	Brelje & Race	C1A-C1B
Preliminary Grading Plan	Sept. 2014	Brelje & Race	C2
Preliminary Utility Plan	Sept. 2014	Brelje & Race	C3
Stormwater Control Plan	Sept. 2014	Brelje & Race	C4
Transportation Mgmt. Plan	December 22, 2014	Crane Transportation Group	N/A

GENERAL CONDITIONS

4. The Conditions are the responsibility of the applicant and all contractors. Compliance shall occur as specified in the Conditions or at one of the following project milestones:

- (a) With the submittal of Grading, Improvement, Landscape, or Building Plans.
- (b) Prior to issuance of Encroachment, Grading, or Building Permits, whichever comes first.
- (c) Prior to Construction.
- (d) On going during Construction.
- (e) Prior to occupancy approval.

If timing for compliance is not specified, it shall be determined by the Divisions listed after the Condition. (*PLNG, BLDG, ENGR*)

5. Where a plan or further information is required, it is subject to review and approval by the applicable City Department/Division, as noted at the end of each Condition. The Division listed first shall be the primary contact for implementation of that Condition. (*PLNG, BLDG, ENGR*)

6. The project shall comply with all applicable Federal and State laws and Concord Municipal Code (CMC) requirements. (*PLNG, BLDG, ENGR*)

7. Minor modifications that are found to be in substantial conformance with the approved plans such as colors, plant materials, or minor lot line adjustments, may be approved administratively. Major modifications shall be approved by the applicable decision making body. All plan modifications shall be listed, described, and a Summary of Plan Modifications shall be submitted as part of the Improvement, Landscape, Grading, and Building Permit Plans describing the modification and the reason for the modification. (*PLNG, ENGR*)

8. The Conditions of Approval shall be listed on a plan sheet that is included in the construction plan set (Grading, Utility, Landscape and Building Plans). (*PLNG, ENGR*)

9. Two annotated copies of the Conditions of Approval specifying how each applicable condition has been satisfied, shall be submitted as follows:

- a. At the time Grading, Utility, Landscape, and/or Building Plans are submitted for plan check, whichever comes first.
- b. Prior to occupancy approval. (*PLNG, ENGR*)

- 1 10. Submit three signed copies, one notarized, of the City’s “Property Maintenance Agreement”,
 2 to ensure on-going repair, replacement and maintenance of all exterior improvements
 3 including buildings, parking areas, private roads, walkways, landscaping, irrigation, signs,
 4 fences, walls, and other improvements, prior to issuance of Grading or Building permits,
 5 whichever comes first. *(PLNG)*
- 6 11. The project site and area surrounding the site shall be fenced and maintained in a weed and
 7 litter free condition for the period prior to construction. *(BLDG, PLNG)*

8 ARCHITECTURAL

- 9 12. Final building color scheme shall return to the Design Review Board for approval as a staff
 10 report item prior to issuance of Building Permit. *(PLNG)*
- 11 13. Rooftop equipment (HVAC, meters, refrigeration equipment, plumbing lines, ductwork and
 12 transformers), shall not extend above the building parapet and shall be screened from view on
 13 all sides with materials architecturally compatible with the main structure. Screening details
 14 shall be shown on the Building Plans and submitted for review and approval by the Planning
 15 Division, prior to the issuance of Building Permits and installed prior to occupancy approval.
 16 *(PLNG)*
- 17 14. Vents, gutters, downspouts, flashing, electrical conduits, etc., shall be painted to match the
 18 color of the adjacent surface, unless otherwise approved by the Planning Division. *(PLNG)*

19 LANDSCAPING

- 20 15. Submit Final Landscape Plans prepared by a Landscape Architect, registered by the State of
 21 California, for review and approval with the Grading, Improvement, or Building Plans,
 22 whichever comes first. The Plan shall be drawn on or consistent with the Grading,
 23 Improvement, Utility, and Stormwater Plans prepared by the Civil Engineer, with the
 24 following information:
- 25 a. A legend that lists all plant species (Latin and common name), including size,
 26 quantities, spacing, and ultimate height and width.
 - 27 b. Specifications and details for planting, including staking of trees and planting in bio-
 28 retention or other stormwater treatment areas. Plants for bio-retention facilities should
 be compatible with temporarily flooded conditions.
 - 29 c. Utility and Grading information on the base map, screened back.
 - 30 d. Trees (minimum size 24-inch box) and shrubs (minimum 5-gallon; accent or sub-
 shrubs may be 1-gallon).
 - 31 e. Root control barriers and four-inch perforated pipes for parking lot trees, street trees,
 and trees within 6 inch of any paved area or curb.
 - 32 f. Six-inch vertical concrete curbs around landscaped areas.
 - 33 g. A soils and plant laboratory analysis with recommendations for fertilization and
 mulching to be incorporated into the planting specifications.
 - 34 h. A Layout/Hardscape Plan showing the location and details of all non-plant
 improvements, with dimensions and call outs, showing finished grades,
 hardscape/paving treatment, planter details, arbors, trellis’, fences, walls, trash
 enclosures, and other features.

- 1 i. Details for street trees in accordance with City Standard Plan S-38, "Street Tree
2 Planting Detail". (*PLNG/ENGR*)
- 3 16. Submit a Project Landscape Application (PLA) prepared by a Landscape Architect, registered
4 by the State of California, for review and approval with the Grading, Improvement, or
5 Building Plans, whichever comes first. The PLA shall be prepared in accordance with the
6 requirements under Section 18.170.040 of the Concord Development Code. (*PLNG*)
- 7 17. All landscaping shall be installed prior to occupancy approval. Contact the Planning Division
8 at least two weeks prior to Occupancy, to request a site inspection of all exterior improvements
9 including buildings, driveways, parking lots, landscaping, irrigation, signs, lighting, walls,
10 fences, and trash enclosures. (*PLNG*)
- 11 18. Prior to occupancy approval, the licensed Landscape Architect shall:
- 12 a. Conduct a final field observation and an open trench examination of the irrigation
13 system.
- 14 b. Provide written certification that:
- 15 i) The landscaping and irrigation system were installed in conformance with the
16 approved Landscape and Irrigation Plans.
- 17 ii) The landscaping has been installed in accordance with the CCWD Water
18 Conservation Guidelines or the State of California Model Efficiency Water in
19 Landscaping Ordinance.
- 20 iii) An irrigation audit was performed and deficiencies were listed which will be
21 corrected within 30 days.
- 22 iv) There will be a minimum 60-day maintenance period for all landscape
23 improvements.
- 24 c. Provide a signed letter of compliance with the final construction documents stating that
25 the Landscape Architect has met all State and City requirements. (*PLNG*)
- 26 19. Fences and walls shall be a maximum height of three feet in required front yards and sight
27 visibility triangles, and a maximum height of six feet on side and rear property lines. Fences
28 off-set twenty four inches or greater from retaining walls shall be considered as separate
structures. (*PLNG*) **CMC**

LIGHTING

- 20 20. Show all exterior lighting including: building fixtures, walkway lighting, parking lot lighting,
21 and street lights on the Site, Utility, Landscape, and Building Plans, prior to the issuance of
22 any permits. The height and style of fixtures shall be shown. Energy-saving fixtures shall be
23 used and noted on the plans. (*PLNG, ENGR, BLDG*)
- 24 21. All exterior building and parking lot lighting shall provide illumination for safety and shall be
25 installed in a manner that is glare shielded and directed away from adjacent properties and
26 right-of-ways. (*PLNG*)
- 27 22. Submit a Photometric Plan for review and approval, showing the location of all light sources,
28 streetlight spacing, intensity of luminance, and uniformity ratio, in accordance with the City's
specifications, with the Improvement, Utility, or Building Plans, whichever comes first. The

1 photometric analysis shall be reviewed by Engineering Services for the determination of
2 streetlight spacing. (*ENGR, TRANS, BLDG, PD*)

3 **SIGNAGE**

- 4 23. A 30 sq. ft. ground sign is approved at the corner of Civic Court and Waterworld Parkway.
5 Construction plans showing details for installation, dimensions, font, logos, materials and
6 colors, including a sample of all materials and colors shall submitted for review and approval
7 prior to the issuance of a Sign Permit. (*PLNG*)
- 8 24. Internally illuminated signs shall have an opaque background, with only individual letters or
9 logos illuminated. (*PLNG*)
- 10 25. Pennants, banners, streamers, or flags in connection with special promotions and business
11 openings shall be permitted for a period not to exceed 30 days. The same, different, or similar
12 pennants, banners, streamers, and flags shall not be permitted within 150 calendar days after
13 such removal. No pennants, banners, streamers, balloons, inflatable devices, flags, or any other
14 advertising devices shall be mounted on or above any roof or mansard, or otherwise extend
15 above a parapet wall or ridge of a structure. (*PLNG*) **CMC**
- 16 26. The street address shall be incorporated on the ground sign. (*PLNG, BLDG*)
- 17 27. One sign denoting the architect, engineer, or contractor associated with the project may be
18 permitted on site. The maximum sign area shall be 12 sq. ft. within single family districts and
19 40 sq. ft. for other districts, of which 32 sq.ft. may be for the general contractor. These signs
20 shall be removed upon occupancy approval. (*PLNG*) **CMC**

21 **PARKING**

- 22 28. Implement the Transportation Management Plan (TMP) prepared by Crane Transportation
23 Group, dated December 22, 2014, subject to the amendments set forth herein. The TMP shall
24 be implemented on an on-going basis to ensure adequate parking is provided for Oakmont
25 residents, employees, and visitors at all times. The TMP is hereby amended to require the
26 following prior to issuance of Certificate of Occupancy:
- 27 (a) TMP Level 1 shall be in effect immediately. Criteria shall be established as to when
28 each additional TMP level is triggered, as approved by the Transportation Manager;
 - (b) Notice shall be posted in conspicuous public locations (including the lobby or
concierge desk) and in employee areas directing Oakmont residents, employees, and
visitors to lodge parking complaints with the City; and
 - (c) Twenty (20) off-site employee parking spaces shall be provided as part of TMP Level
1 in place of TMP Level 3. (*PLNG/TRAN*)
- 29 29. Oakmont shall monitor on-site and overflow parking on a regular basis. Program monitoring
shall include, but not be limited to, surveys of employees, residents, and visitors on a regular
basis, and surveying on- and off-site parking conditions in order to monitor parking demand
and assess the effectiveness of the Transportation Management Plan (TMP). The monitoring
results shall be provided to the City's Transportation Manager, who shall report the results to

the Planning Commission annually for the first two years from date of occupancy. *(PLNG/TRAN)*

30. If the City receives complaints concerning Oakmont employees, residents, or visitors parking on adjacent streets or insufficient on-site parking, the City will forward these complaints to Oakmont and will require Oakmont to take action in no more than 30 calendar days to address parking overflow problems by initiating the necessary adjustments to the Transportation Management Plan (TMP). Such adjustments may include, but should not be limited to, valet assisted parking, satellite parking with shuttle service for employees, additional off-site parking, additional incentives for employee ridesharing or transit use, or other measures deemed adequate by the City. *(PLNG/TRAN)*
31. All parking spaces shall be striped; full-size spaces shall be 9 ft. by 19 ft; compact spaces shall be 8 ft. by 16 ft. Parking spaces abutting a concrete curb for a landscaped planter may overhang into the planter area by two feet. *(PLNG, ENGR) CMC*
32. A screen wall or hedgerow shall be provided at the front end of unenclosed parking stalls, to minimize impacts to neighboring properties. *(PLNG)*
33. A maximum 25% of the required parking spaces may be compact. Compact stalls shall be clearly identified. *(PLNG, ENGR) CMC*
34. Parking shall comply with CMC §122-843, “Off-Street Parking Facilities” including motorcycle and bicycle parking spaces, drive aisle and parking space dimensions, turning radii, back-out dimensions, driveway clearances, landscape median dimensions, and other relevant information. *(ENGR, PLNG) CMC*
35. Provide a minimum five bicycle parking spaces. Facilities may be a freestanding bicycle rack or a wall-mounted bracket, with a stationary object to secure both wheels and the frame of a bicycle with a 6-foot cable and lock. Facilities shall be located in lighted, secure areas, and protected from the weather. The location of bicycle parking facilities shall be shown on the Civil Site, Landscape, and Building Plans as approved by the Planning and Transportation Divisions, prior to issuance of a Grading or Building permit, whichever comes first. *(PLNG, ENGR, TRANS)*
36. Handicapped parking spaces shall comply with Chapter 11 “Site Development Requirements for Handicapped Accessibility” of Title 24 of the California Code of Regulations, and be located as close as possible to the primary entrance. *(BLDG)*

STREET IMPROVEMENTS

37. Dedicate temporary construction easement to the City along **Waterworld Parkway and future Commerce Avenue** frontage, to accommodate construction of street improvements along Waterworld Parkway and Commerce Avenue, prior to issuance of any permits. The easement shall be 20 feet wide or to the building face, whichever is less. *(ENGR)*

- 1 38. Construct all improvements along the frontage on Civic Court including but not limited to:
2 driveway removal, ADA compliant frontage including sidewalk, driveway approaches and
3 installation of landscaping and other improvements if required. Striping at the intersection of
4 Waterworld Parkway and Civic Court and other frontage improvements shall conform to the
5 proposed improvement plans by HDR for Commerce Avenue extension and Bridge at Pine
6 Creek project, dated April 2013. Repair/replacement of deficient frontage improvements as
7 determined by the City engineer, prior to occupancy approval or Acceptance of improvements.
8 *(ENGR)*
- 9 39. Construct improvements along the frontage on Water World Parkway as indicated in the HDR
10 improvement plans for Commerce Avenue extension and Bridge at Pine Creek project, dated
11 April 2013, including but not limited to: curb, gutter, sidewalk, ADA compliant concrete
12 driveway approach, street lights, landscaping; storm drain system and conform to the existing
13 improvements. Install temporary landscaping between existing curb and proposed curb. The
14 frontage improvement starts from the intersection of Civil Court and Water World Parkway
15 and stops on the south side of the proposed ADA ramp at intersection of Water World
16 Parkway and Commerce Ave. *(ENGR)*
- 17 40. The developer shall pay for the cost of installation and inspection of the frontage
18 improvements along Commerce Avenue as shown in HDR plans prior to issuance of any
19 permits. *(ENGR)*
- 20 41. Slurry seal Civic Court from lip of gutter to street centerline, after completion of utility
21 undergrounding and frontage improvements, prior to the Acceptance of Improvements.
22 *(ENGR)*
- 23 42. Any trenching for underground utilities shall comply with the modified City Standard Detail
24 S-17 for pavement repair and possible slurry placement. *(ENGR)*
- 25 43. Construct all public facilities in accordance with the current Americans with Disabilities Act
26 (ADA), including driveways and curb ramps. *(ENGR)*
- 27 44. Show construction details for all pedestrian paths and trails on the Improvement Plans and
28 Final Landscape Plans. Trail crossings of streets shall have curb cuts, ramps, signs, and
pavement markings as approved by Engineering Services. *(ENGR)*

NOISE

45. Noise producing site preparation and construction activities shall be limited to the days and hours as set forth below:

Monday through Friday7:30 a.m. to 6:00 p.m.

Construction on Saturdays may be allowed only upon prior approval by the Building, Engineering, and Planning Divisions. No changes to these construction hours shall be allowed without the prior written consent of the City. A contact person shall be available during all construction activities in the evening and on weekends to respond to complaints and take actions necessary to reduce noise. *(BLDG, ENGR, PLNG)*

1 **CONSTRUCTION ACTIVITIES**

- 2 46. Contact Engineering Services to arrange for a Pre-Construction Meeting prior to issuance of
- 3 Grading or Building Permits, whichever comes first. (*ENGR*)
- 4 47. Implement a dust and construction noise control plan. Submit the plan to Engineering Services
- 5 for review and approval prior to issuance of the Grading Permit. (*ENGR*)
- 6 48. Construction equipment shall not be serviced at the site at any time. During construction no
- 7 deliveries shall be made to the site and no delivery vehicles (including gasoline tanker trucks)
- 8 shall enter the site between 6:00 p.m. and 7:30 a.m. on weekdays, and between 5:00 p.m. and
- 9 8:00 a.m. on weekends and federal holidays. Delivery vehicles shall have their engines turned
- 10 off during unloading. (*BLDG, ENGR, PLNG*)
- 11 49. Employ the quietest construction equipment available, to muffle noise from construction
- 12 equipment and keep all mufflers in good working order in accordance with State law. (*BLDG,*
- 13 *ENGR, PLNG*)
- 14 50. Implement the following measures during construction:
- 15 a. Gather all construction debris on a regular basis and place them in a dumpster or other
- 16 container that is emptied or removed on a weekly basis. When appropriate, use tarps on
- 17 the ground to collect fallen debris or splatters that could contribute to storm water
- 18 pollution.
- 19 b. Remove all dirt, gravel, rubbish, refuse, and green waste from the street pavement, and
- 20 storm drains adjoining the project site. During wet weather, avoid driving vehicles off
- 21 paved areas.
- 22 c. Broom sweep the public street pavement adjoining the project site on a daily basis.
- 23 Caked-on mud or dirt shall be scraped from these areas before sweeping.
- 24 d. Install filter materials (e.g., sandbags and filter fabric) at the storm drain inlet nearest
- 25 the downstream side of the site in order to preclude any debris or dirt from flowing into
- 26 the City storm drain system. Filter materials shall be maintained and/or replaced as
- 27 necessary to ensure effectiveness and to prevent street flooding. Dispose of filter
- 28 particles in an approved trash receptacle.
- e. Create a contained and covered area on the site for the storage of bags, cement, paints,
- flammable, oils, fertilizers, pesticides, or any other materials used on the site that have
- the potential for being discharged to the storm drain system by being windblown or in
- the event of a material spill.
- f. Never clean items such as machinery, tools, and brushes or rinse containers in a street,
- gutter, or storm drain.
- g. Ensure that concrete, gunite, plaster, or similar supply trucks do not discharge wash
- water into street gutters or drains. (*ENGR, BLDG*)
51. No equipment shall be started or staging area be established on the streets or the site before or
- after the specified hours of construction. (*ENGR, BLDG*)

- 1 52. Ensure that no debris or construction scrap material is placed on any adjoining lot, open space
2 area, or street, and that any such material stored on an adjoining site shall be completely
3 removed and the site cleaned, prior to occupancy approval. (*ENGR, BLDG*)
- 4 53. At no time shall campers, trailers, motor homes, or any other vehicle be used as living or
5 sleeping quarters on the construction site unless authorized for site security. (*ENGR, BLDG*)
- 6 54. There shall be no parking of construction equipment or construction worker's vehicles on
7 residential streets at any time; all vehicles shall be maintained on-site. (*ENGR, BLDG*)
- 8 55. Portable toilets used during construction shall be kept as far as possible from adjacent
9 properties and shall be emptied on a regular basis as necessary to prevent odor. (*ENGR,*
10 *BLDG*)
- 11 56. Identify truck routes for the import or export of cut/fill material and/or construction debris for
12 review and approval by the City Engineer prior to the issuance of permits. Repair any damage
13 to City streets (private and public) caused by activity associated with this project. (*ENGR*)
- 14 57. In the event of the encounter of subsurface materials suspected to be of an archaeological or
15 paleontological nature, all grading and/or excavation shall cease, the find shall be left
16 untouched, and the City Planning Division shall be immediately notified. The County Coroner
17 and the Native American Heritage Commission shall also be notified and the procedures
18 required in CEQA §15064.5 shall be followed. This requirement shall be noted on the Grading
19 and Building Plans, prior to issuance of permits. (*PLNG, ENGR, BLDG*)
- 20 58. In the above event, retain a qualified professional archaeologist certified by the Register of
21 Professional Archaeologists or paleontologist with a degree(s) in paleontology or geology, to
22 evaluate and make recommendations as to disposition, mitigation and/or salvage. The
23 recommendation shall be implemented before work may proceed. The applicant shall be
24 responsible for all costs associated with the professional investigation and implementation.
25 (*PLNG, ENGR, BLDG*)

CONSTRUCTION PLAN REVIEW/PRE-PERMIT REQUIREMENTS

- 26 59. Submit two copies of Preliminary Title Report, prepared within three months prior to plan
27 submittal. (*ENGR*)
- 28 60. The proposed building is within the 100-year Floodplain Zone (X). At a minimum, comply
with the City of Concord Municipal Code requirements in establishing building finished floor
elevations. The Grading Plan shall be referenced to the same elevation datum as the FEMA
map, and shall show the finished floor elevations of the proposed buildings, 100-year Base
Flood Elevations (BFE), and building setback line per CMC. (*ENGR*) *CMC*
61. The Improvement Plans shall show frontage improvements consistent with plans prepared by
HDR for Commerce Avenue extension and Bridge at Pine Creek project, dated April 2013,
including but not limited to: drainage improvements, curb, gutter and sidewalk per City
Standard Detail S-10, and driveway construction per City Standard Detail S-14 and
repair/replacement of deficient frontage improvements as determined by the City Engineer.

1 Any unusable existing driveway shall be replaced with standard curb, gutter, and sidewalk per
2 S-10 above. Any trenching for utility installation shall comply with the modified City Standard
Detail S-17 for pavement repair and possible slurry placement. *(ENGR)*

- 3 62. The Improvement Plans shall show plan and profile of all proposed street, drainage and sewer
4 improvements and details for curb, gutter, sidewalk, and driveway construction. *(ENGR)*
- 5 63. Design improvements in accordance with the City Standard Plans S-34 and S-36 for sight
6 distance, sidewalk, back up, fencing, geometrics at intersection and corner setback
7 requirements, prior to the Acceptance of Improvements. Plans shall be subject to review and
8 approval by Engineering Services. *(ENGR)*
- 9 64. Obtain an Encroachment Permit from the City prior to performing any work within the public
right-of-way or public easements. *(ENGR) CMC*

10 GRADING/EROSION CONTROL/GEOLOGIC

- 11 65. Submit a geologic investigation to demonstrate that proposed buildings will not be constructed
12 across active faults. A licensed geologist must prepare an evaluation and written report. If an
active fault is found, a structure for human occupancy cannot be placed over the trace of the
13 fault and must be set back from the fault (generally 50 feet). *(ENGR)*
- 14 66. All grading shall require a Grading and Drainage Plan prepared by a registered Civil Engineer,
15 a Soils Report prepared by a registered Geotechnical Engineer and receipt of a Grading Permit
approved by the City Engineer. The Grading Plans and Soils Report shall require review by
16 the City's Geotechnical consultant with all costs to be borne by the applicant. *(ENGR)*
- 17 67. Contour grading techniques shall be employed throughout the project to achieve a more
18 natural appearance, even where this will increase the amount of grading. Tops of cuts or toes
of fills adjacent to existing public rights-of-way or easements shall be set back two feet
19 minimum from said rights-of-way and easements. All cut-and-fill slopes in excess of five feet
in height shall be rounded both horizontally and vertically. *(ENGR)*
- 20 68. Grading on adjacent properties shall require written approval from the affected property
owners. *(ENGR)*
- 21 69. On-site finish grading work shall require drainage to be directed away from all building
22 foundations at a minimum slope of 2 percent and a maximum slope of 20 percent toward
approved drainage facilities or swales. Non-paved drainage swales shall have a minimum
23 slope of 1 percent. *(ENGR)*
- 24 70. The project engineer shall inspect the finished grading and certify that it conforms to the
25 compaction and elevations shown on the Grading Plan and Soils Report. *(ENGR) CMC*
- 26 71. At all times seasonally appropriate erosion control measures shall be implemented per plans
27 approved by the City Engineer for all grading work at all times. Wet season measures shall be
in place October through April at a minimum and when rain is otherwise predicted. At the
28

1 time of approval of the Improvement and/or Grading Plans, an approved Erosion Control Plan
2 prepared by a registered Civil Engineer shall be filed with the City Engineer. **(ENGR)**

3 72. All graded slopes and stockpiles of loose soil shall be hydromulched/hydroseeded by October
4 of any given year. During grading work between October and April, if rain is forecast, stop all
5 grading work two days before the rain forecast and implement BMPs to insure that the site is
6 protected from erosion. **(ENGR)**

7 73. Submit Grading, Erosion Control, Improvement, and State Waste Discharge ID verifying
8 submittal of Stormwater Pollution Prevention Plan (SWPPP), and Stormwater Control Plans to
9 Engineering Services for review and approval prior to the issuance of Grading, Encroachment,
10 and Building Permits. Where applicable, evidence of compliance with the State General
11 Construction Permit shall be provided. **(ENGR) CMC**

12 74. Comply with the applicable provisions of the Grading Ordinance and the Storm Water
13 Management and Discharge Control Ordinance. **(ENGR) CMC**

14 **UTILITIES**

15 75. New electrical transformers shall be placed underground or screened from view. **(PLNG,**
16 **ENGR)**

17 76. No above ground utility facilities/structures shall be located between the face of curb and back
18 of sidewalk in the public right-of-way. **(ENGR)**

19 77. Dedicate to the City a 15 foot wide sanitary sewer easement (along all main sewer lines
20 outside of the public street right-of-way) for construction and maintenance purposes prior to
21 recording of the Final Map or Building occupancy approval whichever comes first. The City
22 will not accept maintenance of building laterals. **(ENGR)**

23 78. Install streetlights along the *Waterworld Parkway* frontage. Submit streetlight plans in
24 accordance with the City Standard Specifications showing pole type, luminaries type,
25 conductor and wiring schedule, connection points, lamp wattage and pull box locations, at the
26 time of submittal of improvement plans. Streetlights shall be completely installed and
27 operational prior to occupancy approval. **(ENGR)**

28 79. All new utilities shall be constructed underground prior occupancy approval. **(ENGR)**

80. Undergrounding of all existing overhead utilities along Waterworld Parkway and Civic Court
including aerial street crossings shall be required pursuant to Chapter 13.10 of the Concord
Municipal Code. All new utilities shall be constructed underground prior to issuance of
occupancy approval. **(ENGR)**

81. Comply with the City of Concord sewer design flow criteria and sewer construction
requirements of the Central Contra Costa Sanitary District. **(ENGR)**

82. Submit to Engineering Services sanitary sewer calculations with the Improvement Plans
stamped and signed by a Registered Civil Engineer for review. **(ENGR)**

- 1
- 2 83. Submit to Engineering Services a sewer fixture count and square footage of the existing
3 buildings for possible fee credit purposes, prior to demolition. (*ENGR*)
- 4 84. Coordinate all facility adjustments, relocations, or additions to utility services with the
5 appropriate utility companies. (*ENGR*)
- 6 85. Utility areas, electrical and gas meters shall be architecturally screened from view. (*PLNG*)
- 7 86. The location of all outdoor, above-ground and/or at-grade pad mounted transformers, utility
8 equipment, electrical and gas meters, vaults, irrigation control boxes, back flow prevention
9 devices, and the like shall be subject to approval by Planning and Engineering Services prior
10 to the issuance of the Grading or Building Permit, whichever comes first. All such equipment
11 shall be screened from view either architecturally or with landscaping and painted forest green
12 or other approved color as approved by the Planning Division. Any changes to the approved
13 Utility Plans, including location or screening details shall be reviewed and approved by the
14 Planning Division. (*PLNG, ENGR*)
- 15 87. Provide cable companies a set of approved site diagrams in electronic format showing the joint
16 trench layout for dry utilities for cable service to be provided to the site. (*ENGR*)
- 17 88. Connect all buildings to the sanitary sewer collection facilities of the City, and pay all current
18 sewer connection and service fees prior to occupancy approval. (*ENGR*) *CMC*
- 19 89. Submit proof acceptable to Engineering Services that all work within the existing (new)
20 private waterline easement(s) are reviewed and approved by the easement owner of record.
21 (*ENGR*)

DRAINAGE/STORMWATER C.3 REQUIREMENTS

- 22 90. Submit a Stormwater Control Plan (SWCP) prepared in accordance with the current Contra
23 Costa Clean Water Program Stormwater C.3 Guidebook for review and approval by
24 Engineering Services prior to issuance of any permit. The SWCP shall be prepared and
25 certified by a Civil Engineer, registered in the State of California, demonstrating an
26 understanding of the design of treatment measures for water quality and groundwater
27 protection principles applicable to the project site. (*ENGR*)
- 28 91. Prior to issuance of permits for building, site improvements, or landscaping, applicant shall
submit a permit application consistent with the applicant's approved Stormwater Control Plan
(SWCP), and include drawings and specifications necessary for construction of site design
features, measures to limit directly connected impervious area, pervious pavements, self-
retaining areas, treatment BMP's, permanent source control BMP's, and other features that
control stormwater flow and potential stormwater pollutants. The Contra Costa Clean Water
Program permit application shall include a completed "Construction Plan C.3 Checklist" as
described in the Stormwater C.3 Guidebook, and a detailed draft Stormwater BMP Operation
and Maintenance Plan consistent with the general O&M plan included in the applicant's

1 approved Stormwater Control Plan. Guidelines for the preparation of Stormwater BMP
2 Operation and Maintenance Plans are in Appendix F of the Stormwater C.3 Guidebook.
(*ENGR*)

3 92. Construct stormwater treatment measures per the approved SWCP prior to occupancy
4 approval. (*ENGR*)

5 93. Submit a final Stormwater BMP Operation and Maintenance Plan (O&M Plan) in accordance
6 with City of Concord Guidelines, for review and approval by Engineering Services, prior to
7 occupancy approval. This O&M Plan shall incorporate City comments on the draft O&M Plan
8 and any revisions resulting from changes made during construction. The implementation of
9 the O&M Plan shall be the responsibility of the property owner or the HOA where one exists.
(*ENGR*)

10 94. Execute any agreements identified in the SWCP which pertain to the transfer of ownership,
11 right-of-entry for inspection or abatement, and/or long-term maintenance of stormwater
12 treatment or hydrograph modification BMPs, prior to occupancy approval. (*ENGR*)

13 95. Prevent site drainage from draining across sidewalks and driveways in a concentrated manner.
14 (*ENGR*)

15 96. Collect and convey all stormwater entering and/or originating from the site to an adequate
16 downstream drainage facility. Submit hydrologic and hydraulic calculations for a 10-year
17 storm with the Improvement Plans to Engineering Services for review and approval. (*ENGR*)

18 97. Install City of Concord “No Dumping, Drains to Creek” curb marker (English and Spanish
19 version) on all catch basins. (*ENGR*)

20 98. Submit a Construction Best Management Practice (BMP) Program for review and approval by
21 the Engineering Development Services Department prior to issuance of a Building and/or
22 Grading Permit. The general contractor and all subcontractors and suppliers of materials and
23 equipment shall implement these BMPs. Construction site cleanup and control of construction
24 debris shall also be addressed in this program. Failure to comply with the approved
25 construction BMP may result in the issuance of correction notices, citations, or a project stop
26 work order. (*ENGR*)

27 99. Sweep or vacuum the parking lot(s) a minimum of once a month and prevent the accumulation
28 of litter and debris on the site. Corners and hard to reach areas shall be swept manually. If
sidewalks and/or the parking lot are pressure washed, debris must be trapped and collected to
prevent entry into the storm drain system. No cleaning agent may be discharged into the storm
drain. If any cleaning agent or degreaser is used, wash water shall be collected and discharged
to the sanitary sewer, subject to the approval of the Central Contra Costa Sanitary District).
(*ENGR*)

100. Ensure that the area surrounding the project such as the streets stay free and clear of
construction debris such as silt, dirt, dust, and tracked mud coming in from or in any way
related to project construction. Areas that are exposed for extended periods shall be watered

regularly to reduce wind erosion. Paved areas and access roads shall be swept on a regular basis. All trucks shall be covered. (*ENGR*)

101. Clean all on-site stormdrain facilities a minimum of twice a year, once immediately prior to October 15 and once in January. Additional cleaning may be required if found necessary by the City Engineer/Director of Building Inspection. (*ENGR, BLDG*)

SOLID WASTE/RECYCLING

102. Comply with all applicable requirements for solid waste and construction and demolition(C&D) waste recycling under Chapter 8.20 of the Concord Municipal Code. (*BLDG*)

103. Design and implement City approved Source Reduction/Recycling Plan and demonstrate that interior and exterior refuse enclosures have been sufficiently designed and located for the storage and pick up of recyclable materials in accordance with CMC Section 82-83, Source Reduction and Recycling, prior to issuance of a Building Permit. (*PW*)

104. Trash bins and refuse shall be stored within approved trash enclosure and the doors shall be closed at all times except when the bins are being emptied. (*NS*)

105. Comply with the provisions of the CMC, Central Contra Costa Sanitary District and the disposal service regarding enclosure design, access requirements, and the number of required individual refuse receptacles based upon waste pickup schedules. Trash enclosures shall incorporate the following features:

- a. A concrete pad to prevent damage to asphalt paving.
- b. A roof and sanitary sewer cleanout, designed to prevent rainwater from penetrating the interior of the enclosure and preclude trash from being blown outside of the bins.
- c. The cleanout shall connect to a sanitary sewer to prevent contaminated water from entering the storm drain system.
- d. If any cleaning agent or degreaser is used, wash water must be collected and discharged to the sanitary sewer, subject to the approval of the Central Contra Costa Sanitary District. (*CCCSD, ENGR*)

106. Trash enclosures shall incorporate the same architectural treatment, and use the same exterior materials and colors as the main building and shall comply with the Community Design Guidelines, including the following:

- a. A roof or trellis.
- b. Masonry, steel or heavy timber walls.
- c. An interior, poured-in-place curb to prevent damage to the screen walls.
- d. Doors with external hinges to prevent damage from the receptacle.
- e. Doors of solid metal or with a metal frame with self-closing latch.
- f. The height of the enclosure walls and door shall be the same height or higher than the bins within the enclosure. (*PLNG*)

AGREEMENTS, FEES, BONDS

107. All fees noted below are the fees currently in effect as of July 1, 2014 per the Resolution of Fees and Charges. The fees and charges are reviewed annually as part of the budget public hearing process. Fee adjustments are based on a number of factors and vary depending on the type of fee:

Service-based fees are adjusted annually based on the San Francisco-San Jose-Oakland Area Consumer Price Index;

Improvement based fees (also called impact fees) are adjusted annually based on Engineering News Record Construction Cost Index (San Francisco Bay Area); and the

Parkland Fee is adjusted per Chapter 19.20 of the Concord Municipal Code.

The fees become effective as of the date set forth in Exhibit A of Resolution No. 78-6042, Fees and Charges for Various Municipal Services, as most recently amended and approved by the City Council. Persons interested in how a particular fee is calculated should contact the City Department administering the fee or the Finance Department. **(ENGR)**

108. Provide a **\$5,000** cash deposit to the Planning Division to cover Condition Compliance costs at the time of submittal of plans and documents to Engineering Services or the Building Division for plan check. Planning staff's time will be charged to this deposit for work performed to implement the Conditions of Approval, from the time of project approval to occupancy approval. The deposit will be placed in a refundable account and any unused funds will be returned upon completion. If the initial deposit is insufficient to cover actual costs, an additional deposit will be required. **(PLNG)**

109. Pay a Document Imaging fee to reimburse the City for implementation of the Document Imaging and File Retention programs, prior to issuance of Grading or Building Permits. **(PLNG)**

110. All improvement agreements required in connection with said plans shall be submitted to and approved by the City and other agencies having jurisdiction over said project prior to approval of the Final Map or issuance of the Building or Grading Permit, whichever comes first. **(ENGR)**

111. Faithful performance bonds and labor materials bonds in a penal amount equal to 100 percent of the approved estimates of construction costs of improvements shall be submitted to and approved by the City and other agencies having jurisdiction prior to approval or issuance of Improvement, Building, Encroachment, or Grading Permit, whichever comes first. **(ENGR)**

112. Encroachment Permit Application:

- a. Pay the Filing Fee at the time of submittal of permit application, improvement plans and supporting documents to City Engineering Services for review. The current fee is **\$86.00**.
- b. Provide a restoration security before issuance of the Encroachment Permit. The security shall be in an amount sufficient to restore existing public improvements to a serviceable condition should development improvement activity cause damage. The

amount of the security shall be determined by, and be in a form acceptable to the City Engineer.

- c. Provide a \$10,000 cash deposit to cover Condition Compliance/Mitigation Monitoring costs at the time of submittal of plans and documents to Engineering Services for review. The deposit will be placed in a refundable account. Condition Compliance/Mitigation Monitoring costs will be charged to this deposit over the life of the project permit and mitigation requirements. Any unused funds will be returned at project completion. If the initial deposit is insufficient to cover actual costs, an additional deposit in an amount determined by the City Engineer will be required. *(ENGR)*

113. Grading Permit Application:

- a. Pay Grading Permit Fees at submittal of a Grading Permit application. The current fee is determined based on cubic yardage of cut and fill combined, or at the hourly rate of **\$172.00** if the hourly rate is used.
- b. Provide a \$10,000 cash deposit for Erosion Control prior to issuance of Grading Permit. The deposit will be placed in a refundable account. Any unused funds will be returned at project completion. If the initial deposit is insufficient to cover actual costs, an additional deposit in an amount determined by the City Engineer will be required.
- c. Pay Stockpile and Erosion Control Monitoring fee prior to issuance of Grading Permit. The stockpile and erosion control monitoring fee is currently **\$23.00** per calendar day and is collected for the life of the Grading Permit activity. *(ENGR)*

114. Improvement Plan:

- a. A deposit of **\$5,000** will be required at the time of submittal of Improvement Plans and supporting documents to Engineering Services for review. This amount will be deposited to the project trust account, which the review fee will be deducted from. If the review costs exceed the requested amount, an additional review fee of **\$172.00/hr.** will be required.
- b. Pay the Construction Inspection fee prior to issuance of the Construction Permits. The current fee is based on 9% of the estimated cost of constructing the required improvements.
- c. Pay the Drainage Acreage Fee prior to Construction Permits. The current fee is **\$2,535/acre.** (Drainage Area 92)
- d. Pay the Parkland Fee prior to Construction Permits. The current fee is **\$7,304** per living unit for Downtown Mixed Use Designation.
- e. Provide a **\$5,000** deposit for specialty inspections prior to approval of the Improvement Plan.
- f. Pay applicable fees for review of Stormwater Control O&M Agreement and bioretention facilities inspection. *(ENGR)*

115. Sewer Connection Permit:

- a. Pay Sanitary Sewer connection fee. The current sewer connection fee is **\$3,731** per two bedroom dwelling unit, **\$2,774** per one bedroom or studio unit, and **\$1,009** per fixture for office use. The fee shall be paid prior to issuance of Building Permit. *(ENGR)*

1 116. Traffic Mitigation Fee:

2 Pay Offsite Improvement Program (OSIP) fee prior to issuance of Building Permit. The OSIP
 3 fee shall be determined based on the project's ITE trip generation rate (trips/bed) for the PM
 4 peak hour, multiplied by the number of beds (living units), multiplied by the fee rate (\$ per
 trip) equivalent to the fee amount for a single family unit.(ENGR)

5 117. Pay Child Care Program Fee equal to **0.5 percent of the development cost** of a project at the
 6 time of issuance of the Certificates of Occupancy. (BLDG/PLNG)

7 **OTHER/MISCELLANEOUS**

8 118. Contact local postal authorities to get their requirements for mail facilities for the project. The
 9 design and location of mail receptacles shall be reviewed and approved by the Planning
 10 Division and shown on the Utility, Landscape, and Building Plans, prior to issuance of
 Grading or Building Permits, whichever comes first. Mail facilities shall be installed prior to
 11 occupancy approval. (PLNG)

12 119. Contact County Connection at (925) 680-2085 for required bus stop improvements along the
 13 project frontage(s). Any required bus stop improvements shall be incorporated into the
 Improvement Plans for review and approval by Current Development – Engineering.
 (PLNG/ENGR)

14 120. Contact the Geographic Information Systems (GIS) Technician, in the Information
 15 Technology Department, (925) 671-3051, for addressing requirements, and coordinate with the
 16 Contra Costa Fire Protection District for their approval, prior to issuance of a Building Permit.
 (PLNG)

17 121. Comply with the requirements of the Contra Costa Fire Protection District. Submit complete
 18 sets of plans and specifications to the Fire District for review and approval at:

19 Contra Costa County Fire Protection District
 20 2010 Geary Road
 21 Pleasant Hill, CA 94523

22 Plan review fees are assessed at that time. The City is not responsible for the collection of fees
 or enforcement of requirements imposed by the Fire District. (CCCFIRE)

23 122. The applicant shall defend, indemnify and hold harmless the City, its agents, officials, and
 24 employees from any claim, action or proceeding brought by a third party to set aside, annul,
 attack or otherwise void the permit. (PLNG)

25 123. The permit and approval shall expire in **one** year from the date on which they became effective
 26 unless construction permits are obtained and work has begun. The effective date of the permit
 27 and approval is **February 24, 2015**. (PLNG)

1 124. A request for a time extension from the expiration date of *February 24, 2016* can be
2 considered if an application with required fee is filed at least 45 days before the original
3 expiration date, otherwise a new application is required. A public hearing will be required for
4 all extension applications, except those involving only Design Review. Extensions are not
5 automatically approved. Changes in conditions, City policies, surrounding neighborhood, and
6 other factors permitted to be considered under the law, may require, or permit denial. *(PLNG)*
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**BEFORE THE CITY COUNCIL OF THE CITY OF CONCORD
COUNTY OF CONTRA COSTA, STATE OF CALIFORNIA**

**A Resolution Granting an Appeal by Oakmont Senior
Living LLC, and Approving the Oakmont Senior
Living Use Permit and Design Review (PL1400211 –
UP, DR) Application with Modified Conditions**

Resolution No. 15-13

WHEREAS, on May 29, 2014, Oakmont Senior Living LLC, submitted a Use Permit and Design Review application (PL1400211 – UP, DR) to construct a 76-unit senior assisted living facility at 1401 Civic Court, APN 126-300-052; and

WHEREAS, on October 14, 2014, the application was deemed complete for processing; and

WHEREAS, the Planning Commission, after giving all public notices required by State law and the Concord Municipal Code, held a duly noticed public hearing on December 3, 2014, on the subject proposal; and

WHEREAS, the Planning Commission considered all oral and written information, testimony and comments received during the public review process, including information received at the public hearing and the oral and written reports from City staff dated December 3, 2014, as well as other documents contained in the record of proceedings relating to the proposed project, which are maintained at the offices of the City of Concord Planning Division; and

WHEREAS, on December 3, 2014, the Planning Commission continued the public hearing to January 7, 2015, to allow the applicant to return with a parking plan that addressed parking for visitors, employees, and residents during normal operations and special events; and

WHEREAS, on January 7, 2015, the Planning Commission, after consideration of all additional testimony and information, including a Transportation Management Plan prepared by Crane Transportation Group (TMP), dated December 22, 2014, adopted Resolution No. 15-01PC and approved the Oakmont Senior Living Use Permit and Design Review application (PL1400211 – UP, DR), subject to the findings and conditions of approval contained therein; and

WHEREAS, on January 14, 2015, Oakmont Senior Living LLC, filed a timely appeal of the Planning Commission approval for the Oakmont Senior Living Use Permit and Design Review

1 application (PL1400211 – UP, DR), in order to amend Condition of Approval #28(a) for the project;
2 and

3 **WHEREAS**, the City Council, after giving all public notices required by State Law and the
4 Concord Municipal Code, held a duly noticed public hearing on February 24, 2015, regarding the
5 subject appeal; and

6 **WHEREAS**, on February 24, 2015, the City Council, after consideration of all pertinent plans,
7 documents and testimony, declared their intent to deny the appeal and uphold the Planning
8 Commission approval for the Oakmont Senior Living Use Permit and Design Review application
9 (PL1400211 – UP, DR).

10 **NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF CONCORD DOES**
11 **RESOLVE AS FOLLOWS:**

12 **Section 1.** Grants the appeal by Oakmont Senior Living LLC, and approves the Oakmont
13 Senior Living Use Permit and Design Review (PL1400211 – UP, DR) application, subject to the
14 following findings and modified conditions of approval, contained herein as Exhibit A:

15 **CEQA**

- 16 1. The project is Categorically Exempt pursuant to the California Environmental Quality
17 Act (CEQA) of 1970, Section 15332, Class 32 “In-Fill Development Projects,” because:
- 18 a. The project is consistent with the Concord 2030 Urban Area General Plan and
19 Concord Development Code, as further explained in the Use Permit Findings
20 below;
 - 21 b. There is no specific plan applicable to the project site;
 - 22 b. The project is located within City limits on a site less than five acres and
23 surrounded by urban uses;
 - 24 c. The project site has no value as habitat for endangered, rare, or threatened species;
 - 25 d. The project will not result in any significant effects relating to traffic, noise, air
26 quality, or water quality; and
 - 27 e. The site can be adequately served by all required public utilities and public
28

1 services.

2 2. The project does not present unusual circumstances.

3 3. There is no reasonable possibility that the proposed project will have a significant
4 effect on the environment due to unusual circumstances.

5 4. The determination that a categorical exemption applies to the project reflects the
6 independent judgment and analysis of the City as the lead agency.

7 Use Permit

8 5. *The proposed use is allowed within the applicable zoning district and complies with all*
9 *other applicable provisions of the development code and the CMC.* The proposed use is a
10 Residential Facility for Seniors, Assisted Living, which is an allowed use within the DMX
11 (Downtown Mixed Use) Zoning District. The project meets standards for lot area, floor area
12 ratio, setbacks, and building height of DMX zoning, satisfies applicable requirements under
13 Development Code, Division IV, General Development Standards, and complies with all other
14 applicable provisions of the Development Code and Concord Municipal Code.

15 6. *The proposed use is consistent with the general plan and any applicable specific plan.*
16 The project provides a special housing need in an area predominated by office uses and is thus
17 consistent with the intent of the Downtown Mixed Use designation to establish a mix of
18 residential, commercial, and offices uses for the area. Additionally, the project is consistent
19 with General Plan policies encouraging a variety of housing types on infill sites (Policy LU-
20 1.3.1) and locating senior housing developments near shopping and other services, including
21 public transit (Housing Element Program H-3.1.2).

22 7. *The design, location, size and operating characteristics of the project are compatible*
23 *with existing and future uses in the vicinity.* The project's design, location, size, and operating
24 characteristics comply with the applicable standards related to circulation, access, parking,
25 landscaping, drainage, building design, etc., to ensure compatibility with existing and future
26 uses in the vicinity. As an added measure, the project will implement and manage a
27 Transportation Management Plan (TMP) on an-going basis that will provide additional off-site
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1 parking as needed, and incentives for taking alternative modes of travel.

2 8. *The site is physically suitable for the type, density and intensity of the proposed use,*
3 *including access, utilities, and absence of physical constraint.* The 2.42-acre site is not
4 physically constrained and can accommodate up to four times the project's proposed floor area
5 ratio, and is thus physically suitable for the proposed development. The project will provide
6 sufficient parking, landscaping, access, utilities (including stormwater treatment areas), and
7 frontage improvements as required by the applicable codes and regulations to serve the project
8 site and surrounding area.

9 9. *Granting the permit will not be detrimental to the public health, safety, or welfare of*
10 *the persons residing or working in the subject neighborhood or materially detrimental or*
11 *injurious to property or improvements in the vicinity and zoning district where the property is*
12 *located.* The proposed assisted living facility for seniors is allowed by the DMX (Downtown
13 Mixed Use) zoning that applies to the property and surrounding areas. The project will not be
14 detrimental to the public health, safety, or welfare of persons residing or working in the
15 neighborhood because it will meet or exceed the applicable development standards to ensure
16 setbacks, landscaping, parking, and other project features are appropriate for the area. As an
17 added measure, the project will implement and manage a Transportation Management Plan
18 (TMP) on an-going basis that will provide additional off-site parking as needed, and incentives
19 for taking alternative modes of travel.

20 Design and Site Development Review

21 10. The project is consistent with the General Plan as explained in finding 6 above.

22 11. The project meets the following criteria in Section 18.415.080 (Design Criteria):

- 23 a. *The building design and landscaping supports public safety and security by*
24 *allowing for surveillance of the street by people inside buildings and elsewhere on the*
25 *site.* The project will have a single point of entry that will be monitored and secured
26 24-hours a day. Building windows will face the streets to allow for surveillance by
27 people inside the building.

- 1 b. *The design is compatible with the historical or visual character of any area*
2 *recognized by the City as having such character. The area is not recognized as a*
3 *historical, architectural, or scenic area by the City.*
- 4 c. *The project design preserves major view and vistas along major streets and open*
5 *spaces and trails and enhances them by providing project amenities. The site and*
6 *surrounding area is flat and has no topographically significant features, such as valleys,*
7 *hillsides, and ridgelines that provide scenic views or vistas. The proposed two-story*
8 *building will not impact existing views from the Walnut Creek Channel Trail.*
9 *Additionally, the project will construct a portion of the Mokelumne Aqueduct Trail as*
10 *part of the future Commerce Avenue extension.*
- 11 d. *The proposed lighting and fixtures are designed to complement on-site buildings,*
12 *are of an appropriate scale for the development, and provide adequate light for safety*
13 *and security while minimizing glare. Building-mounted light fixtures are designed to*
14 *complement the architecture and will include ground-mounted light fixtures to*
15 *illuminate paths of travel while minimizing glare.*
- 16 e. *All mechanical, electrical, and utility equipment is located, screened, or*
17 *incorporated into the design of the buildings so as not to be visible from off-site, and*
18 *screening devices are consistent with the exterior colors and materials of the buildings.*
19 Mechanical and rooftop equipment will be screened by parapets that match the
20 buildings' architecture.
- 21 f. *The overall design of the project, including its scale, massing, site plan, exterior*
22 *design, and landscaping, enhances the appearance and features of the project site and*
23 *surrounding natural and built environment. The project will enhance the vacant site*
24 *and surrounding area with a quality-designed building and by constructing*
25 *improvements such as landscaping, stormwater treatment areas, and new frontage*
26 *improvements at Waterworld Parkway and Commerce Avenue.*
- 27 g. *The project design is appropriate to the function of the project and will provide an*
28

1 *attractive and comfortable environment for occupants, visitors, and the general*
2 *community.* The project will provide an attractive and comfortable environment for its
3 residents, employees, visitors, and the general community with amenities and services
4 that include private and formal dining rooms, café, entertainment and activity rooms,
5 beauty salon, library, in-house wellness and fitness center, on-site parking,
6 landscaping, stormwater treatment areas, and new frontage improvements including
7 public sidewalks at Waterworld Parkway and Commerce Avenue.

8 h. *The architectural details, colors, materials, and landscaping are internally*
9 *consistent, fully integrated with one another, and used in a manner that is visually*
10 *consistent with the proposed architectural design.* Exterior colors and materials
11 include earth tone browns and green, tile roof, wood shutters, and stone veneer that are
12 internally consistent and appropriate for the proposed Mission-style building.

13 i. *The project is compatible with neighboring development in the same Zoning*
14 *District by avoiding large differences in building scale and character and provides a*
15 *harmonious transition between the proposed project and surrounding development.*

16 The project is compatible with neighboring development which include low rise, two-
17 story office buildings similar in scale and character to the project.

18 j. *The project creates an attractive and visually interesting built environment with a*
19 *variety of building styles and designs, well-articulated structures that present varied*
20 *building facades, rooflines, and building heights within a unifying context.* Design
21 changes were made to the building to articulate key elements, vary building mass, and
22 provide visual interest in a unifying context by adding gable-end pop-outs, widening
23 hip roof elements, and applying colors and materials to contrast wall surfaces and
24 varying wall planes.

25 k. *The landscaping is compatible with and enhances the architectural character of the*
26 *buildings and site features, and blends with the surrounding landscape. Landscape*
27 *elements complement the buildings and rooflines through color, texture, density, and*
28

1 *form. Landscaping is in scale with on-site and off-site buildings, and plantings have*
2 *been selected and located to avoid conflicts with views, lighting, infrastructure,*
3 *utilities, and signage. The Design Review Board has reviewed the landscape plan and*
4 *determined that it is compatible with the building architecture.*

5 1. *Stormwater treatment areas have been integrated into the landscape design. The*
6 *project includes bio-retention areas integrated into the landscape design.*

7 m. *New construction does not need to match existing surrounding development or*
8 *buildings; however, the design shall complement or enhance existing development.*

9 The proposed building complements existing buildings including adjacent two-story
10 offices that are similar in scale and mass to the project, and use similar stucco and roof
11 tile materials.

12 12. *The project complies with the design standards for signs set forth in Development Code*
13 *Section 18.180.140. The proposed ground sign includes an attractive wood trellis element,*
14 *stucco body, and colors that are compatible with the building's architecture and exterior*
15 *materials. Additionally, indirect lighting for the sign will be directed and shielded away from*
16 *other structures and properties.*

17 13. *The project is consistent with all applicable Design Guidelines adopted by the City*
18 *Council that are in effect at the time of approval. The project is consistent with the Concord*
19 *Community Design Guidelines because:*

20 a. *The building is designed to minimize its height from distant views with an*
21 *attractive four-sided design that includes quality finishes and details.*

22 b. *The building will screen mechanical equipment with architectural elements that*
23 *seamlessly blend with the overall design.*

24 c. *The building is designed to reflect the rhythm of vertical and horizontal patterns*
25 *expressed by existing office buildings in the area, many of which are two-story office*
26 *buildings.*

27 d. *Exterior building details provide visually interesting facades by using quality*
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1 finishes of varying textures including brick, tile, and stucco, and by providing strong
2 horizontal and vertical relief with towers, reveals, recesses, and pop-outs.

3 e. The building is sited to maintain the streetscape geometry of buildings parallel to
4 Civic Court and the future Commerce Avenue extension, and avoids creating
5 conflicting or arbitrary spaces and building forms.

6 f. The project will provide at least five bicycle parking spaces as required by the
7 Development Code.

8 g. New lighting will consist of building mounted fixtures that will be screened by
9 landscaping or are placed a considerable distance from neighboring properties to avoid
10 light trespass. All new light fixtures will be glare-shielded and directed downward to
11 further minimize lighting impacts.

12 h. Proposed buildings are articulated to minimize bulk with building off-sets and pop-
13 outs that break up facades, by tower and gable roof elements to avoid a boxy look, and
14 by balancing vertical and horizontal architectural elements to create visual interest.

15 i. The building is articulated to minimize mass by drawing attention to smaller-scaled
16 elements of the building, varying roof heights, and by visually breaking up major
17 surface planes with architectural elements and different materials.

18 j. Building colors are also used to highlight smaller building elements and transitions
19 in materials to further minimize building mass.

20 k. Architectural elements such as tower pop-outs create a rhythm that provides visual
21 interest and variety, and elements that create shadow such as overhangs add visual
22 relief.

23 l. Durable materials such as stone, tile and stucco are used as appropriate for the
24 function of the building.

25 m. Tree and shrub plantings are clustered to soften building edges, create strong accent
26 points, and to compliment the function of landscaped stormwater treatment areas.

27 **Section 2.** Denies the appeal and upholds the Oakmont Senior Living Use Permit and Design
28

1 Review (PL1400211 – UP, DR).

2 **Section 2.** This resolution shall become effective immediately upon its passage and adoption.

3 **PASSED AND ADOPTED** by the City Council of the City of Concord on February 24, 2015,
4 by the following vote:

5 **AYES:** Councilmembers -

6 **NOES:** Councilmembers -

7 **ABSTAIN:** Councilmembers -

8 **ABSENT:** Councilmembers -

9 **I HEREBY CERTIFY** that the foregoing Resolution No. 15-13 was duly and regularly
10 adopted at a regular meeting of the City Council of the City of Concord on February 24, 2015.

11 _____
12 Joelle Fockler, CMC
13 City Clerk

14 **APPROVED AS TO FORM:**

15 _____
16 Mark S. Coon
17 City Attorney

18
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EXHIBIT A

**FINAL CONDITIONS OF APPROVAL
OAKMONT SENIOR LIVING
PL1400211 – UP, DR
1401 CIVIC COURT
APN: 126-300-052**

PERMIT DESCRIPTION

1. These Conditions apply to and constitute the approval of a **Use Permit** to establish a “Residential Facility for Seniors, Assisted Living” in the DMX (Downtown Mixed Use) district.
2. These Conditions apply to and constitute approval of **Design Review** for building architecture, landscaping, and related site improvements. Exterior building materials and colors shall be in substantial conformance with the approved plans as follows:

**Approved Colors
and Materials**

Approved Colors and Materials	Manufacturer/Material	Color/Sample No.
Body 1	Stucco 20/30 sand finish	Kelly Moore Sand Pebble #171
Body 2	Stucco 20/30 sand finish	Kelly Moore Villita #136
Trim 1	Stucco	Kelly Moore Navajo White #36
Trim 2	Stucco	Kelly Moore African Plain KM3975-3
Trim 3	Stucco	Kelly Moore Vermeer’s Fields AC 251-5
Shutters	Atlantic Premium wood shutters	041 Walnut
Window Frame	Vinyl	Almond
Roof Material	US Tile “S” type Mission Style Clay Roof Tile	Old World Blend

3. The following Exhibits, date stamped received by the City of Concord, on September 23, 2014, are approved and shall be incorporated as Conditions of Approval.

Plan	Date Prepared	Prepared by	Sheet
Title Sheet	July 1, 2014	Ali Iqbal	A0.1
Building Elevations	July 1, 2014	Ali Iqbal	A1.1
Floor Plan	July 1, 2014	Ali Iqbal	A2.1-A2.2
Roof Plan	July 1, 2014	Ali Iqbal	A2.3
Building Sections	July 1, 2014	Ali Iqbal	A3.3-A3.4
Site Sections	July 1, 2014	Ali Iqbal	A3.5

Landscape Plan	Sept. 19, 2014	Landesign Group	L1-L2
Photometric	Sept. 19, 2014	Landesign Group	L3
Dimensional Site Plan	Sept. 2014	Brelje & Race	C1A-C1B
Preliminary Grading Plan	Sept. 2014	Brelje & Race	C2
Preliminary Utility Plan	Sept. 2014	Brelje & Race	C3
Stormwater Control Plan	Sept. 2014	Brelje & Race	C4
Transportation Mgmt. Plan	December 22, 2014	Crane Transportation Group	N/A

GENERAL CONDITIONS

4. The Conditions are the responsibility of the applicant and all contractors. Compliance shall occur as specified in the Conditions or at one of the following project milestones:

- (a) With the submittal of Grading, Improvement, Landscape, or Building Plans.
- (b) Prior to issuance of Encroachment, Grading, or Building Permits, whichever comes first.
- (c) Prior to Construction.
- (d) On going during Construction.
- (e) Prior to occupancy approval.

If timing for compliance is not specified, it shall be determined by the Divisions listed after the Condition. (*PLNG, BLDG, ENGR*)

5. Where a plan or further information is required, it is subject to review and approval by the applicable City Department/Division, as noted at the end of each Condition. The Division listed first shall be the primary contact for implementation of that Condition. (*PLNG, BLDG, ENGR*)

6. The project shall comply with all applicable Federal and State laws and Concord Municipal Code (CMC) requirements. (*PLNG, BLDG, ENGR*)

7. Minor modifications that are found to be in substantial conformance with the approved plans such as colors, plant materials, or minor lot line adjustments, may be approved administratively. Major modifications shall be approved by the applicable decision making body. All plan modifications shall be listed, described, and a Summary of Plan Modifications shall be submitted as part of the Improvement, Landscape, Grading, and Building Permit Plans describing the modification and the reason for the modification. (*PLNG, ENGR*)

8. The Conditions of Approval shall be listed on a plan sheet that is included in the construction plan set (Grading, Utility, Landscape and Building Plans). (*PLNG, ENGR*)

9. Two annotated copies of the Conditions of Approval specifying how each applicable condition has been satisfied, shall be submitted as follows:

- a. At the time Grading, Utility, Landscape, and/or Building Plans are submitted for plan check, whichever comes first.
- b. Prior to occupancy approval. (*PLNG, ENGR*)

- 1 10. Submit three signed copies, one notarized, of the City’s “Property Maintenance Agreement”,
 2 to ensure on-going repair, replacement and maintenance of all exterior improvements
 3 including buildings, parking areas, private roads, walkways, landscaping, irrigation, signs,
 4 fences, walls, and other improvements, prior to issuance of Grading or Building permits,
 5 whichever comes first. *(PLNG)*
- 6 11. The project site and area surrounding the site shall be fenced and maintained in a weed and
 7 litter free condition for the period prior to construction. *(BLDG, PLNG)*

8 ARCHITECTURAL

- 9 12. Final building color scheme shall return to the Design Review Board for approval as a staff
 10 report item prior to issuance of Building Permit. *(PLNG)*
- 11 13. Rooftop equipment (HVAC, meters, refrigeration equipment, plumbing lines, ductwork and
 12 transformers), shall not extend above the building parapet and shall be screened from view on
 13 all sides with materials architecturally compatible with the main structure. Screening details
 14 shall be shown on the Building Plans and submitted for review and approval by the Planning
 15 Division, prior to the issuance of Building Permits and installed prior to occupancy approval.
 16 *(PLNG)*
- 17 14. Vents, gutters, downspouts, flashing, electrical conduits, etc., shall be painted to match the
 18 color of the adjacent surface, unless otherwise approved by the Planning Division. *(PLNG)*

19 LANDSCAPING

- 20 15. Submit Final Landscape Plans prepared by a Landscape Architect, registered by the State of
 21 California, for review and approval with the Grading, Improvement, or Building Plans,
 22 whichever comes first. The Plan shall be drawn on or consistent with the Grading,
 23 Improvement, Utility, and Stormwater Plans prepared by the Civil Engineer, with the
 24 following information:
- 25 a. A legend that lists all plant species (Latin and common name), including size,
 26 quantities, spacing, and ultimate height and width.
 - 27 b. Specifications and details for planting, including staking of trees and planting in bio-
 28 retention or other stormwater treatment areas. Plants for bio-retention facilities should
 be compatible with temporarily flooded conditions.
 - 29 c. Utility and Grading information on the base map, screened back.
 - 30 d. Trees (minimum size 24-inch box) and shrubs (minimum 5-gallon; accent or sub-
 shrubs may be 1-gallon).
 - 31 e. Root control barriers and four-inch perforated pipes for parking lot trees, street trees,
 and trees within 6 inch of any paved area or curb.
 - 32 f. Six-inch vertical concrete curbs around landscaped areas.
 - 33 g. A soils and plant laboratory analysis with recommendations for fertilization and
 mulching to be incorporated into the planting specifications.
 - 34 h. A Layout/Hardscape Plan showing the location and details of all non-plant
 improvements, with dimensions and call outs, showing finished grades,
 hardscape/paving treatment, planter details, arbors, trellis’, fences, walls, trash
 enclosures, and other features.

- 1 i. Details for street trees in accordance with City Standard Plan S-38, "Street Tree
2 Planting Detail". (*PLNG/ENGR*)
- 3 16. Submit a Project Landscape Application (PLA) prepared by a Landscape Architect, registered
4 by the State of California, for review and approval with the Grading, Improvement, or
5 Building Plans, whichever comes first. The PLA shall be prepared in accordance with the
6 requirements under Section 18.170.040 of the Concord Development Code. (*PLNG*)
- 7 17. All landscaping shall be installed prior to occupancy approval. Contact the Planning Division
8 at least two weeks prior to Occupancy, to request a site inspection of all exterior improvements
9 including buildings, driveways, parking lots, landscaping, irrigation, signs, lighting, walls,
10 fences, and trash enclosures. (*PLNG*)
- 11 18. Prior to occupancy approval, the licensed Landscape Architect shall:
- 12 a. Conduct a final field observation and an open trench examination of the irrigation
13 system.
- 14 b. Provide written certification that:
- 15 i) The landscaping and irrigation system were installed in conformance with the
16 approved Landscape and Irrigation Plans.
- 17 ii) The landscaping has been installed in accordance with the CCWD Water
18 Conservation Guidelines or the State of California Model Efficiency Water in
19 Landscaping Ordinance.
- 20 iii) An irrigation audit was performed and deficiencies were listed which will be
21 corrected within 30 days.
- 22 iv) There will be a minimum 60-day maintenance period for all landscape
23 improvements.
- 24 c. Provide a signed letter of compliance with the final construction documents stating that
25 the Landscape Architect has met all State and City requirements. (*PLNG*)
- 26 19. Fences and walls shall be a maximum height of three feet in required front yards and sight
27 visibility triangles, and a maximum height of six feet on side and rear property lines. Fences
28 off-set twenty four inches or greater from retaining walls shall be considered as separate
structures. (*PLNG*) **CMC**

LIGHTING

- 20 20. Show all exterior lighting including: building fixtures, walkway lighting, parking lot lighting,
21 and street lights on the Site, Utility, Landscape, and Building Plans, prior to the issuance of
22 any permits. The height and style of fixtures shall be shown. Energy-saving fixtures shall be
23 used and noted on the plans. (*PLNG, ENGR, BLDG*)
- 24 21. All exterior building and parking lot lighting shall provide illumination for safety and shall be
25 installed in a manner that is glare shielded and directed away from adjacent properties and
26 right-of-ways. (*PLNG*)
- 27 22. Submit a Photometric Plan for review and approval, showing the location of all light sources,
28 streetlight spacing, intensity of luminance, and uniformity ratio, in accordance with the City's
specifications, with the Improvement, Utility, or Building Plans, whichever comes first. The

1 photometric analysis shall be reviewed by Engineering Services for the determination of
 2 streetlight spacing. (*ENGR, TRANS, BLDG, PD*)

3 SIGNAGE

- 4 23. A 30 sq. ft. ground sign is approved at the corner of Civic Court and Waterworld Parkway.
 5 Construction plans showing details for installation, dimensions, font, logos, materials and
 6 colors, including a sample of all materials and colors shall submitted for review and approval
 7 prior to the issuance of a Sign Permit. (*PLNG*)
- 8 24. Internally illuminated signs shall have an opaque background, with only individual letters or
 9 logos illuminated. (*PLNG*)
- 10 25. Pennants, banners, streamers, or flags in connection with special promotions and business
 11 openings shall be permitted for a period not to exceed 30 days. The same, different, or similar
 12 pennants, banners, streamers, and flags shall not be permitted within 150 calendar days after
 13 such removal. No pennants, banners, streamers, balloons, inflatable devices, flags, or any other
 14 advertising devices shall be mounted on or above any roof or mansard, or otherwise extend
 15 above a parapet wall or ridge of a structure. (*PLNG*) **CMC**
- 16 26. The street address shall be incorporated on the ground sign. (*PLNG, BLDG*)
- 17 27. One sign denoting the architect, engineer, or contractor associated with the project may be
 18 permitted on site. The maximum sign area shall be 12 sq. ft. within single family districts and
 19 40 sq. ft. for other districts, of which 32 sq.ft. may be for the general contractor. These signs
 20 shall be removed upon occupancy approval. (*PLNG*) **CMC**

21 PARKING

- 22 28. Implement the Transportation Management Plan (TMP) prepared by Crane Transportation
 23 Group, dated December 22, 2014, subject to the amendments set forth herein. The TMP shall
 24 be implemented on an on-going basis to ensure adequate parking is provided for Oakmont
 25 residents, employees, and visitors at all times. The TMP is hereby amended to require the
 26 following prior to issuance of Certificate of Occupancy:
- 27 (a) **Have in place a Transportation Coordinator to monitor parking on an on-going**
 28 **basis. TMP Level 1 shall be implemented if and when needed. Criteria shall be**
established as to when each additional TMP level is triggered, as approved by the
Transportation Manager;
- (b) Notice shall be posted in conspicuous public locations (including the lobby or
 concierge desk) and in employee areas directing Oakmont residents, employees, and
 visitors to lodge parking complaints with the City; and
- (c) Twenty (20) off-site employee parking spaces shall be provided as part of TMP Level
 1 in place of TMP Level 3. (*PLNG/TRAN*)
- 29 29. Oakmont shall monitor on-site and overflow parking on a regular basis. Program monitoring
 shall include, but not be limited to, surveys of employees, residents, and visitors on a regular
 basis, and surveying on- and off-site parking conditions in order to monitor parking demand

1 and assess the effectiveness of the Transportation Management Plan (TMP). The monitoring
 2 results shall be provided to the City’s Transportation Manager, who shall report the results to
 3 the Planning Commission annually for the first two years from date of occupancy.
 4 *(PLNG/TRAN)*

5 30. If the City receives complaints concerning Oakmont employees, residents, or visitors parking
 6 on adjacent streets or insufficient on-site parking, the City will forward these complaints to
 7 Oakmont and will require Oakmont to take action in no more than 30 calendar days to address
 8 parking overflow problems by initiating the necessary adjustments to the Transportation
 9 Management Plan (TMP). Such adjustments may include, but should not be limited to, valet
 10 assisted parking, satellite parking with shuttle service for employees, additional off-site
 11 parking, additional incentives for employee ridesharing or transit use, or other measures
 12 deemed adequate by the City. *(PLNG/TRAN)*

13 31. All parking spaces shall be striped; full-size spaces shall be 9 ft. by 19 ft; compact spaces shall
 14 be 8 ft. by 16 ft. Parking spaces abutting a concrete curb for a landscaped planter may
 15 overhang into the planter area by two feet. *(PLNG, ENGR) CMC*

16 32. A screen wall or hedgerow shall be provided at the front end of unenclosed parking stalls, to
 17 minimize impacts to neighboring properties. *(PLNG)*

18 33. A maximum 25% of the required parking spaces may be compact. Compact stalls shall be
 19 clearly identified. *(PLNG, ENGR) CMC*

20 34. Parking shall comply with CMC §122-843, “Off-Street Parking Facilities” including
 21 motorcycle and bicycle parking spaces, drive aisle and parking space dimensions, turning
 22 radii, back-out dimensions, driveway clearances, landscape median dimensions, and other
 23 relevant information. *(ENGR, PLNG) CMC*

24 35. Provide a minimum five bicycle parking spaces. Facilities may be a freestanding bicycle rack
 25 or a wall-mounted bracket, with a stationary object to secure both wheels and the frame of a
 26 bicycle with a 6-foot cable and lock. Facilities shall be located in lighted, secure areas, and
 27 protected from the weather. The location of bicycle parking facilities shall be shown on the
 28 Civil Site, Landscape, and Building Plans as approved by the Planning and Transportation
 Divisions, prior to issuance of a Grading or Building permit, whichever comes first. *(PLNG,
 ENGR, TRANS)*

36. Handicapped parking spaces shall comply with Chapter 11 “Site Development Requirements
 for Handicapped Accessibility” of Title 24 of the California Code of Regulations, and be
 located as close as possible to the primary entrance. *(BLDG)*

STREET IMPROVEMENTS

37. Dedicate temporary construction easement to the City along **Waterworld Parkway and
 future Commerce Avenue** frontage, to accommodate construction of street improvements
 along Waterworld Parkway and Commerce Avenue, prior to issuance of any permits. The
 easement shall be 20 feet wide or to the building face, whichever is less. *(ENGR)*

- 1 38. Construct all improvements along the frontage on Civic Court including but not limited to:
 2 driveway removal, ADA compliant frontage including sidewalk, driveway approaches and
 3 installation of landscaping and other improvements if required. Striping at the intersection of
 4 Waterworld Parkway and Civic Court and other frontage improvements shall conform to the
 5 proposed improvement plans by HDR for Commerce Avenue extension and Bridge at Pine
 6 Creek project, dated April 2013. Repair/replacement of deficient frontage improvements as
 7 determined by the City engineer, prior to occupancy approval or Acceptance of improvements.
 8 **(ENGR)**
- 9 39. Construct improvements along the frontage on Water World Parkway as indicated in the HDR
 10 improvement plans for Commerce Avenue extension and Bridge at Pine Creek project, dated
 11 April 2013, including but not limited to: curb, gutter, sidewalk, ADA compliant concrete
 12 driveway approach, street lights, landscaping; storm drain system and conform to the existing
 13 improvements. Install temporary landscaping between existing curb and proposed curb. The
 14 frontage improvement starts from the intersection of Civil Court and Water World Parkway
 15 and stops on the south side of the proposed ADA ramp at intersection of Water World
 16 Parkway and Commerce Ave. **(ENGR)**
- 17 40. The developer shall pay for the cost of installation and inspection of the frontage
 18 improvements along Commerce Avenue as shown in HDR plans prior to issuance of any
 19 permits. **(ENGR)**
- 20 41. Slurry seal Civic Court from lip of gutter to street centerline, after completion of utility
 21 undergrounding and frontage improvements, prior to the Acceptance of Improvements.
 22 **(ENGR)**
- 23 42. Any trenching for underground utilities shall comply with the modified City Standard Detail
 24 S-17 for pavement repair and possible slurry placement. **(ENGR)**
- 25 43. Construct all public facilities in accordance with the current Americans with Disabilities Act
 26 (ADA), including driveways and curb ramps. **(ENGR)**
- 27 44. Show construction details for all pedestrian paths and trails on the Improvement Plans and
 28 Final Landscape Plans. Trail crossings of streets shall have curb cuts, ramps, signs, and
 pavement markings as approved by Engineering Services. **(ENGR)**

NOISE

45. Noise producing site preparation and construction activities shall be limited to the days and hours as set forth below:

Monday through Friday7:30 a.m. to 6:00 p.m.

Construction on Saturdays may be allowed only upon prior approval by the Building, Engineering, and Planning Divisions. No changes to these construction hours shall be allowed without the prior written consent of the City. A contact person shall be available during all construction activities in the evening and on weekends to respond to complaints and take

actions necessary to reduce noise. (*BLDG, ENGR, PLNG*)

CONSTRUCTION ACTIVITIES

46. Contact Engineering Services to arrange for a Pre-Construction Meeting prior to issuance of Grading or Building Permits, whichever comes first. (*ENGR*)
47. Implement a dust and construction noise control plan. Submit the plan to Engineering Services for review and approval prior to issuance of the Grading Permit. (*ENGR*)
48. Construction equipment shall not be serviced at the site at any time. During construction no deliveries shall be made to the site and no delivery vehicles (including gasoline tanker trucks) shall enter the site between 6:00 p.m. and 7:30 a.m. on weekdays, and between 5:00 p.m. and 8:00 a.m. on weekends and federal holidays. Delivery vehicles shall have their engines turned off during unloading. (*BLDG, ENGR, PLNG*)
49. Employ the quietest construction equipment available, to muffle noise from construction equipment and keep all mufflers in good working order in accordance with State law. (*BLDG, ENGR, PLNG*)
50. Implement the following measures during construction:
- a. Gather all construction debris on a regular basis and place them in a dumpster or other container that is emptied or removed on a weekly basis. When appropriate, use tarps on the ground to collect fallen debris or splatters that could contribute to storm water pollution.
 - b. Remove all dirt, gravel, rubbish, refuse, and green waste from the street pavement, and storm drains adjoining the project site. During wet weather, avoid driving vehicles off paved areas.
 - c. Broom sweep the public street pavement adjoining the project site on a daily basis. Caked-on mud or dirt shall be scraped from these areas before sweeping.
 - d. Install filter materials (e.g., sandbags and filter fabric) at the storm drain inlet nearest the downstream side of the site in order to preclude any debris or dirt from flowing into the City storm drain system. Filter materials shall be maintained and/or replaced as necessary to ensure effectiveness and to prevent street flooding. Dispose of filter particles in an approved trash receptacle.
 - e. Create a contained and covered area on the site for the storage of bags, cement, paints, flammable, oils, fertilizers, pesticides, or any other materials used on the site that have the potential for being discharged to the storm drain system by being windblown or in the event of a material spill.
 - f. Never clean items such as machinery, tools, and brushes or rinse containers in a street, gutter, or storm drain.
 - g. Ensure that concrete, gunite, plaster, or similar supply trucks do not discharge wash water into street gutters or drains. (*ENGR, BLDG*)
51. No equipment shall be started or staging area be established on the streets or the site before or after the specified hours of construction. (*ENGR, BLDG*)

- 1 52. Ensure that no debris or construction scrap material is placed on any adjoining lot, open space
2 area, or street, and that any such material stored on an adjoining site shall be completely
3 removed and the site cleaned, prior to occupancy approval. (*ENGR, BLDG*)
- 4 53. At no time shall campers, trailers, motor homes, or any other vehicle be used as living or
5 sleeping quarters on the construction site unless authorized for site security. (*ENGR, BLDG*)
- 6 54. There shall be no parking of construction equipment or construction worker's vehicles on
7 residential streets at any time; all vehicles shall be maintained on-site. (*ENGR, BLDG*)
- 8 55. Portable toilets used during construction shall be kept as far as possible from adjacent
9 properties and shall be emptied on a regular basis as necessary to prevent odor. (*ENGR,*
10 *BLDG*)
- 11 56. Identify truck routes for the import or export of cut/fill material and/or construction debris for
12 review and approval by the City Engineer prior to the issuance of permits. Repair any damage
13 to City streets (private and public) caused by activity associated with this project. (*ENGR*)
- 14 57. In the event of the encounter of subsurface materials suspected to be of an archaeological or
15 paleontological nature, all grading and/or excavation shall cease, the find shall be left
16 untouched, and the City Planning Division shall be immediately notified. The County Coroner
17 and the Native American Heritage Commission shall also be notified and the procedures
18 required in CEQA §15064.5 shall be followed. This requirement shall be noted on the Grading
19 and Building Plans, prior to issuance of permits. (*PLNG, ENGR, BLDG*)
- 20 58. In the above event, retain a qualified professional archaeologist certified by the Register of
21 Professional Archaeologists or paleontologist with a degree(s) in paleontology or geology, to
22 evaluate and make recommendations as to disposition, mitigation and/or salvage. The
23 recommendation shall be implemented before work may proceed. The applicant shall be
24 responsible for all costs associated with the professional investigation and implementation.
25 (*PLNG, ENGR, BLDG*)

CONSTRUCTION PLAN REVIEW/PRE-PERMIT REQUIREMENTS

- 26 59. Submit two copies of Preliminary Title Report, prepared within three months prior to plan
27 submittal. (*ENGR*)
- 28 60. The proposed building is within the 100-year Floodplain Zone (X). At a minimum, comply
with the City of Concord Municipal Code requirements in establishing building finished floor
elevations. The Grading Plan shall be referenced to the same elevation datum as the FEMA
map, and shall show the finished floor elevations of the proposed buildings, 100-year Base
Flood Elevations (BFE), and building setback line per CMC. (*ENGR*) *CMC*
61. The Improvement Plans shall show frontage improvements consistent with plans prepared by
HDR for Commerce Avenue extension and Bridge at Pine Creek project, dated April 2013,
including but not limited to: drainage improvements, curb, gutter and sidewalk per City
Standard Detail S-10, and driveway construction per City Standard Detail S-14 and
repair/replacement of deficient frontage improvements as determined by the City Engineer.

1 Any unusable existing driveway shall be replaced with standard curb, gutter, and sidewalk per
2 S-10 above. Any trenching for utility installation shall comply with the modified City Standard
Detail S-17 for pavement repair and possible slurry placement. *(ENGR)*

- 3 62. The Improvement Plans shall show plan and profile of all proposed street, drainage and sewer
4 improvements and details for curb, gutter, sidewalk, and driveway construction. *(ENGR)*
- 5 63. Design improvements in accordance with the City Standard Plans S-34 and S-36 for sight
6 distance, sidewalk, back up, fencing, geometrics at intersection and corner setback
7 requirements, prior to the Acceptance of Improvements. Plans shall be subject to review and
8 approval by Engineering Services. *(ENGR)*
- 9 64. Obtain an Encroachment Permit from the City prior to performing any work within the public
right-of-way or public easements. *(ENGR) CMC*

GRADING/EROSION CONTROL/GEOLOGIC

- 10 65. Submit a geologic investigation to demonstrate that proposed buildings will not be constructed
11 across active faults. A licensed geologist must prepare an evaluation and written report. If an
12 active fault is found, a structure for human occupancy cannot be placed over the trace of the
13 fault and must be set back from the fault (generally 50 feet). *(ENGR)*
- 14 66. All grading shall require a Grading and Drainage Plan prepared by a registered Civil Engineer,
15 a Soils Report prepared by a registered Geotechnical Engineer and receipt of a Grading Permit
approved by the City Engineer. The Grading Plans and Soils Report shall require review by
the City's Geotechnical consultant with all costs to be borne by the applicant. *(ENGR)*
- 16 67. Contour grading techniques shall be employed throughout the project to achieve a more
17 natural appearance, even where this will increase the amount of grading. Tops of cuts or toes
18 of fills adjacent to existing public rights-of-way or easements shall be set back two feet
19 minimum from said rights-of-way and easements. All cut-and-fill slopes in excess of five feet
in height shall be rounded both horizontally and vertically. *(ENGR)*
- 20 68. Grading on adjacent properties shall require written approval from the affected property
owners. *(ENGR)*
- 21 69. On-site finish grading work shall require drainage to be directed away from all building
22 foundations at a minimum slope of 2 percent and a maximum slope of 20 percent toward
23 approved drainage facilities or swales. Non-paved drainage swales shall have a minimum
slope of 1 percent. *(ENGR)*
- 24 70. The project engineer shall inspect the finished grading and certify that it conforms to the
25 compaction and elevations shown on the Grading Plan and Soils Report. *(ENGR) CMC*
- 26 71. At all times seasonally appropriate erosion control measures shall be implemented per plans
27 approved by the City Engineer for all grading work at all times. Wet season measures shall be
28 in place October through April at a minimum and when rain is otherwise predicted. At the

1 time of approval of the Improvement and/or Grading Plans, an approved Erosion Control Plan
2 prepared by a registered Civil Engineer shall be filed with the City Engineer. *(ENGR)*

3 72. All graded slopes and stockpiles of loose soil shall be hydromulched/hydroseeded by October
4 of any given year. During grading work between October and April, if rain is forecast, stop all
5 grading work two days before the rain forecast and implement BMPs to insure that the site is
6 protected from erosion. *(ENGR)*

7 73. Submit Grading, Erosion Control, Improvement, and State Waste Discharge ID verifying
8 submittal of Stormwater Pollution Prevention Plan (SWPPP), and Stormwater Control Plans to
9 Engineering Services for review and approval prior to the issuance of Grading, Encroachment,
10 and Building Permits. Where applicable, evidence of compliance with the State General
11 Construction Permit shall be provided. *(ENGR) CMC*

12 74. Comply with the applicable provisions of the Grading Ordinance and the Storm Water
13 Management and Discharge Control Ordinance. *(ENGR) CMC*

14 UTILITIES

15 75. New electrical transformers shall be placed underground or screened from view. *(PLNG,*
16 *ENGR)*

17 76. No above ground utility facilities/structures shall be located between the face of curb and back
18 of sidewalk in the public right-of-way. *(ENGR)*

19 77. Dedicate to the City a 15 foot wide sanitary sewer easement (along all main sewer lines
20 outside of the public street right-of-way) for construction and maintenance purposes prior to
21 recording of the Final Map or Building occupancy approval whichever comes first. The City
22 will not accept maintenance of building laterals. *(ENGR)*

23 78. Install streetlights along the *Waterworld Parkway* frontage. Submit streetlight plans in
24 accordance with the City Standard Specifications showing pole type, luminaries type,
25 conductor and wiring schedule, connection points, lamp wattage and pull box locations, at the
26 time of submittal of improvement plans. Streetlights shall be completely installed and
27 operational prior to occupancy approval. *(ENGR)*

28 79. All new utilities shall be constructed underground prior occupancy approval. *(ENGR)*

80. Undergrounding of all existing overhead utilities along *Waterworld Parkway* and *Civic Court*
including aerial street crossings shall be required pursuant to Chapter 13.10 of the Concord
Municipal Code. All new utilities shall be constructed underground prior to issuance of
occupancy approval. *(ENGR)*

81. Comply with the City of Concord sewer design flow criteria and sewer construction
requirements of the Central Contra Costa Sanitary District. *(ENGR)*

82. Submit to Engineering Services sanitary sewer calculations with the Improvement Plans
stamped and signed by a Registered Civil Engineer for review. *(ENGR)*

- 1
- 2 83. Submit to Engineering Services a sewer fixture count and square footage of the existing
- 3 buildings for possible fee credit purposes, prior to demolition. (*ENGR*)
- 4 84. Coordinate all facility adjustments, relocations, or additions to utility services with the
- 5 appropriate utility companies. (*ENGR*)
- 6 85. Utility areas, electrical and gas meters shall be architecturally screened from view. (*PLNG*)
- 7 86. The location of all outdoor, above-ground and/or at-grade pad mounted transformers, utility
- 8 equipment, electrical and gas meters, vaults, irrigation control boxes, back flow prevention
- 9 devices, and the like shall be subject to approval by Planning and Engineering Services prior
- 10 to the issuance of the Grading or Building Permit, whichever comes first. All such equipment
- 11 shall be screened from view either architecturally or with landscaping and painted forest green
- 12 or other approved color as approved by the Planning Division. Any changes to the approved
- 13 Utility Plans, including location or screening details shall be reviewed and approved by the
- 14 Planning Division. (*PLNG, ENGR*)
- 15 87. Provide cable companies a set of approved site diagrams in electronic format showing the joint
- 16 trench layout for dry utilities for cable service to be provided to the site. (*ENGR*)
- 17 88. Connect all buildings to the sanitary sewer collection facilities of the City, and pay all current
- 18 sewer connection and service fees prior to occupancy approval. (*ENGR*) *CMC*
- 19 89. Submit proof acceptable to Engineering Services that all work within the existing (new)
- 20 private waterline easement(s) are reviewed and approved by the easement owner of record.
- 21 (*ENGR*)

DRAINAGE/STORMWATER C.3 REQUIREMENTS

- 22 90. Submit a Stormwater Control Plan (SWCP) prepared in accordance with the current Contra
- 23 Costa Clean Water Program Stormwater C.3 Guidebook for review and approval by
- 24 Engineering Services prior to issuance of any permit. The SWCP shall be prepared and
- 25 certified by a Civil Engineer, registered in the State of California, demonstrating an
- 26 understanding of the design of treatment measures for water quality and groundwater
- 27 protection principles applicable to the project site. (*ENGR*)
- 28 91. Prior to issuance of permits for building, site improvements, or landscaping, applicant shall
- submit a permit application consistent with the applicant's approved Stormwater Control Plan
- (SWCP), and include drawings and specifications necessary for construction of site design
- features, measures to limit directly connected impervious area, pervious pavements, self-
- retaining areas, treatment BMP's, permanent source control BMP's, and other features that
- control stormwater flow and potential stormwater pollutants. The Contra Costa Clean Water
- Program permit application shall include a completed "Construction Plan C.3 Checklist" as
- described in the Stormwater C.3 Guidebook, and a detailed draft Stormwater BMP Operation
- and Maintenance Plan consistent with the general O&M plan included in the applicant's

1 approved Stormwater Control Plan. Guidelines for the preparation of Stormwater BMP
2 Operation and Maintenance Plans are in Appendix F of the Stormwater C.3 Guidebook.
(*ENGR*)

3 92. Construct stormwater treatment measures per the approved SWCP prior to occupancy
4 approval. (*ENGR*)

5 93. Submit a final Stormwater BMP Operation and Maintenance Plan (O&M Plan) in accordance
6 with City of Concord Guidelines, for review and approval by Engineering Services, prior to
7 occupancy approval. This O&M Plan shall incorporate City comments on the draft O&M Plan
8 and any revisions resulting from changes made during construction. The implementation of
9 the O&M Plan shall be the responsibility of the property owner or the HOA where one exists.
(*ENGR*)

10 94. Execute any agreements identified in the SWCP which pertain to the transfer of ownership,
11 right-of-entry for inspection or abatement, and/or long-term maintenance of stormwater
12 treatment or hydrograph modification BMPs, prior to occupancy approval. (*ENGR*)

13 95. Prevent site drainage from draining across sidewalks and driveways in a concentrated manner.
14 (*ENGR*)

15 96. Collect and convey all stormwater entering and/or originating from the site to an adequate
16 downstream drainage facility. Submit hydrologic and hydraulic calculations for a 10-year
17 storm with the Improvement Plans to Engineering Services for review and approval. (*ENGR*)

18 97. Install City of Concord “No Dumping, Drains to Creek” curb marker (English and Spanish
19 version) on all catch basins. (*ENGR*)

20 98. Submit a Construction Best Management Practice (BMP) Program for review and approval by
21 the Engineering Development Services Department prior to issuance of a Building and/or
22 Grading Permit. The general contractor and all subcontractors and suppliers of materials and
23 equipment shall implement these BMPs. Construction site cleanup and control of construction
24 debris shall also be addressed in this program. Failure to comply with the approved
25 construction BMP may result in the issuance of correction notices, citations, or a project stop
26 work order. (*ENGR*)

27 99. Sweep or vacuum the parking lot(s) a minimum of once a month and prevent the accumulation
28 of litter and debris on the site. Corners and hard to reach areas shall be swept manually. If
sidewalks and/or the parking lot are pressure washed, debris must be trapped and collected to
prevent entry into the storm drain system. No cleaning agent may be discharged into the storm
drain. If any cleaning agent or degreaser is used, wash water shall be collected and discharged
to the sanitary sewer, subject to the approval of the Central Contra Costa Sanitary District).
(*ENGR*)

100. Ensure that the area surrounding the project such as the streets stay free and clear of
construction debris such as silt, dirt, dust, and tracked mud coming in from or in any way
related to project construction. Areas that are exposed for extended periods shall be watered

regularly to reduce wind erosion. Paved areas and access roads shall be swept on a regular basis. All trucks shall be covered. (*ENGR*)

101. Clean all on-site stormdrain facilities a minimum of twice a year, once immediately prior to October 15 and once in January. Additional cleaning may be required if found necessary by the City Engineer/Director of Building Inspection. (*ENGR, BLDG*)

SOLID WASTE/RECYCLING

102. Comply with all applicable requirements for solid waste and construction and demolition(C&D) waste recycling under Chapter 8.20 of the Concord Municipal Code. (*BLDG*)

103. Design and implement City approved Source Reduction/Recycling Plan and demonstrate that interior and exterior refuse enclosures have been sufficiently designed and located for the storage and pick up of recyclable materials in accordance with CMC Section 82-83, Source Reduction and Recycling, prior to issuance of a Building Permit. (*PW*)

104. Trash bins and refuse shall be stored within approved trash enclosure and the doors shall be closed at all times except when the bins are being emptied. (*NS*)

105. Comply with the provisions of the CMC, Central Contra Costa Sanitary District and the disposal service regarding enclosure design, access requirements, and the number of required individual refuse receptacles based upon waste pickup schedules. Trash enclosures shall incorporate the following features:

- a. A concrete pad to prevent damage to asphalt paving.
- b. A roof and sanitary sewer cleanout, designed to prevent rainwater from penetrating the interior of the enclosure and preclude trash from being blown outside of the bins.
- c. The cleanout shall connect to a sanitary sewer to prevent contaminated water from entering the storm drain system.
- d. If any cleaning agent or degreaser is used, wash water must be collected and discharged to the sanitary sewer, subject to the approval of the Central Contra Costa Sanitary District. (*CCCSD, ENGR*)

106. Trash enclosures shall incorporate the same architectural treatment, and use the same exterior materials and colors as the main building and shall comply with the Community Design Guidelines, including the following:

- a. A roof or trellis.
- b. Masonry, steel or heavy timber walls.
- c. An interior, poured-in-place curb to prevent damage to the screen walls.
- d. Doors with external hinges to prevent damage from the receptacle.
- e. Doors of solid metal or with a metal frame with self-closing latch.
- f. The height of the enclosure walls and door shall be the same height or higher than the bins within the enclosure. (*PLNG*)

AGREEMENTS, FEES, BONDS

107. All fees noted below are the fees currently in effect as of July 1, 2014 per the Resolution of Fees and Charges. The fees and charges are reviewed annually as part of the budget public hearing process. Fee adjustments are based on a number of factors and vary depending on the type of fee:

Service-based fees are adjusted annually based on the San Francisco-San Jose-Oakland Area Consumer Price Index;

Improvement based fees (also called impact fees) are adjusted annually based on Engineering News Record Construction Cost Index (San Francisco Bay Area); and the

Parkland Fee is adjusted per Chapter 19.20 of the Concord Municipal Code.

The fees become effective as of the date set forth in Exhibit A of Resolution No. 78-6042, Fees and Charges for Various Municipal Services, as most recently amended and approved by the City Council. Persons interested in how a particular fee is calculated should contact the City Department administering the fee or the Finance Department. **(ENGR)**

108. Provide a **\$5,000** cash deposit to the Planning Division to cover Condition Compliance costs at the time of submittal of plans and documents to Engineering Services or the Building Division for plan check. Planning staff's time will be charged to this deposit for work performed to implement the Conditions of Approval, from the time of project approval to occupancy approval. The deposit will be placed in a refundable account and any unused funds will be returned upon completion. If the initial deposit is insufficient to cover actual costs, an additional deposit will be required. **(PLNG)**

109. Pay a Document Imaging fee to reimburse the City for implementation of the Document Imaging and File Retention programs, prior to issuance of Grading or Building Permits. **(PLNG)**

110. All improvement agreements required in connection with said plans shall be submitted to and approved by the City and other agencies having jurisdiction over said project prior to approval of the Final Map or issuance of the Building or Grading Permit, whichever comes first. **(ENGR)**

111. Faithful performance bonds and labor materials bonds in a penal amount equal to 100 percent of the approved estimates of construction costs of improvements shall be submitted to and approved by the City and other agencies having jurisdiction prior to approval or issuance of Improvement, Building, Encroachment, or Grading Permit, whichever comes first. **(ENGR)**

112. Encroachment Permit Application:

a. Pay the Filing Fee at the time of submittal of permit application, improvement plans and supporting documents to City Engineering Services for review. The current fee is **\$86.00**.

b. Provide a restoration security before issuance of the Encroachment Permit. The security shall be in an amount sufficient to restore existing public improvements to a serviceable condition should development improvement activity cause damage. The

amount of the security shall be determined by, and be in a form acceptable to the City Engineer.

- c. Provide a \$10,000 cash deposit to cover Condition Compliance/Mitigation Monitoring costs at the time of submittal of plans and documents to Engineering Services for review. The deposit will be placed in a refundable account. Condition Compliance/Mitigation Monitoring costs will be charged to this deposit over the life of the project permit and mitigation requirements. Any unused funds will be returned at project completion. If the initial deposit is insufficient to cover actual costs, an additional deposit in an amount determined by the City Engineer will be required. *(ENGR)*

113. Grading Permit Application:

- a. Pay Grading Permit Fees at submittal of a Grading Permit application. The current fee is determined based on cubic yardage of cut and fill combined, or at the hourly rate of **\$172.00** if the hourly rate is used.
- b. Provide a \$10,000 cash deposit for Erosion Control prior to issuance of Grading Permit. The deposit will be placed in a refundable account. Any unused funds will be returned at project completion. If the initial deposit is insufficient to cover actual costs, an additional deposit in an amount determined by the City Engineer will be required.
- c. Pay Stockpile and Erosion Control Monitoring fee prior to issuance of Grading Permit. The stockpile and erosion control monitoring fee is currently **\$23.00** per calendar day and is collected for the life of the Grading Permit activity. *(ENGR)*

114. Improvement Plan:

- a. A deposit of **\$5,000** will be required at the time of submittal of Improvement Plans and supporting documents to Engineering Services for review. This amount will be deposited to the project trust account, which the review fee will be deducted from. If the review costs exceed the requested amount, an additional review fee of **\$172.00/hr.** will be required.
- b. Pay the Construction Inspection fee prior to issuance of the Construction Permits. The current fee is based on 9% of the estimated cost of constructing the required improvements.
- c. Pay the Drainage Acreage Fee prior to Construction Permits. The current fee is **\$2,535/acre.** (Drainage Area 92)
- d. Pay the Parkland Fee prior to Construction Permits. The current fee is **\$7,304** per living unit for Downtown Mixed Use Designation.
- e. Provide a **\$5,000** deposit for specialty inspections prior to approval of the Improvement Plan.
- f. Pay applicable fees for review of Stormwater Control O&M Agreement and bioretention facilities inspection. *(ENGR)*

115. Sewer Connection Permit:

- a. Pay Sanitary Sewer connection fee. The current sewer connection fee is **\$3,731** per two bedroom dwelling unit, **\$2,774** per one bedroom or studio unit, and **\$1,009** per fixture for office use. The fee shall be paid prior to issuance of Building Permit. *(ENGR)*

1 116. Traffic Mitigation Fee:

2 Pay Offsite Improvement Program (OSIP) fee prior to issuance of Building Permit. The OSIP
 3 fee shall be determined based on the project's ITE trip generation rate (trips/bed) for the PM
 4 peak hour, multiplied by the number of beds (living units), multiplied by the fee rate (\$ per
 trip) equivalent to the fee amount for a single family unit.(ENGR)

5 117. Pay Child Care Program Fee equal to **0.5 percent of the development cost** of a project at the
 6 time of issuance of the Certificates of Occupancy. (BLDG/PLNG)

7 **OTHER/MISCELLANEOUS**

8 118. Contact local postal authorities to get their requirements for mail facilities for the project. The
 9 design and location of mail receptacles shall be reviewed and approved by the Planning
 10 Division and shown on the Utility, Landscape, and Building Plans, prior to issuance of
 Grading or Building Permits, whichever comes first. Mail facilities shall be installed prior to
 11 occupancy approval. (PLNG)

12 119. Contact County Connection at (925) 680-2085 for required bus stop improvements along the
 13 project frontage(s). Any required bus stop improvements shall be incorporated into the
 Improvement Plans for review and approval by Current Development – Engineering.
 (PLNG/ENGR)

14 120. Contact the Geographic Information Systems (GIS) Technician, in the Information
 15 Technology Department, (925) 671-3051, for addressing requirements, and coordinate with the
 16 Contra Costa Fire Protection District for their approval, prior to issuance of a Building Permit.
 (PLNG)

17 121. Comply with the requirements of the Contra Costa Fire Protection District. Submit complete
 18 sets of plans and specifications to the Fire District for review and approval at:

19 Contra Costa County Fire Protection District
 20 2010 Geary Road
 21 Pleasant Hill, CA 94523

22 Plan review fees are assessed at that time. The City is not responsible for the collection of fees
 or enforcement of requirements imposed by the Fire District. (CCCFIRE)

23 122. The applicant shall defend, indemnify and hold harmless the City, its agents, officials, and
 24 employees from any claim, action or proceeding brought by a third party to set aside, annul,
 attack or otherwise void the permit. (PLNG)

25 123. The permit and approval shall expire in **one** year from the date on which they became effective
 26 unless construction permits are obtained and work has begun. The effective date of the permit
 27 and approval is **February 24, 2015**. (PLNG)

1 124. A request for a time extension from the expiration date of *February 24, 2016* can be
2 considered if an application with required fee is filed at least 45 days before the original
3 expiration date, otherwise a new application is required. A public hearing will be required for
4 all extension applications, except those involving only Design Review. Extensions are not
5 automatically approved. Changes in conditions, City policies, surrounding neighborhood, and
6 other factors permitted to be considered under the law, may require, or permit denial. *(PLNG)*
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REPORT TO PLANNING COMMISSION

DATE: December 3, 2014

SUBJECT: Oakmont Senior Living (PL1400211 – UP, DR)

Recommendation: Adopt Resolution No. 14-19PC, approving the Oakmont Senior Living Use Permit and Design Review (PL1400211 – UP, DR).

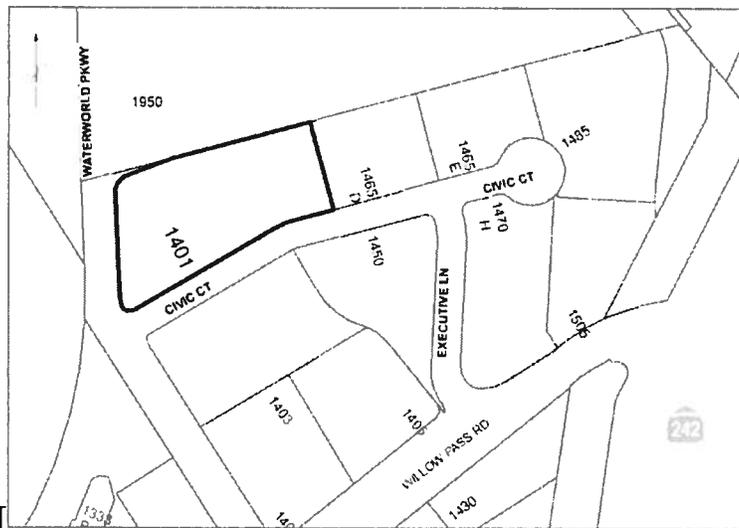
I. Introduction

A. Application Request

Application for a Use Permit and Design review to construct a 76-unit senior assisted living facility.

B. Location

The project site is located at 1401 Civic Court; APN 126-300-052



C. Applicant
William Mabry
Oakmont Senior Living
220 Concourse Blvd.
Santa Rosa, CA 95403

Owner(s)
Carlo Zocchi
Bay Area Investors
4080 Port Chicago Highway
Concord, CA 94520

II. Background

In 2006, the City approved an application by Enea Square Partners and Allied Investments (now “Bay Area Investors”) to develop the 224-unit Palmero Condominiums at 1401 and 1465 Enea Circle (Enea Circle was renamed “Civic Court”). The condominium approval is valid through March 15, 2015, however Enea Square Partners has since sold their property at 1465 Civic Circle and the new property owner and Bay Area Investors have decided not to develop the project.

On May 29, 2014, Oakmont Senior Living submitted a Use Permit and Design Review application to construct an approximately 100,000 square foot, 76-unit senior assisted living facility at 1401 Civic Court. The application was reviewed by the Development Advisory Committee on June 10 and August 19, and deemed complete on October 14, 2014.

The Design Review Board held three design review meetings for the project and recommended Planning Commission approval on July 24, 2014.

A neighborhood meeting was held for the project on June 23, 2014; no neighbors attended the meeting.

III. General Information

A. General Plan

The General Plan designation is Downtown Mixed Use.

B. Zoning and Use Classification

The site is zoned DMX (Downtown Mixed Use). The proposed use is classified as “Residential Facility for Seniors, Assisted Living.” The proposed use allowed in the DMX District with a conditional use permit.

C. CEQA Status

Pursuant to the California Environmental Quality Act (CEQA) of 1970, as amended, the project is Categorically Exempt under Section 15332, Class 32 “In-Fill Development Projects,” and no further environmental review is required.

D. Site Description and Surrounding Uses

The 2.42-acre site is located at the northeast corner of Waterworld Parkway and Civic Court. The site was previously developed with a telephone switching station that was demolished in 2005. Site topography is flat and vegetation consists of ruderal shrubs and weeds. The site is roughly rectangular in shape with its longer sides abutting Waterworld to the north and fronting Civic Court to the south. The site also fronts Waterworld Parkway to the west and abuts an office development to the east.

	Land Use	General Plan Designation	Zoning
North	Waterworld	Downtown Mixed Use	DMX
South	Civic Circle/Offices	Downtown Mixed Use	DMX
East	Offices	Downtown Mixed Use	DMX
West	Waterworld Pkwy./Offices	Downtown Mixed Use	DMX

IV. Project Description

The project proposes to construct an approximately 100,000 square foot, 76-unit senior assisted living facility. The facility will offer both individual rooms and apartment-style suites with full kitchens to accommodate seniors in various stages of assisted care. Proposed project amenities and services include private and formal dining rooms, café, entertainment and activity rooms, beauty salon, library, in-house wellness and fitness center, on-call car service, and specialized memory care. The 24-hour facility will have approximately 38 employees consisting of 30 non-administrative staff on morning, afternoon, or evening shift schedules, and eight administrative staff on standard 8 a.m. – 5 p.m. schedules.

A. **Development Regulations**

The property is zoned DMX (Downtown Mixed Use). Project conformity to the applicable DMX and general development standards is noted in the following table.

Standards	Proposed	Required
Floor Area Ratio	1.0	1.0 min. – 6.0 max.
Setbacks (minimum)		
Front yard (Waterworld Pkwy.)	50 ft.	10 ft.
Exterior side yards (Civic Ct. and Commerce Ave.)	12 ft.	10 ft.
Rear yard (east)	10 ft.	None
Building Height	36 ft.	30 ft. min./200 ft. max
Parking Spaces	31	N/A*
Bicycle Parking	4	5
Landscaping	43.9% of site	20% of site

*To be determined through use permit; see Section V-C of this report.

B. **Site Planning/Circulation/Parking**

A rectangular building is proposed to fit the shape of the lot. The building is sited away from Waterworld Parkway in order to use the westerly portions of the site for vehicle access and surface parking. A new driveway will be constructed off Waterworld Parkway to access the building's entrance and drop-off/pick up area located at the northwest corner of the site, and

parking areas adjacent to Waterworld Parkway and Civic Court. The driveway transitions into a one-way driveway that exits out to Civic Court.

The site will front Commerce Avenue to the north when the City's Commerce Avenue Extension Project is completed.¹ The applicant will pay for the cost of installation and inspection of Commerce Avenue improvements along the project's frontage, including a 10-foot wide multi-use trail/sidewalk segment of the Mokelumne Aqueduct Trail, in accordance with the Concord Trails Master Plan. Two temporary walkways will be constructed to provide access to Civic Court and Commerce Avenue from two exit doors located on the north side of the building. The walkways will be removed when the Commerce Avenue trail is completed. Two permanent walkways will be constructed to access the building's main entrance from Commerce Avenue and Civic Circle.

The project will provide 31 on-site parking spaces consisting of two handicap spaces, 23 standard parking spaces, and six compact spaces. Street parking is prohibited along the project's frontage, except for a short segment of Civic Court that can accommodate approximately nine on-street parking spaces in front of the project.

C. Building Architecture

A two-story Mission style building is proposed that the applicant describes as "*residential in character, with architectural elements of sloped roofs covered with mission style clay roof tiles and a stucco body, with visual interest added by the use of shutter and balcony/railing features and stucco capped foam and trim elements.*" Hip roofs are the predominant roof form with gabled pop-outs used to emphasize vertical elements along longer horizontal facades. Building colors consist of dark brown, beige, and an olive-like color that are alternated between body surfaces and trim elements.

D. Landscaping

The proposed landscape plan features a landscaped courtyard and exterior landscaping including perimeter street trees. Landscaped bioretention facilities will be located within both courtyard and perimeter landscaping areas. The planting plan consists of both low and moderate water usage plants. Trees are mostly 24-inch box in size in addition to a few 36-inch box and 15-gallon trees. Chinese pistache, Valley oak, Western redbud, and elm are among the fifteen different tree specimens proposed. Shrubs will be five-gallon and one-gallon size in addition to a few 15-gallon specimens. Over 30 types of shrubs are proposed including India hawthorn, New Zealand flax, Heavenly bamboo, Escallonia and Azalea.

¹ Engineering is scheduled to present a plan to the City Council in January 2015 that sets forth the necessary steps to move forward on the Commerce Avenue Extension Project. The plan will be used to apply for Contra Costa Transportation Authority (CCTA) funding for that roadway extension project. The timeline for project construction and completion will be set once the funding request has been sent to CCTA and approved.

E. Trees

The project will require removing four on-site trees located along the north property line. The trees are between 3” – 10” in diameter and do not qualify for protected tree status.

F. Signs

A ground sign is proposed at the corner of Waterworld Parkway and Civic Circle. The approximately 5’ x 6’ sign will be framed by decorative columns and a trellis that increase the overall dimensions to 6.5’ x 10’. The sign columns and “frame” will have a stucco finish and the sign face consists of brass lettering on a recessed granite tile background. The sign will be illuminated indirectly with ground-mounted lights.

G. Drainage/Stormwater Plan

Eleven bio-retention areas located around the building perimeter and interior courtyard are proposed to treat stormwater prior to entering the public storm drain system. The stormwater control/C.3 plan has been reviewed and found to be in substantial conformance with the applicable stormwater/C.3 standards.

V. Analysis

A. General Plan

The General Plan’s land use designation for the project site is Downtown Mixed Use. This designation encourages a mix of residential, commercial, and office development that balances jobs and housing opportunities. The project provides special housing needs in an area predominated by office uses, and is thus consistent with the intent of the Downtown Mixed Use designation to establish a mix of uses for the area. Additionally, the project is consistent with General Plan policies encouraging a variety of housing types on infill sites (Policy LU-1.3.1) and locating senior housing developments near shopping and other services, including public transit (Housing Element Program H-3.1.2).

B. Development Regulations

As noted in Section IV-A, the project complies with general development standards and DMX District standards that apply to the project with the exception of bicycle parking. Bicycle parking must be provided equal to 15% of automobile parking spaces. Based on the 31 parking spaces proposed, the project must provide at least five bicycle parking spaces where four spaces are proposed. The project will be conditioned to ensure final plans satisfy the bicycle parking requirement.

C. Site Planning/Circulation/Parking

The Development Code does not contain a parking standard for assisted living facilities. The required parking is established by use permit on a case-by-case basis. A parking study was

prepared for the project that finds the 31 on-site parking spaces proposed by the project are adequate. The study finds employees and visitors are the main factors in the project's parking demand. Project residents are primarily care dependent seniors who do not drive, however resident parking will be provided if necessary. The facility will have an on-call car service for those residents who do not drive.

Employees include approximately 30 non-administrative staff on morning, afternoon, and evening shift work, and eight administrative staff on a standard 8 a.m. – 5 p.m. schedule. The study estimates 22 staff members during the 2:30 p.m. – 5:00 p.m. maximum work shift. The study surveyed other Oakmont facilities and found that as much as 33% of employees utilized other modes of travel to work other than a single-occupant vehicle. The modes of travel observed include walking, biking, public transit, and rideshare. In this case, the study conservatively applies a 20% reduction in parking demand for employees using alternative modes of transportation. This results in an estimate of 19 parking spaces needed for employees. The study observed an average of two visitors, including health professionals, between one-hour sample periods during morning, afternoon, and evening times at other Oakmont facilities.

The study concludes that approximately 22 spaces are needed to meet the parking demand generated by employees (19 spaces), visitors (two spaces), and Oakmont's on-call car service (one space). The project would provide nine parking spaces in excess of the anticipated employee and visitor parking need, which may be used for resident parking if necessary. The study further notes that the 31 spaces proposed would comply with a parking standard for residential care facilities that is used in cities like Alameda, Corta Madera, Danville, Novato and San Francisco. These cities require three parking spaces for every three beds, or 25 parking spaces for a 76-unit (i.e., 76 bed) facility.

D. Design Review

The Design Review Board recommended approval of the building architecture, landscape plan and signage on July 24, 2014. The design review process resulted in a number of design enhancements including roof and color changes to emphasize the building's vertical elements and massing, main entry and tower element detailing, and a smaller ground sign. Staff finds the projects meets the required design review findings as set forth in Resolution No. 14-19 PC.

E. Conditions of Approval

If approved, the project would be subject to the Conditions of Approval (COA) set forth in Attachment 1 of Exhibit A, or as amended by the Planning Commission. As discussed in this report, the project is conditioned to pay its contribution of the construction costs and inspections of Commerce Avenue improvements along the project's frontage (COA #36) and to comply with bicycle parking requirements (COA #32).

The COA lists the applicable permit and impact fees for the project. Condition of Approval #111 requires a Child Care Program fee equal to 0.5 percent of the development cost of a project to be paid prior to occupancy. The fee is used to fund the activities of the Concord

Child Care Program. As the review authority for this project, the Planning Commission may waive, reduce, or allow a fee credit if the applicant demonstrates their project will not have a child care impact, or that their employees are provided a child care benefit program that eliminates, subsidizes, or reduces the need for local child care facilities and programs.

The applicant is requesting a waiver or reduction of the child care fee due to the flexible spending account (FSA) program they offer to their employees. The benefit allows employees to use their own pre-tax dollars to pay for dependent care costs including child care and babysitting.

Staff finds the project does not meet the criteria for a fee waiver or reduction and has included the child care fee as a Condition of Approval. Although the FSA program helps reduce Oakmont employees' childcare costs, it does not eliminate, subsidize, or reduce the need for local child care facilities and programs funded by the Concord Child Care Program.

VI. Fiscal Impact

The proposed would have a negligible fiscal impact on the City.

VII. Public Contact

Notification was mailed to all owners and occupants of property within three-hundred (300) feet of the subject parcel, and has been published in the Contra Costa Times, as required by the Concord Municipal Code. This item has also been posted at the Civic Center and at the subject site at least 10 days prior to the public hearing.

VIII. Summary and Recommendations

Staff finds the project is consistent with the General Plan and complies with the DMX District and development standards that apply to the project. The project will establish a use that promotes the General Plan's vision for a mix of uses for the area, and enhances the site and area with an attractively designed development that was recommended for approval by the Design Review Board. Therefore, staff recommends that the Planning Commission adopt Resolution No. 14-19PC, approving the Oakmont Senior Living Use Permit and Design Review (PL1400211 – UP, DR).

IX. Motion

Project Approvals

I (Comm. _____) hereby move that the Planning Commission adopt Resolution No 14-19PC approving the Oakmont Senior Living Use Permit and Design Review (PL1400211 – UP, DR), subject to the Conditions of Approval set forth in Attachment 1 to Resolution No. 14-19PC. (Seconded by Comm. _____.)

Prepared by: Frank Abejo
Frank Abejo
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(925) 671-3128
frank.abejo@cityofconcord.org

Reviewed by: Laura Simpson
Laura Simpson
Planning Manager
(925) 671-3369
laura.simpson@cityofconcord.org

Exhibits:

- A - Resolution No. 14-19PC with Draft Conditions of Approval (Attachment 1)
- B - Applicant's Project Description
- C - Trip Generation and Parking Study
- D - Project plans date-stamped received September 23, 2014



REPORT TO PLANNING COMMISSION

DATE: January 7, 2015

SUBJECT: Oakmont Senior Living (PL1400211 – UP, DR)

Recommendation: Adopt Resolution No. 15-01PC, approving the Oakmont Senior Living Use Permit and Design Review (PL1400211 – UP, DR).

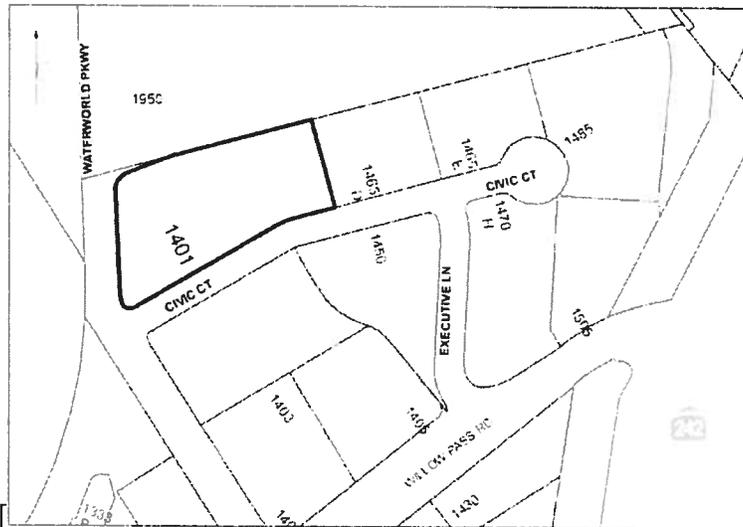
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B. Location

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C. Applicant
William Mabry
Oakmont Senior Living
220 Concourse Blvd.
Santa Rosa, CA 95403

Owner(s)
Carlo Zocchi
Bay Area Investors
4080 Port Chicago Highway
Concord, CA 94520

II. Background

Following the public hearing item discussion on December 3, 2014, the Planning Commission continued the Oakmont Senior Living Use Permit and Design Review (PL1400211 – UP, DR) application to allow the applicant to return with a parking program that provides additional parking for visitors, employees, and residents during normal operations and special events. Oakmont has prepared a Transportation Management Plan (TMP) in response to the Commission's request. The proposed TMP is included as Attachment 2 to Exhibit A and consists of four program levels that are described below.

Level 1:

- Provide on-call, by appointment car service for all residents at all times
- Prepare and distribute materials that describe and promote TMP services
- Monitor parking use to ensure that the supply is adequate at all times
- Maintain transportation Information and provide current information to employees and visitors. This will include bicycle and pedestrian walking maps to/from the facility and the surrounding bus stops and transit locations. The closest bus stop to the project site is located at Waterworld Parkway and Willow Pass Road.
- Ensure that plans are in place to handle seasonal events and valet parking services when needed. Valet parking would be handled by a professional valet service, such as Signature Parking, headquartered in Walnut Creek. Oakmont's Montecito Senior Housing facility has used this service, owned by Michael Holstrom. Mr. Holstrom states that an event at Oakmont's Waterworld Parkway facility, with an estimated 150 attendees, would require his service to arrange for vehicle storage in advance of an event. The service would require 5 to 6 valets who would maximize the use of on-site parking space during the event, parking vehicles off-site in the pre-arranged location, as needed. He suggests making advance arrangements with several nearby offices with parking lots that would be open and available for an evening function. Oakmont and/or Signature Parking would coordinate to arrange for off-site parking locations well in advance of events.

Level 2 includes Level 1, plus:

- Establish a permanent transportation information center within the facility convenient for employee access. Displays will contain ride matching and carpooling information, bus schedules, and transportation resource contacts as well as a program of incentives offered to employees to encourage use of alternative transit modes. Oakmont has requested discussions with the CoCo Pass Program representative Anne Muzzini to determine its eligibility for the program, which could make all forms of County transit available at no cost to participating employees and residents (if applicable), and at low cost to Oakmont Senior Living, LLC (e.g., the program costs \$140.00 annually per program participant). Each eligible participant receives a CoCo Pass with his or her name, photo, and the valid calendar year printed on the card. CoCo Passes are renewed each calendar year as long as the participant remains eligible.
- Coordinate and conduct periodic site promotions to encourage program participation
- Maintain on-call shuttle service to and from BART and other transit centers.

Level 3 includes Levels 1 and 2, plus:

- Arrangement with a nearby parking garage or parking lot, such as the Sierra Pacific Properties 1,600-space parking garage located immediately south of the project site. Oakmont has held discussions with Mark Wickham, CFO of Sierra Pacific properties who states that they currently rent parking stalls to Metro Plexiglass, and would certainly assist Oakmont in arranging for rental parking spaces if and when needed.

Level 4 includes Levels 1-3, plus:

- Initiation and maintenance of a shuttle service for employees between this facility and its Montecito facility, approximately 10 minutes away. The Montecito facility has a constant excess of 15 parking spaces where employees may leave their vehicle in a secure location. Use of the employee shuttle would require scheduling as much as an extra ½-hour per employee to arrive at the Montecito facility and take the shuttle to the Waterworld Parkway facility. Employees would also need to schedule additional time on the return trip, perhaps as much as ½-hour, to return by shuttle to their cars. If the need arises during the work day to return to their cars, employees would schedule transport with the Oakmont Waterworld car or shuttle service, or make other arrangements (i.e., bus or taxi service).

III. Discussion

Under TMP Level 3, Oakmont proposes securing off-site parking at a nearby facility such as the Metroplex parking garage located across the street from the project. Pursuant to Development Code Section 18.160.050, off-site parking may be approved toward meeting a project's parking requirements if there is a formal agreement between the landowners of the parking lot and the use it serves. The agreement must be recorded and approved by the City to guarantee the off-site parking will be maintained and reserved for as long as the use it serves is in operation. The City has reviewed off-site parking agreements for other projects that were approved and recorded in accordance with the Development Code.

The Montecito facility was approved by use permit in 2002 as a 146-unit congregate care facility with 12 employees. A shuttle service and 128 on-site parking spaces were provided to meet Montecito's parking needs. The facility has a larger number of independent seniors who are able to drive compared to the proposed facility, and thus a greater need for resident parking. However, 24 units were converted from congregate to memory care units since the project's approval. The Montecito facility will have 113 parking spaces remaining when 15 spaces are used by the proposed facility when TMP Level 4 is implemented.

IV. Summary and Recommendations

Staff finds the TMP addresses the Commission's concerns by managing and monitoring on-site parking on a daily basis, providing additional off-site parking, and incentivizing alternative modes of transportation that could reduce parking demand. Staff supports adopting the TMP and has included a condition requiring Oakmont's implementation and management of the TMP. Additionally, the Planning Commission may modify the condition to require a formal off-site parking agreement, a monitoring program, or other measures to address remaining concerns the Planning Commission may have with the TMP.

V. Motion

Project Approvals

I (Comm. _____) hereby move that the Planning Commission adopt Resolution No 15-01PC approving the Oakmont Senior Living Use Permit and Design Review (PL1400211 – UP, DR), subject to the Conditions of Approval set forth in Attachment 1 to Resolution No. 15-01PC. (Seconded by Comm. _____.)

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Exhibits:

- A - Resolution No. 15-01PC with Draft Conditions of Approval (Attachment 1) and Transportation Management Plan (Attachment 2)
- B - Trip Generation and Parking Study
- C - Project Plans date-stamped September 23, 2014

ATTACHMENT 1

FINAL CONDITIONS OF APPROVAL OAKMONT SENIOR LIVING PL1400211 – UP, DR 1401 CIVIC COURT APN: 126-300-052

PERMIT DESCRIPTION

1. These Conditions apply to and constitute the approval of a **Use Permit** to establish a “Residential Facility for Seniors, Assisted Living” in the DMX (Downtown Mixed Use) district.
2. These Conditions apply to and constitute approval of **Design Review** for building architecture, landscaping, and related site improvements. Exterior building materials and colors shall be in substantial conformance with the approved plans as follows:

Approved Colors and Materials

Approved Colors and Materials	Manufacturer/Material	Color/Sample No.
Body 1	Stucco 20/30 sand finish	Kelly Moore Sand Pebble #171
Body 2	Stucco 20/30 sand finish	Kelly Moore Villita #136
Trim 1	Stucco	Kelly Moore Navajo White #36
Trim 2	Stucco	Kelly Moore African Plain KM3975-3
Trim 3	Stucco	Kelly Moore Vermeer’s Fields AC 251-5
Shutters	Atlantic Premium wood shutters	041 Walnut
Window Frame	Vinyl	Almond
Roof Material	US Tile “S” type Mission Style Clay Roof Tile	Old World Blend

3. The following Exhibits, date stamped received by the City of Concord, on September 23, 2014, are approved and shall be incorporated as Conditions of Approval.

Plan	Date Prepared	Prepared by	Sheet
Title Sheet	July 1, 2014	Ali Iqbal	A0.1
Building Elevations	July 1, 2014	Ali Iqbal	A1.1
Floor Plan	July 1, 2014	Ali Iqbal	A2.1-A2.2
Roof Plan	July 1, 2014	Ali Iqbal	A2.3
Building Sections	July 1, 2014	Ali Iqbal	A3.3-A3.4

Site Sections	July 1, 2014	Ali Iqbal	A3.5
Landscape Plan	Sept. 19, 2014	Landesign Group	L1-L2
Photometric	Sept. 19, 2014	Landesign Group	L3
Dimensional Site Plan	Sept. 2014	Brelje & Race	C1A-C1B
Preliminary Grading Plan	Sept. 2014	Brelje & Race	C2
Preliminary Utility Plan	Sept. 2014	Brelje & Race	C3
Stormwater Control Plan	Sept. 2014	Brelje & Race	C4
Transportation Mgmt. Plan	December 22, 2014	Crane Transportation Group	N/A

GENERAL CONDITIONS

4. The Conditions are the responsibility of the applicant and all contractors. Compliance shall occur as specified in the Conditions or at one of the following project milestones:
- (a) With the submittal of Grading, Improvement, Landscape, or Building Plans.
 - (b) Prior to issuance of Encroachment, Grading, or Building Permits, whichever comes first.
 - (c) Prior to Construction.
 - (d) On going during Construction.
 - (e) Prior to occupancy approval.

If timing for compliance is not specified, it shall be determined by the Divisions listed after the Condition. **(PLNG, BLDG, ENGR)**

5. Where a plan or further information is required, it is subject to review and approval by the applicable City Department/Division, as noted at the end of each Condition. The Division listed first shall be the primary contact for implementation of that Condition. **(PLNG, BLDG, ENGR)**
6. The project shall comply with all applicable Federal and State laws and Concord Municipal Code (CMC) requirements. **(PLNG, BLDG, ENGR)**
7. Minor modifications that are found to be in substantial conformance with the approved plans such as colors, plant materials, or minor lot line adjustments, may be approved administratively. Major modifications shall be approved by the applicable decision making body. All plan modifications shall be listed, described, and a Summary of Plan Modifications shall be submitted as part of the Improvement, Landscape, Grading, and Building Permit Plans describing the modification and the reason for the modification. **(PLNG, ENGR)**
8. The Conditions of Approval shall be listed on a plan sheet that is included in the construction plan set (Grading, Utility, Landscape and Building Plans). **(PLNG, ENGR)**
9. Two annotated copies of the Conditions of Approval specifying how each applicable condition has been satisfied, shall be submitted as follows:
- a. At the time Grading, Utility, Landscape, and/or Building Plans are submitted for plan check, whichever comes first.
 - b. Prior to occupancy approval. **(PLNG, ENGR)**

- 1 10. Submit three signed copies, one notarized, of the City’s “Property Maintenance Agreement”,
2 to ensure on-going repair, replacement and maintenance of all exterior improvements
3 including buildings, parking areas, private roads, walkways, landscaping, irrigation, signs,
4 fences, walls, and other improvements, prior to issuance of Grading or Building permits,
5 whichever comes first. *(PLNG)*
- 6 11. The project site and area surrounding the site shall be fenced and maintained in a weed and
7 litter free condition for the period prior to construction. *(BLDG, PLNG)*

8 **ARCHITECTURAL**

- 9 12. Final building color scheme shall return to the Design Review Board for approval as a staff
10 report item prior to issuance of Building Permit. *(PLNG)*
- 11 13. Rooftop equipment (HVAC, meters, refrigeration equipment, plumbing lines, ductwork and
12 transformers), shall not extend above the building parapet and shall be screened from view on
13 all sides with materials architecturally compatible with the main structure. Screening details
14 shall be shown on the Building Plans and submitted for review and approval by the Planning
15 Division, prior to the issuance of Building Permits and installed prior to occupancy approval.
16 *(PLNG)*
- 17 14. Vents, gutters, downspouts, flashing, electrical conduits, etc., shall be painted to match the
18 color of the adjacent surface, unless otherwise approved by the Planning Division. *(PLNG)*

19 **LANDSCAPING**

- 20 15. Submit Final Landscape Plans prepared by a Landscape Architect, registered by the State of
21 California, for review and approval with the Grading, Improvement, or Building Plans,
22 whichever comes first. The Plan shall be drawn on or consistent with the Grading,
23 Improvement, Utility, and Stormwater Plans prepared by the Civil Engineer, with the
24 following information:
- 25 a. A legend that lists all plant species (Latin and common name), including size,
26 quantities, spacing, and ultimate height and width.
 - 27 b. Specifications and details for planting, including staking of trees and planting in bio-
28 retention or other stormwater treatment areas. Plants for bio-retention facilities should
be compatible with temporarily flooded conditions.
 - c. Utility and Grading information on the base map, screened back.
 - d. Trees (minimum size 24-inch box) and shrubs (minimum 5-gallon; accent or sub-
shrubs may be 1-gallon).
 - e. Root control barriers and four-inch perforated pipes for parking lot trees, street trees,
and trees within 6 inch of any paved area or curb.
 - f. Six-inch vertical concrete curbs around landscaped areas.
 - g. A soils and plant laboratory analysis with recommendations for fertilization and
mulching to be incorporated into the planting specifications.
 - h. A Layout/Hardscape Plan showing the location and details of all non-plant
improvements, with dimensions and call outs, showing finished grades,

hardscape/paving treatment, planter details, arbors, trellis', fences, walls, trash enclosures, and other features.

- i. Details for street trees in accordance with City Standard Plan S-38, "Street Tree Planting Detail". *(PLNG/ENGR)*

16. Submit a Project Landscape Application (PLA) prepared by a Landscape Architect, registered by the State of California, for review and approval with the Grading, Improvement, or Building Plans, whichever comes first. The PLA shall be prepared in accordance with the requirements under Section 18.170.040 of the Concord Development Code. *(PLNG)*

17. All landscaping shall be installed prior to occupancy approval. Contact the Planning Division at least two weeks prior to Occupancy, to request a site inspection of all exterior improvements including buildings, driveways, parking lots, landscaping, irrigation, signs, lighting, walls, fences, and trash enclosures. *(PLNG)*

18. Prior to occupancy approval, the licensed Landscape Architect shall:

- a. Conduct a final field observation and an open trench examination of the irrigation system.
- b. Provide written certification that:
 - i) The landscaping and irrigation system were installed in conformance with the approved Landscape and Irrigation Plans.
 - ii) The landscaping has been installed in accordance with the CCWD Water Conservation Guidelines or the State of California Model Efficiency Water in Landscaping Ordinance.
 - iii) An irrigation audit was performed and deficiencies were listed which will be corrected within 30 days.
 - iv) There will be a minimum 60-day maintenance period for all landscape improvements.
- c. Provide a signed letter of compliance with the final construction documents stating that the Landscape Architect has met all State and City requirements. *(PLNG)*

19. Fences and walls shall be a maximum height of three feet in required front yards and sight visibility triangles, and a maximum height of six feet on side and rear property lines. Fences off-set twenty four inches or greater from retaining walls shall be considered as separate structures. *(PLNG) CMC*

LIGHTING

20. Show all exterior lighting including: building fixtures, walkway lighting, parking lot lighting, and street lights on the Site, Utility, Landscape, and Building Plans, prior to the issuance of any permits. The height and style of fixtures shall be shown. Energy-saving fixtures shall be used and noted on the plans. *(PLNG, ENGR, BLDG)*

21. All exterior building and parking lot lighting shall provide illumination for safety and shall be installed in a manner that is glare shielded and directed away from adjacent properties and right-of-ways. *(PLNG)*

- 1 22. Submit a Photometric Plan for review and approval, showing the location of all light sources,
2 streetlight spacing, intensity of luminance, and uniformity ratio, in accordance with the City's
3 specifications, with the Improvement, Utility, or Building Plans, whichever comes first. The
4 photometric analysis shall be reviewed by Engineering Services for the determination of
5 streetlight spacing. (*ENGR, TRANS, BLDG, PD*)

4 **SIGNAGE**

- 5 23. A 30 sq. ft. ground sign is approved at the corner of Civic Court and Waterworld Parkway.
6 Construction plans showing details for installation, dimensions, font, logos, materials and
7 colors, including a sample of all materials and colors shall submitted for review and approval
8 prior to the issuance of a Sign Permit. (*PLNG*)
- 8 24. Internally illuminated signs shall have an opaque background, with only individual letters or
9 logos illuminated. (*PLNG*)
- 10 25. Pennants, banners, streamers, or flags in connection with special promotions and business
11 openings shall be permitted for a period not to exceed 30 days. The same, different, or similar
12 pennants, banners, streamers, and flags shall not be permitted within 150 calendar days after
13 such removal. No pennants, banners, streamers, balloons, inflatable devices, flags, or any other
14 advertising devices shall be mounted on or above any roof or mansard, or otherwise extend
15 above a parapet wall or ridge of a structure. (*PLNG*) **CMC**
- 14 26. The street address shall be incorporated on the ground sign. (*PLNG, BLDG*)
- 15 27. One sign denoting the architect, engineer, or contractor associated with the project may be
16 permitted on site. The maximum sign area shall be 12 sq. ft. within single family districts and
17 40 sq. ft. for other districts, of which 32 sq.ft. may be for the general contractor. These signs
18 shall be removed upon occupancy approval. (*PLNG*) **CMC**

18 **PARKING**

- 19 28. Implement the Transportation Management Plan (TMP) prepared by Crane Transportation
20 Group, dated December 22, 2014, subject to the amendments set forth herein. The TMP shall
21 be implemented on an on-going basis to ensure adequate parking is provided for Oakmont
22 residents, employees, and visitors at all times. The TMP is hereby amended to require the
23 following prior to issuance of Certificate of Occupancy:
- 23 (a) TMP Level 1 shall be in effect immediately. Criteria shall be established as to when
24 each additional TMP level is triggered, as approved by the Transportation Manager;
 - 24 (b) Notice shall be posted in conspicuous public locations (including the lobby or
25 concierge desk) and in employee areas directing Oakmont residents, employees, and
26 visitors to lodge parking complaints with the City; and
 - 26 (c) Twenty (20) off-site employee parking spaces shall be provided as part of TMP Level
27 1 in place of TMP Level 3. (*PLNG/TRAN*)
- 27 29. Oakmont shall monitor on-site and overflow parking on a regular basis. Program monitoring
28 shall include, but not be limited to, surveys of employees, residents, and visitors on a regular

1 basis, and surveying on- and off-site parking conditions in order to monitor parking demand
2 and assess the effectiveness of the Transportation Management Plan (TMP). The monitoring
3 results shall be provided to the City’s Transportation Manager, who shall report the results to
4 the Planning Commission annually for the first two years from date of occupancy.
(*PLNG/TRAN*)

5 30. If the City receives complaints concerning Oakmont employees, residents, or visitors parking
6 on adjacent streets or insufficient on-site parking, the City will forward these complaints to
7 Oakmont and will require Oakmont to take action in no more than 30 calendar days to address
8 parking overflow problems by initiating the necessary adjustments to the Transportation
9 Management Plan (TMP). Such adjustments may include, but should not be limited to, valet
assisted parking, satellite parking with shuttle service for employees, additional off-site
parking, additional incentives for employee ridesharing or transit use, or other measures
deemed adequate by the City. (*PLNG/TRAN*)

10 31. All parking spaces shall be striped; full-size spaces shall be 9 ft. by 19 ft; compact spaces shall
11 be 8 ft. by 16 ft. Parking spaces abutting a concrete curb for a landscaped planter may
overhang into the planter area by two feet. (*PLNG, ENGR*) CMC

12 32. A screen wall or hedgerow shall be provided at the front end of unenclosed parking stalls, to
13 minimize impacts to neighboring properties. (*PLNG*)

14 33. A maximum 25% of the required parking spaces may be compact. Compact stalls shall be
15 clearly identified. (*PLNG, ENGR*) CMC

16 34. Parking shall comply with CMC §122-843, “Off-Street Parking Facilities” including
17 motorcycle and bicycle parking spaces, drive aisle and parking space dimensions, turning
radii, back-out dimensions, driveway clearances, landscape median dimensions, and other
relevant information. (*ENGR, PLNG*) CMC

18 35. Provide a minimum five bicycle parking spaces. Facilities may be a freestanding bicycle rack
19 or a wall-mounted bracket, with a stationary object to secure both wheels and the frame of a
20 bicycle with a 6-foot cable and lock. Facilities shall be located in lighted, secure areas, and
21 protected from the weather. The location of bicycle parking facilities shall be shown on the
22 Civil Site, Landscape, and Building Plans as approved by the Planning and Transportation
Divisions, prior to issuance of a Grading or Building permit, whichever comes first. (*PLNG,*
ENGR, TRANS)

23 36. Handicapped parking spaces shall comply with Chapter 11 “Site Development Requirements
24 for Handicapped Accessibility” of Title 24 of the California Code of Regulations, and be
located as close as possible to the primary entrance. (*BLDG*)

25 **STREET IMPROVEMENTS**

26 37. Dedicate temporary construction easement to the City along **Waterworld Parkway and**
27 **future Commerce Avenue** frontage, to accommodate construction of street improvements
28

1 along Waterworld Parkway and Commerce Avenue, prior to issuance of any permits. The
2 easement shall be 20 feet wide or to the building face, whichever is less. *(ENGR)*

3 38. Construct all improvements along the frontage on Civic Court including but not limited to:
4 driveway removal, ADA compliant frontage including sidewalk, driveway approaches and
5 installation of landscaping and other improvements if required. Striping at the intersection of
6 Waterworld Parkway and Civic Court and other frontage improvements shall conform to the
7 proposed improvement plans by HDR for Commerce Avenue extension and Bridge at Pine
8 Creek project, dated April 2013. Repair/replacement of deficient frontage improvements as
9 determined by the City engineer, prior to occupancy approval or Acceptance of improvements.
10 *(ENGR)*

11 39. Construct improvements along the frontage on Water World Parkway as indicated in the HDR
12 improvement plans for Commerce Avenue extension and Bridge at Pine Creek project, dated
13 April 2013, including but not limited to: curb, gutter, sidewalk, ADA compliant concrete
14 driveway approach, street lights, landscaping; storm drain system and conform to the existing
15 improvements. Install temporary landscaping between existing curb and proposed curb. The
16 frontage improvement starts from the intersection of Civil Court and Water World Parkway
17 and stops on the south side of the proposed ADA ramp at intersection of Water World
18 Parkway and Commerce Ave. *(ENGR)*

19 40. The developer shall pay for the cost of installation and inspection of the frontage
20 improvements along Commerce Avenue as shown in HDR plans prior to issuance of any
21 permits. *(ENGR)*

22 41. Slurry seal Civic Court from lip of gutter to street centerline, after completion of utility
23 undergrounding and frontage improvements, prior to the Acceptance of Improvements.
24 *(ENGR)*

25 42. Any trenching for underground utilities shall comply with the modified City Standard Detail
26 S-17 for pavement repair and possible slurry placement. *(ENGR)*

27 43. Construct all public facilities in accordance with the current Americans with Disabilities Act
28 (ADA), including driveways and curb ramps. *(ENGR)*

44. Show construction details for all pedestrian paths and trails on the Improvement Plans and
Final Landscape Plans. Trail crossings of streets shall have curb cuts, ramps, signs, and
pavement markings as approved by Engineering Services. *(ENGR)*

NOISE

45. Noise producing site preparation and construction activities shall be limited to the days and
hours as set forth below:

Monday through Friday 7:30 a.m. to 6:00 p.m.

Construction on Saturdays may be allowed only upon prior approval by the Building,
Engineering, and Planning Divisions. No changes to these construction hours shall be allowed

1 without the prior written consent of the City. A contact person shall be available during all
2 construction activities in the evening and on weekends to respond to complaints and take
3 actions necessary to reduce noise. (*BLDG, ENGR, PLNG*)

3 **CONSTRUCTION ACTIVITIES**

4 46. Contact Engineering Services to arrange for a Pre-Construction Meeting prior to issuance of
5 Grading or Building Permits, whichever comes first. (*ENGR*)

6 47. Implement a dust and construction noise control plan. Submit the plan to Engineering Services
7 for review and approval prior to issuance of the Grading Permit. (*ENGR*)

8 48. Construction equipment shall not be serviced at the site at any time. During construction no
9 deliveries shall be made to the site and no delivery vehicles (including gasoline tanker trucks)
10 shall enter the site between 6:00 p.m. and 7:30 a.m. on weekdays, and between 5:00 p.m. and
11 8:00 a.m. on weekends and federal holidays. Delivery vehicles shall have their engines turned
12 off during unloading. (*BLDG, ENGR, PLNG*)

13 49. Employ the quietest construction equipment available, to muffle noise from construction
14 equipment and keep all mufflers in good working order in accordance with State law. (*BLDG,*
15 *ENGR, PLNG*)

16 50. Implement the following measures during construction:

17 a. Gather all construction debris on a regular basis and place them in a dumpster or other
18 container that is emptied or removed on a weekly basis. When appropriate, use tarps on
19 the ground to collect fallen debris or splatters that could contribute to storm water
20 pollution.

21 b. Remove all dirt, gravel, rubbish, refuse, and green waste from the street pavement, and
22 storm drains adjoining the project site. During wet weather, avoid driving vehicles off
23 paved areas.

24 c. Broom sweep the public street pavement adjoining the project site on a daily basis.
25 Caked-on mud or dirt shall be scraped from these areas before sweeping.

26 d. Install filter materials (e.g., sandbags and filter fabric) at the storm drain inlet nearest
27 the downstream side of the site in order to preclude any debris or dirt from flowing into
28 the City storm drain system. Filter materials shall be maintained and/or replaced as
necessary to ensure effectiveness and to prevent street flooding. Dispose of filter
particles in an approved trash receptacle.

e. Create a contained and covered area on the site for the storage of bags, cement, paints,
flammable, oils, fertilizers, pesticides, or any other materials used on the site that have
the potential for being discharged to the storm drain system by being windblown or in
the event of a material spill.

f. Never clean items such as machinery, tools, and brushes or rinse containers in a street,
gutter, or storm drain.

g. Ensure that concrete, gunite, plaster, or similar supply trucks do not discharge wash
water into street gutters or drains. (*ENGR, BLDG*)

- 1 51. No equipment shall be started or staging area be established on the streets or the site before or
2 after the specified hours of construction. *(ENGR, BLDG)*
- 3 52. Ensure that no debris or construction scrap material is placed on any adjoining lot, open space
4 area, or street, and that any such material stored on an adjoining site shall be completely
5 removed and the site cleaned, prior to occupancy approval. *(ENGR, BLDG)*
- 6 53. At no time shall campers, trailers, motor homes, or any other vehicle be used as living or
7 sleeping quarters on the construction site unless authorized for site security. *(ENGR, BLDG)*
- 8 54. There shall be no parking of construction equipment or construction worker's vehicles on
9 residential streets at any time; all vehicles shall be maintained on-site. *(ENGR, BLDG)*
- 10 55. Portable toilets used during construction shall be kept as far as possible from adjacent
11 properties and shall be emptied on a regular basis as necessary to prevent odor. *(ENGR,*
12 *BLDG)*
- 13 56. Identify truck routes for the import or export of cut/fill material and/or construction debris for
14 review and approval by the City Engineer prior to the issuance of permits. Repair any damage
15 to City streets (private and public) caused by activity associated with this project. *(ENGR)*
- 16 57. In the event of the encounter of subsurface materials suspected to be of an archaeological or
17 paleontological nature, all grading and/or excavation shall cease, the find shall be left
18 untouched, and the City Planning Division shall be immediately notified. The County Coroner
19 and the Native American Heritage Commission shall also be notified and the procedures
20 required in CEQA §15064.5 shall be followed. This requirement shall be noted on the Grading
21 and Building Plans, prior to issuance of permits. *(PLNG, ENGR, BLDG)*
- 22 58. In the above event, retain a qualified professional archaeologist certified by the Register of
23 Professional Archaeologists or paleontologist with a degree(s) in paleontology or geology, to
24 evaluate and make recommendations as to disposition, mitigation and/or salvage. The
25 recommendation shall be implemented before work may proceed. The applicant shall be
26 responsible for all costs associated with the professional investigation and implementation.
27 *(PLNG, ENGR, BLDG)*

28 **CONSTRUCTION PLAN REVIEW/PRE-PERMIT REQUIREMENTS**

59. Submit two copies of Preliminary Title Report, prepared within three months prior to plan
submittal. *(ENGR)*
60. The proposed building is within the 100-year Floodplain Zone (X). At a minimum, comply
with the City of Concord Municipal Code requirements in establishing building finished floor
elevations. The Grading Plan shall be referenced to the same elevation datum as the FEMA
map, and shall show the finished floor elevations of the proposed buildings, 100-year Base
Flood Elevations (BFE), and building setback line per CMC. *(ENGR) CMC*

- 1 61. The Improvement Plans shall show frontage improvements consistent with plans prepared by
2 HDR for Commerce Avenue extension and Bridge at Pine Creek project, dated April 2013,
3 including but not limited to: drainage improvements, curb, gutter and sidewalk per City
4 Standard Detail S-10, and driveway construction per City Standard Detail S-14 and
5 repair/replacement of deficient frontage improvements as determined by the City Engineer.
Any unusable existing driveway shall be replaced with standard curb, gutter, and sidewalk per
6 S-10 above. Any trenching for utility installation shall comply with the modified City Standard
7 Detail S-17 for pavement repair and possible slurry placement. *(ENGR)*
- 8 62. The Improvement Plans shall show plan and profile of all proposed street, drainage and sewer
9 improvements and details for curb, gutter, sidewalk, and driveway construction. *(ENGR)*
- 10 63. Design improvements in accordance with the City Standard Plans S-34 and S-36 for sight
11 distance, sidewalk, back up, fencing, geometrics at intersection and corner setback
12 requirements, prior to the Acceptance of Improvements. Plans shall be subject to review and
13 approval by Engineering Services. *(ENGR)*
- 14 64. Obtain an Encroachment Permit from the City prior to performing any work within the public
15 right-of-way or public easements. *(ENGR) CMC*

16 **GRADING/EROSION CONTROL/GEOLOGIC**

- 17 65. Submit a geologic investigation to demonstrate that proposed buildings will not be constructed
18 across active faults. A licensed geologist must prepare an evaluation and written report. If an
19 active fault is found, a structure for human occupancy cannot be placed over the trace of the
20 fault and must be set back from the fault (generally 50 feet). *(ENGR)*
- 21 66. All grading shall require a Grading and Drainage Plan prepared by a registered Civil Engineer,
22 a Soils Report prepared by a registered Geotechnical Engineer and receipt of a Grading Permit
23 approved by the City Engineer. The Grading Plans and Soils Report shall require review by
24 the City's Geotechnical consultant with all costs to be borne by the applicant. *(ENGR)*
- 25 67. Contour grading techniques shall be employed throughout the project to achieve a more
26 natural appearance, even where this will increase the amount of grading. Tops of cuts or toes
27 of fills adjacent to existing public rights-of-way or easements shall be set back two feet
28 minimum from said rights-of-way and easements. All cut-and-fill slopes in excess of five feet
in height shall be rounded both horizontally and vertically. *(ENGR)*
68. Grading on adjacent properties shall require written approval from the affected property
owners. *(ENGR)*
69. On-site finish grading work shall require drainage to be directed away from all building
foundations at a minimum slope of 2 percent and a maximum slope of 20 percent toward
approved drainage facilities or swales. Non-paved drainage swales shall have a minimum
slope of 1 percent. *(ENGR)*

- 1 70. The project engineer shall inspect the finished grading and certify that it conforms to the
2 compaction and elevations shown on the Grading Plan and Soils Report. *(ENGR) CMC*
- 3 71. At all times seasonally appropriate erosion control measures shall be implemented per plans
4 approved by the City Engineer for all grading work at all times. Wet season measures shall be
5 in place October through April at a minimum and when rain is otherwise predicted. At the
6 time of approval of the Improvement and/or Grading Plans, an approved Erosion Control Plan
7 prepared by a registered Civil Engineer shall be filed with the City Engineer. *(ENGR)*
- 8 72. All graded slopes and stockpiles of loose soil shall be hydromulched/hydroseeded by October
9 of any given year. During grading work between October and April, if rain is forecast, stop all
10 grading work two days before the rain forecast and implement BMPs to insure that the site is
11 protected from erosion. *(ENGR)*
- 12 73. Submit Grading, Erosion Control, Improvement, and State Waste Discharge ID verifying
13 submittal of Stormwater Pollution Prevention Plan (SWPPP), and Stormwater Control Plans to
14 Engineering Services for review and approval prior to the issuance of Grading, Encroachment,
15 and Building Permits. Where applicable, evidence of compliance with the State General
16 Construction Permit shall be provided. *(ENGR) CMC*
- 17 74. Comply with the applicable provisions of the Grading Ordinance and the Storm Water
18 Management and Discharge Control Ordinance. *(ENGR) CMC*

19 **UTILITIES**

- 20 75. New electrical transformers shall be placed underground or screened from view. *(PLNG,*
21 *ENGR)*
- 22 76. No above ground utility facilities/structures shall be located between the face of curb and back
23 of sidewalk in the public right-of-way. *(ENGR)*
- 24 77. Dedicate to the City a 15 foot wide sanitary sewer easement (along all main sewer lines
25 outside of the public street right-of-way) for construction and maintenance purposes prior to
26 recording of the Final Map or Building occupancy approval whichever comes first. The City
27 will not accept maintenance of building laterals. *(ENGR)*
- 28 78. Install streetlights along the *Waterworld Parkway* frontage. Submit streetlight plans in
accordance with the City Standard Specifications showing pole type, luminaries type,
conductor and wiring schedule, connection points, lamp wattage and pull box locations, at the
time of submittal of improvement plans. Streetlights shall be completely installed and
operational prior to occupancy approval. *(ENGR)*
79. All new utilities shall be constructed underground prior occupancy approval. *(ENGR)*
80. Undergrounding of all existing overhead utilities along *Waterworld Parkway* and *Civic Court*
including aerial street crossings shall be required pursuant to Chapter 13.10 of the Concord

1 Municipal Code. All new utilities shall be constructed underground prior to issuance of
2 occupancy approval. *(ENGR)*

3 81. Comply with the City of Concord sewer design flow criteria and sewer construction
4 requirements of the Central Contra Costa Sanitary District. *(ENGR)*

5 82. Submit to Engineering Services sanitary sewer calculations with the Improvement Plans
6 stamped and signed by a Registered Civil Engineer for review. *(ENGR)*

7 83. Submit to Engineering Services a sewer fixture count and square footage of the existing
8 buildings for possible fee credit purposes, prior to demolition. *(ENGR)*

9 84. Coordinate all facility adjustments, relocations, or additions to utility services with the
10 appropriate utility companies. *(ENGR)*

11 85. Utility areas, electrical and gas meters shall be architecturally screened from view. *(PLNG)*

12 86. The location of all outdoor, above-ground and/or at-grade pad mounted transformers, utility
13 equipment, electrical and gas meters, vaults, irrigation control boxes, back flow prevention
14 devices, and the like shall be subject to approval by Planning and Engineering Services prior
15 to the issuance of the Grading or Building Permit, whichever comes first. All such equipment
16 shall be screened from view either architecturally or with landscaping and painted forest green
17 or other approved color as approved by the Planning Division. Any changes to the approved
18 Utility Plans, including location or screening details shall be reviewed and approved by the
19 Planning Division. *(PLNG, ENGR)*

20 87. Provide cable companies a set of approved site diagrams in electronic format showing the joint
21 trench layout for dry utilities for cable service to be provided to the site. *(ENGR)*

22 88. Connect all buildings to the sanitary sewer collection facilities of the City, and pay all current
23 sewer connection and service fees prior to occupancy approval. *(ENGR) CMC*

24 89. Submit proof acceptable to Engineering Services that all work within the existing (new)
25 private waterline easement(s) are reviewed and approved by the easement owner of record.
26 *(ENGR)*

27 **DRAINAGE/STORMWATER C.3 REQUIREMENTS**

28 90. Submit a Stormwater Control Plan (SWCP) prepared in accordance with the current Contra
Costa Clean Water Program Stormwater C.3 Guidebook for review and approval by
Engineering Services prior to issuance of any permit. The SWCP shall be prepared and
certified by a Civil Engineer, registered in the State of California, demonstrating an
understanding of the design of treatment measures for water quality and groundwater
protection principles applicable to the project site. *(ENGR)*

- 1 91. Prior to issuance of permits for building, site improvements, or landscaping, applicant shall
2 submit a permit application consistent with the applicant's approved Stormwater Control Plan
3 (SWCP), and include drawings and specifications necessary for construction of site design
4 features, measures to limit directly connected impervious area, pervious pavements, self-
5 retaining areas, treatment BMP's, permanent source control BMP's, and other features that
6 control stormwater flow and potential stormwater pollutants. The Contra Costa Clean Water
7 Program permit application shall include a completed "Construction Plan C.3 Checklist" as
8 described in the Stormwater C.3 Guidebook, and a detailed draft Stormwater BMP Operation
9 and Maintenance Plan consistent with the general O&M plan included in the applicant's
10 approved Stormwater Control Plan. Guidelines for the preparation of Stormwater BMP
11 Operation and Maintenance Plans are in Appendix F of the Stormwater C.3 Guidebook.
12 *(ENGR)*
- 13 92. Construct stormwater treatment measures per the approved SWCP prior to occupancy
14 approval. *(ENGR)*
- 15 93. Submit a final Stormwater BMP Operation and Maintenance Plan (O&M Plan) in accordance
16 with City of Concord Guidelines, for review and approval by Engineering Services, prior to
17 occupancy approval. This O&M Plan shall incorporate City comments on the draft O&M Plan
18 and any revisions resulting from changes made during construction. The implementation of
19 the O&M Plan shall be the responsibility of the property owner or the HOA where one exists.
20 *(ENGR)*
- 21 94. Execute any agreements identified in the SWCP which pertain to the transfer of ownership,
22 right-of-entry for inspection or abatement, and/or long-term maintenance of stormwater
23 treatment or hydrograph modification BMPs, prior to occupancy approval. *(ENGR)*
- 24 95. Prevent site drainage from draining across sidewalks and driveways in a concentrated manner.
25 *(ENGR)*
- 26 96. Collect and convey all stormwater entering and/or originating from the site to an adequate
27 downstream drainage facility. Submit hydrologic and hydraulic calculations for a 10-year
28 storm with the Improvement Plans to Engineering Services for review and approval. *(ENGR)*
97. Install City of Concord "No Dumping, Drains to Creek" curb marker (English and Spanish
version) on all catch basins. *(ENGR)*
98. Submit a Construction Best Management Practice (BMP) Program for review and approval by
the Engineering Development Services Department prior to issuance of a Building and/or
Grading Permit. The general contractor and all subcontractors and suppliers of materials and
equipment shall implement these BMPs. Construction site cleanup and control of construction
debris shall also be addressed in this program. Failure to comply with the approved
construction BMP may result in the issuance of correction notices, citations, or a project stop
work order. *(ENGR)*
99. Sweep or vacuum the parking lot(s) a minimum of once a month and prevent the accumulation
of litter and debris on the site. Corners and hard to reach areas shall be swept manually. If
sidewalks and/or the parking lot are pressure washed, debris must be trapped and collected to

1 prevent entry into the storm drain system. No cleaning agent may be discharged into the storm
2 drain. If any cleaning agent or degreaser is used, wash water shall be collected and discharged
3 to the sanitary sewer, subject to the approval of the Central Contra Costa Sanitary District.
(ENGR)

4 100. Ensure that the area surrounding the project such as the streets stay free and clear of
5 construction debris such as silt, dirt, dust, and tracked mud coming in from or in any way
6 related to project construction. Areas that are exposed for extended periods shall be watered
regularly to reduce wind erosion. Paved areas and access roads shall be swept on a regular
basis. All trucks shall be covered. (ENGR)

7 101. Clean all on-site stormdrain facilities a minimum of twice a year, once immediately prior to
8 October 15 and once in January. Additional cleaning may be required if found necessary by
the City Engineer/Director of Building Inspection. (ENGR, BLDG)

9 **SOLID WASTE/RECYCLING**

10 102. Comply with all applicable requirements for solid waste and construction and
11 demolition(C&D) waste recycling under Chapter 8.20 of the Concord Municipal Code.
(BLDG)

12 103. Design and implement City approved Source Reduction/Recycling Plan and demonstrate that
13 interior and exterior refuse enclosures have been sufficiently designed and located for the
14 storage and pick up of recyclable materials in accordance with CMC Section 82-83, Source
Reduction and Recycling, prior to issuance of a Building Permit. (PW)

15 104. Trash bins and refuse shall be stored within approved trash enclosure and the doors shall be
16 closed at all times except when the bins are being emptied. (NS)

17 105. Comply with the provisions of the CMC, Central Contra Costa Sanitary District and the
18 disposal service regarding enclosure design, access requirements, and the number of required
19 individual refuse receptacles based upon waste pickup schedules. Trash enclosures shall
incorporate the following features:

- 20 a. A concrete pad to prevent damage to asphalt paving.
21 b. A roof and sanitary sewer cleanout, designed to prevent rainwater from penetrating the
interior of the enclosure and preclude trash from being blown outside of the bins.
22 c. The cleanout shall connect to a sanitary sewer to prevent contaminated water from
entering the storm drain system.
23 d. If any cleaning agent or degreaser is used, wash water must be collected and
24 discharged to the sanitary sewer, subject to the approval of the Central Contra Costa
Sanitary District. (CCCS, ENGR)

25 106. Trash enclosures shall incorporate the same architectural treatment, and use the same exterior
26 materials and colors as the main building and shall comply with the Community Design
Guidelines, including the following:

- 27 a. A roof or trellis.
28 b. Masonry, steel or heavy timber walls.

- c. An interior, poured-in-place curb to prevent damage to the screen walls.
- d. Doors with external hinges to prevent damage from the receptacle.
- e. Doors of solid metal or with a metal frame with self-closing latch.
- f. The height of the enclosure walls and door shall be the same height or higher than the bins within the enclosure. *(PLNG)*

AGREEMENTS, FEES, BONDS

107. All fees noted below are the fees currently in effect as of July 1, 2014 per the Resolution of Fees and Charges. The fees and charges are reviewed annually as part of the budget public hearing process. Fee adjustments are based on a number of factors and vary depending on the type of fee:

Service-based fees are adjusted annually based on the San Francisco-San Jose-Oakland Area Consumer Price Index;

Improvement based fees (also called impact fees) are adjusted annually based on Engineering News Record Construction Cost Index (San Francisco Bay Area); and the

Parkland Fee is adjusted per Chapter 19.20 of the Concord Municipal Code.

The fees become effective as of the date set forth in Exhibit A of Resolution No. 78-6042, Fees and Charges for Various Municipal Services, as most recently amended and approved by the City Council. Persons interested in how a particular fee is calculated should contact the City Department administering the fee or the Finance Department. *(ENGR)*

108. Provide a **\$5,000** cash deposit to the Planning Division to cover Condition Compliance costs at the time of submittal of plans and documents to Engineering Services or the Building Division for plan check. Planning staff's time will be charged to this deposit for work performed to implement the Conditions of Approval, from the time of project approval to occupancy approval. The deposit will be placed in a refundable account and any unused funds will be returned upon completion. If the initial deposit is insufficient to cover actual costs, an additional deposit will be required. *(PLNG)*
109. Pay a Document Imaging fee to reimburse the City for implementation of the Document Imaging and File Retention programs, prior to issuance of Grading or Building Permits. *(PLNG)*
110. All improvement agreements required in connection with said plans shall be submitted to and approved by the City and other agencies having jurisdiction over said project prior to approval of the Final Map or issuance of the Building or Grading Permit, whichever comes first. *(ENGR)*
111. Faithful performance bonds and labor materials bonds in a penal amount equal to 100 percent of the approved estimates of construction costs of improvements shall be submitted to and approved by the City and other agencies having jurisdiction prior to approval or issuance of Improvement, Building, Encroachment, or Grading Permit, whichever comes first. *(ENGR)*

1 112. Encroachment Permit Application:

- 2 a. Pay the Filing Fee at the time of submittal of permit application, improvement plans
3 and supporting documents to City Engineering Services for review. The current fee is
4 **\$86.00.**
- 5 b. Provide a restoration security before issuance of the Encroachment Permit. The
6 security shall be in an amount sufficient to restore existing public improvements to a
7 serviceable condition should development improvement activity cause damage. The
8 amount of the security shall be determined by, and be in a form acceptable to the City
9 Engineer.
- 10 c. Provide a \$10,000 cash deposit to cover Condition Compliance/Mitigation Monitoring
11 costs at the time of submittal of plans and documents to Engineering Services for
12 review. The deposit will be placed in a refundable account. Condition
13 Compliance/Mitigation Monitoring costs will be charged to this deposit over the life of
14 the project permit and mitigation requirements. Any unused funds will be returned at
15 project completion. If the initial deposit is insufficient to cover actual costs, an
16 additional deposit in an amount determined by the City Engineer will be required.
17 (*ENGR*)

18 113. Grading Permit Application:

- 19 a. Pay Grading Permit Fees at submittal of a Grading Permit application. The current fee
20 is determined based on cubic yardage of cut and fill combined, or at the hourly rate of
21 **\$172.00** if the hourly rate is used.
- 22 b. Provide a \$10,000 cash deposit for Erosion Control prior to issuance of Grading
23 Permit. The deposit will be placed in a refundable account. Any unused funds will be
24 returned at project completion. If the initial deposit is insufficient to cover actual costs,
25 an additional deposit in an amount determined by the City Engineer will be required.
- 26 c. Pay Stockpile and Erosion Control Monitoring fee prior to issuance of Grading Permit.
27 The stockpile and erosion control monitoring fee is currently **\$23.00** per calendar day
28 and is collected for the life of the Grading Permit activity. (*ENGR*)

114. Improvement Plan:

- a. A deposit of **\$5,000** will be required at the time of submittal of Improvement Plans and
supporting documents to Engineering Services for review. This amount will be
deposited to the project trust account, which the review fee will be deducted from. If
the review costs exceed the requested amount, an additional review fee of **\$172.00/hr.**
will be required.
- b. Pay the Construction Inspection fee prior to issuance of the Construction Permits. The
current fee is based on 9% of the estimated cost of constructing the required
improvements.
- c. Pay the Drainage Acreage Fee prior to Construction Permits. The current fee is
\$2,535/acre. (Drainage Area 92)
- d. Pay the Parkland Fee prior to Construction Permits. The current fee is **\$7,304** per living
unit for Downtown Mixed Use Designation.

- 1 e. Provide a **\$5,000** deposit for specialty inspections prior to approval of the Improvement
Plan.
2 f. Pay applicable fees for review of Stormwater Control O&M Agreement and
bioretention facilities inspection. (*ENGR*)
3

4 **115. Sewer Connection Permit:**

- 5 a. Pay Sanitary Sewer connection fee. The current sewer connection fee is **\$3,731** per two
bedroom dwelling unit, **\$2,774** per one bedroom or studio unit, and **\$1,009** per fixture
6 for office use. The fee shall be paid prior to issuance of Building Permit. (*ENGR*)

7 **116. Traffic Mitigation Fee:**

8 Pay Offsite Improvement Program (OSIP) fee prior to issuance of Building Permit. The OSIP
9 fee shall be determined based on the project's ITE trip generation rate (trips/bed) for the PM
peak hour, multiplied by the number of beds (living units), multiplied by the fee rate (\$ per
10 trip) equivalent to the fee amount for a single family unit. (*ENGR*)

- 11 **117. Pay Child Care Program Fee equal to 0.5 percent of the development cost of a project at the**
12 **time of issuance of the Certificates of Occupancy. (*BLDG/PLNG*)**

13 **OTHER/MISCELLANEOUS**

- 14 **118. Contact local postal authorities to get their requirements for mail facilities for the project. The**
15 **design and location of mail receptacles shall be reviewed and approved by the Planning**
16 **Division and shown on the Utility, Landscape, and Building Plans, prior to issuance of**
17 **Grading or Building Permits, whichever comes first. Mail facilities shall be installed prior to**
18 **occupancy approval. (*PLNG*)**

- 19 **119. Contact County Connection at (925) 680-2085 for required bus stop improvements along the**
20 **project frontage(s). Any required bus stop improvements shall be incorporated into the**
21 **Improvement Plans for review and approval by Current Development – Engineering.**
22 **(*PLNG/ENGR*)**

- 23 **120. Contact the Geographic Information Systems (GIS) Technician, in the Information**
24 **Technology Department, (925) 671-3051, for addressing requirements, and coordinate with the**
25 **Contra Costa Fire Protection District for their approval, prior to issuance of a Building Permit.**
26 **(*PLNG*)**

- 27 **121. Comply with the requirements of the Contra Costa Fire Protection District. Submit complete**
28 **sets of plans and specifications to the Fire District for review and approval at:**

Contra Costa County Fire Protection District
2010 Geary Road
Pleasant Hill, CA 94523

Plan review fees are assessed at that time. The City is not responsible for the collection of fees

or enforcement of requirements imposed by the Fire District. (*CCCFIRE*)

1
2 122. The applicant shall defend, indemnify and hold harmless the City, its agents, officials, and
3 employees from any claim, action or proceeding brought by a third party to set aside, annul,
4 attack or otherwise void the permit. (*PLNG*)

5 123. The permit and approval shall expire in *one* year from the date on which they became effective
6 unless construction permits are obtained and work has begun. The effective date of the permit
7 and approval is *January 20, 2015*. (*PLNG*)

8 124. A request for a time extension from the expiration date of *January 20, 2016* can be considered
9 if an application with required fee is filed at least 45 days before the original expiration date,
10 otherwise a new application is required. A public hearing will be required for all extension
11 applications, except those involving only Design Review. Extensions are not automatically
12 approved. Changes in conditions, City policies, surrounding neighborhood, and other factors
13 permitted to be considered under the law, may require, or permit denial. (*PLNG*)
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March 20, 2014 (*Revised 11/24/14*)

Mr. Bill Mabry
Oakmont Senior Living
220 Concourse Boulevard
Santa Rosa, California 95403

RE: TRIP GENERATION AND PARKING -- PROPOSED OAKMONT ASSISTED LIVING FACILITY – WATERWORLD PARKWAY, CONCORD, CALIFORNIA

Dear Mr. Mabry:

At your request, Crane Transportation Group has prepared this letter to address weekday vehicle trip generation and parking demand for Oakmont's proposed 76-unit assisted living facility. The facility is proposed to be located in the northeast quadrant of the Waterworld Parkway/Civic Court intersection, a vacant parcel. It would serve individuals in need of a high level of living assistance, and/or memory care. Issues specifically addressed in this letter are as follows:

Trip Generation: The proposed assisted care facility would accommodate 76 units; few residents would drive or require automobile storage (parking) on-site.

Parking Demand: Parking demand anticipated for the proposed assisted care facility is detailed by the employee shift schedule, projected resident parking and anticipated visitor parking. Parking demand is also addressed in the context of surveys conducted for Oakmont's existing Cardinal Point I and II assisted living facilities in July 2013.

I. SETTING

The project site fronts Waterworld Parkway and Civic Court. The northern site boundary is adjacent the future Commerce Avenue extension.

II. SITE PLAN

The site would be accessed via Waterworld Parkway and Civic Court. The main entrance would be located in the approximate middle of the project's Waterworld Parkway frontage as a right turn only (inbound) driveway. A one-way, outbound driveway would provide access from the site to Civic Court. Thirty-one parking spaces would be provided on-site, accessible via the two driveways. On-site circulation, with front-door, drop-off/pick-up portico, is shown on the site plan. Crosswalks are provided on all legs of the Waterworld Parkway/Civic Court intersection,

and a mid-block crosswalk is provided at the northwestern site boundary, crossing Waterworld Parkway.

III. TRIP GENERATION

Trip rates utilized in this evaluation are from the traffic engineering profession’s standard source of trip rate data: *Trip Generation – An ITE Informational Report*, 9th Edition, by the Institute of Transportation Engineers, 2012. Table 1 shows expected trip generation.

As shown in Table 1, the proposed 76-unit facility would be expected to generate 202 daily two-way trips (101 inbound and 101 outbound), with 7 inbound and 4 outbound trips during the ambient commute AM peak hour, and 8 inbound and 9 outbound trips during the ambient commute PM peak hour. This type of land use results in very low levels of trip generation.

**Table 1
TRIP GENERATION**

USE	SIZE OR # UNITS	DAILY 2-WAY TRIPS		AM PEAK HOUR VOLUMES				PM PEAK HOUR VOLUMES			
		RATE	VOL	IN		OUT		IN		OUT	
				RATE	VOL	RATE	VOL	RATE	VOL	RATE	VOL
Assisted Living Facility	76 units	2.66	202	.09	7	.05	4	.10	8	.12	9

Trip Rate Source: *Trip Generation*, 9th Edition, by the Institute of Transportation Engineers 2012
Compiled by: Crane Transportation Group

IV. PARKING DEMAND

The facility would provide assisted living services that are personalized to the individual needs of those who require help with all activities of daily living, such as bathing, dressing, eating, toileting, mobility, and medication management. In assisted living, residents receive three meals a day, housekeeping services, and weekly laundry of linens and personal clothing. Specialized recreational and social programs would be provided.

A typical assisted living resident needs help with at least three or more activities of daily living, and residents who are living in memory care need help with all activities. Also, in a dedicated assisted living and memory care building the social, recreational and dining programs are structured to meet the resident’s needs as residents are less mobile and must make use of more adaptive devices.

Staff comprise the primary parking demand. Table 2 provides a sampling of three weekday time periods when parking demand would likely be greatest.

Note: the morning and afternoon non-administrative staff shift changes *will not* coincide with the weekday ambient AM and PM commute peak traffic hours. Shift changes at

Oakmont facilities have been observed to occur gradually, with employees arriving and departing over a ½ hour period, rather than in a highly concentrated peak.

Basis of Parking Supply and Demand

The facility will be in operation on a 24-hour basis, seven days per week. Most residents would require high levels of care, with some requiring memory care assistance. Few of the residents would drive, thus, the demand for parking space for resident car storage would be minimal. The non-administrative staff shift schedule would be 6:00 AM - 2:00 PM (morning shift), 2:00 PM - 10:00 PM (afternoon shift) and 10:00 PM - 6:00 AM (nighttime shift). Non-administrative staff would total 13 for the morning shift, 14 for the afternoon shift, and 3 for the nighttime shift. Eight (8) administrative staff would follow an 8:00 AM - 5:00 PM schedule. Not all staff would be expected to drive to work - some may use nearby transit, and others may combine public transit and walking or bicycle riding. It is expected that many would be dropped off at work (this was observed at Cardinal Point I), and others would rideshare to and from work. July 2013 surveys of the Cardinal Point I facility revealed that 33 percent of morning shift staff used alternative modes of travel to and from work. A bus stop is located near the Willow Pass Road/Waterworld Parkway intersection, a short walk from the site.

The facility would provide car service for its residents, and at any given time, a vehicle would be parked with a driver on call, as needed.

Deliveries and Visitors

- Daily deliveries - produce, bread, milk
- Weekly or monthly deliveries - staples, paper goods, nursing supplies, office supplies, cleaning supplies
- There would be no restrictions on visiting hours. The majority of weekday visits would occur during evenings from 6:00 to 8:00 PM. Although many medical and therapeutic services would be available through the Oakmont staff, a few residents would have in-house visits from aids or therapists, and these would generally occur between 10:00 AM and 2:00 PM. Weekend visits would occur from about 10:00 AM to 6:00 PM.

**Table 2
MAXIMUM WEEKDAY PARKING DEMAND
DURING THREE SAMPLE TIME PERIODS**

STAFF	7:30-8:30 AM	2:30-3:30 PM	5:30-6:30 PM
Administrative	8	8	2
Morning Shift * (6 AM - 2 PM)	10*	0	0
Afternoon Shift * (2 PM – 10 PM)	0	11*	11*
Visitors (including visiting health professionals)	2	2	2
Resident car storage/parking **	3	3	3
Oakmont Service Car (on-call service for all residents)	1	1	1
TOTAL	24	25	19

* Based upon surveys conducted by Crane Transportation Group in July 2013 for the Cardinal Point I and II Senior and Assisted Living facilities in Alameda, California, 33 percent of employees used modes of travel to work other than a single-occupant vehicle. The modes observed included walking, bicycle, public transit, rideshare and drop-off. To present a conservative analysis, the morning and afternoon shifts are reduced in this table by only 20 percent.

** Demand for resident car storage/parking is anticipated to be minimal, as the majority of residents would not be expected to drive.

Compiled by: Crane Transportation Group, March 2014

V. PARKING REQUIREMENT

The project would be expected to have sufficient parking with its proposed 31 on-site parking spaces. If parking demand ever exceeds the on-site supply, there are nine nearby on-street spaces, observed to be rarely in use. It is worth noting that there is a 5-story private parking structure serving the nearby office towers located adjacent to the project site, thus, neighboring uses would not be expected to consume the nearby on-street parking. However, the need for supplemental off-site parking is not anticipated.

The City of Concord determines parking space requirements on a case by case basis for this type of land use. For informational purposes, a sampling of parking requirements for residential care facilities and similar land uses for several other Bay Area cities are provided in Table 3.

Table 3
A SAMPLING OF ASSISTED CARE PARKING REQUIREMENTS
IN BAY AREA CITIES

Jurisdiction	Facility Type	Parking Requirements
City of Alameda	Residential Care Facility	1 space per 3 beds, plus 1 space per resident manager
	With 76 units (or 76 beds):	26 spaces required
City of Corte Madera	Convalescent hospital or rest home	1 space/3 beds
	With 76 units (or 76 beds):	25 spaces required
City of Danville	Convalescent Home, Rest Home, Nursing Home,	1 space/3 beds
	With 76 units (or 76 beds):	25 spaces required
City of Novato	Residential Care	1 space/3 beds
	With 76 units (or 76 beds):	25 spaces required
City of San Francisco	Group Housing (of any kind)	1 space/3 beds + 1 space for manager
	With 76 units (or 76 beds):	26 spaces required

Compiled by: Crane Transportation Group, October 2013

As can be seen from the above data, the 31 proposed parking spaces would be greater than the number of spaces required by the cities listed above for various types of assisted care (including convalescent and rest home) facilities.

According to the study *Assisted Living Residences: A Study of Traffic and Parking Implications*, prepared by the American Seniors Housing Association, parking demand is low to moderate compared to other housing types. The study cites a parking demand for assisted living facilities as low as 0.22 per unit (the equivalent of 17 spaces for a 76-unit facility). The reason cited for this comparatively low parking requirement is: residents rarely drive, and visitors typically arrive and depart during all hours of the day rather than concentrating during a specific period of the day.

We hope this information is responsive to your needs. Please call if questions arise.

Sincerely,

Carolyn Cole, AICP
Principal

Mark Crane, P.E.
Principal

This Report is intended for presentation and use in its entirety, together with all of its supporting exhibits, schedules, and appendices. Crane Transportation Group will have no liability for any use of the Report other than in its entirety, such as providing an excerpt to a third party or quoting a portion of the Report. If you provide a portion of the Report to a third party, you agree to hold CTG harmless against any liability to such third parties based upon their use of or reliance upon a less than complete version of the Report.

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December 22, 2014

Mr. Frank Abejo
City of Concord Planning Department
1950 Parkside Drive
Concord, CA 94519

RE: TRANSPORTATION MANAGEMENT PLAN FOR OAKMONT ASSISTED LIVING FACILITY – WATERWORLD PARKWAY, CONCORD, CALIFORNIA

Dear Mr. Abejo:

Crane Transportation Group (CTG) has prepared this Transportation Management Plan (TMP) for the Oakmont Assisted Living Facility proposed on a vacant parcel fronting Waterworld Parkway and Civic Court in Concord, California. CTG prepared a traffic and parking analysis which provided the basis for the conclusion that the project's 31 parking spaces would provide sufficient on-site parking to meet demand. However, in response to questions and comments from the Planning Commission in the December 3, 2014 hearing, specifically asking for a parking contingency plan, this TDM plan has been prepared. The goal of the TDM plan is to insure available parking for visitors at all times. Program elements include providing a transportation coordinator to oversee implementation of the plan if and when it is needed. Key to the plan is monitoring parking use and proactively working with staff and visitors to ensure that all are aware of travel options to and from the site, and all are supported in taking advantage of options to single occupant vehicles parked on-site.

The TMP presents three levels of proactive measures to be implemented as needed. In brief, Level 1 provides an on-call car and driver for all residents, travel alternatives information to employees, visitors and residents, parking monitoring and event planning with valet service as needed; Level 2 adds to Level 1 ride matching and carpooling information in an on-site information center, plus on-call shuttle service to and from BART for employees, visitors and residents; and Level 3 adds to Levels 1 and 2 nearby, off-site leased parking spaces, and Level 4 would provide shuttle service for employees to and from a nearby Oakmont facility, making use of the excess parking available at Oakmont's existing Montecito Senior Living facility located in Concord ten minutes away.

Montecito was constructed ten years ago as a more independent facility for seniors, however, as its population has aged, an increasing percentage of the facility has been licensed to for assisted

living and memory care. Currently, there are 11 residents receive memory care, 120 residents receive assisted care, and 15 residents are independent. As its residents have aged, there are fewer who are independent, and fewer residents drive. According to the executive director of the Montecito facility, there are reliably 15 available parking spaces on the site at all times.

We are confident that the attached plan addresses the full range of concerns expressed by the Planning Commission.

Sincerely,

Carolyn Cole, AICP
Principal, Crane Transportation Group

**TRANSPORTATION MANAGEMENT PROGRAM (TMP) for
OAKMONT SENIOR LIVING, CONCORD
WATERWORLD PARKWAY AT CIVIC COURT
DECEMBER 2014**

I. Introduction

This Transportation Management Plan (TMP) is provided as a contingency plan for managing parking on the Oakmont - Waterworld Parkway project site if on-site parking is found to be insufficient to meet the needs of visitor parking. This TMP has been prepared to respond to the City of Concord Planning Commission's concerns regarding parking adequacy.

It is presented in "levels" of management, beginning with Level 1: designation of a Transportation Coordinator who would conduct on-going parking monitoring, make a car and driver available to all residents at all times, and encourage that employees find alternatives to use of single occupant vehicles, such as being dropped off, or walk, bicycle or carpool, or use mass transit or a combination of these. It then presents Level 2, which includes all of Level 1, as well as ride matching services and incentives for employees not to use single-occupant vehicles. Level 3 would include all of levels 1 and 2, and also make use of nearby leased, off-site spaces at the adjacent 1,600-space parking garage or on the Waterworld Parking lot – both are under discussion. Level 4 would include all of Levels 1, 2 and 3, and also make available off-site parking and shuttle service to employees at its Montecito facility. Parking monitoring at all times would determine the need for parking management and the necessary level of management.

II. Project Summary

Oakmont Senior Living Living, LLC proposes a new 76-unit assisted living facility in Concord. The facility would have 31 on-site parking spaces, and would be located on a vacant parcel in the northeast quadrant of the Waterworld Parkway/Civic Court intersection. The facility would serve individuals in need of a high level of living assistance, and/or memory care.

III. Program Objective and Goal

The objective of this Transportation Management Program (TMP) is to minimize the number of employees who commute to the facility in single occupant vehicles (SOVs). The goal is to insure available parking for visitors at all times.

IV. Program Elements

A. Transportation Coordinator

Oakmont Senior Living, LLC will designate a Transportation Coordinator to oversee the implementation of this TMP and its elements. The Transportation Coordinator would provide service to Oakmont's residents and employees on a daily basis. The Transportation Coordinator would provide the following services:

Level 1:

- Provide on-call, by appointment car service for all residents at all times
- Prepare and distribute materials that describe and promote TMP services
- Monitor parking use to ensure that the supply is adequate at all times
- Maintain transportation Information and provide current information to employees and visitors. This will include bicycle and pedestrian walking maps to/from the

facility and the surrounding bus stops and transit locations. The closest bus stop to the project site is located at Waterworld Parkway and Willow Pass Road.

- Insure that bike racks are in sufficient supply at all times
- Insure that plans are in place to handle seasonal events and valet parking services when needed. Valet parking would be handled by a professional valet service, such as Signature Parking, headquartered in Walnut Creek. Oakmont's Montecito Senior Housing facility has used this service, owned by Michael Holstrom. Mr. Holstrom states that an event at Oakmont's Waterworld Parkway facility, with an estimated 150 attendees, would require his service to arrange for vehicle storage in advance of an event. The service would require 5 to 6 valets who would maximize the use of on-site parking space during the event, parking vehicles off-site in the pre-arranged location, as needed. He suggests making advance arrangements with several nearby offices with parking lots that would be open and available for an evening function. Oakmont and/or Signature Parking would coordinate to arrange for off-site parking locations well in advance of events.

Level 2:

- Includes all of Level 1, plus:

Establish a permanent transportation information center within the facility convenient for employee access. Displays will contain ride matching and carpooling information, bus schedules, and transportation resource contacts as well as a program of incentives offered to employees to encourage use of alternative transit modes.

Oakmont has requested discussions with the CoCo Pass Program representative Anne Muzzini to determine its eligibility for the program, which could make all forms of County transit available at no cost to participating employees and residents (if applicable), and at low cost to Oakmont Senior Living, LLC (e.g., the program costs \$140.00 annually per program participant). Each eligible participant receives a CoCo Pass with his or her name, photo, and the valid calendar year printed on the card. CoCo Passes are renewed each calendar year as long as the participant remains eligible.

- Coordinate and conduct periodic site promotions to encourage program participation
- Maintain on-call shuttle service to and from BART and other transit centers

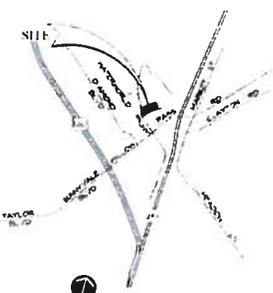
Level 3:

- Includes all of Levels 1 and 2, plus
- Arrangement with a nearby parking garage or parking lot, such as the Sierra Pacific Properties 1,600-space parking garage located immediately south of the project site, or with Waterworld, located immediately north of the project site. Oakmont has held discussions with Mark Wickham, CFO of Sierra Pacific properties who states that they currently rent parking stalls to Metro Plexiglass, and would certainly assist Oakmont in arranging for rental parking spaces if and when needed. Waterworld's Paul Kimura, General Manager, states that they could assist Oakmont through lease agreements on a year-to-year basis.

Level 4:

Includes all of levels 1, 2 and 3, plus

- Initiation and maintenance of a shuttle service for employees between this facility and its Montecito facility, approximately 10 minutes away. The Montecito facility has a constant excess of 15 parking spaces where employees may leave their vehicle in a secure location. Use of the employee shuttle would require scheduling as much as an extra ½-hour per employee to arrive at the Montecito facility and take the shuttle to the Waterworld Parkway facility. Employees would also need to schedule additional time on the return trip, perhaps as much as ½-hour, to return by shuttle to their cars. If the need arises during the work day to return to their cars, employees would schedule transport with the Oakmont Waterworld car or shuttle service, or make other arrangements (i.e., bus or taxi service).



VICINITY MAP
NEMA ATT

SHEET INDEX

SHEET 1 LAYOUT & MATERIALS PLAN
SHEET 2 LANDSCAPE CONSTRUCTION
SHEET 3 PHOTOGRAPH ANALYSIS

ABBREVIATIONS

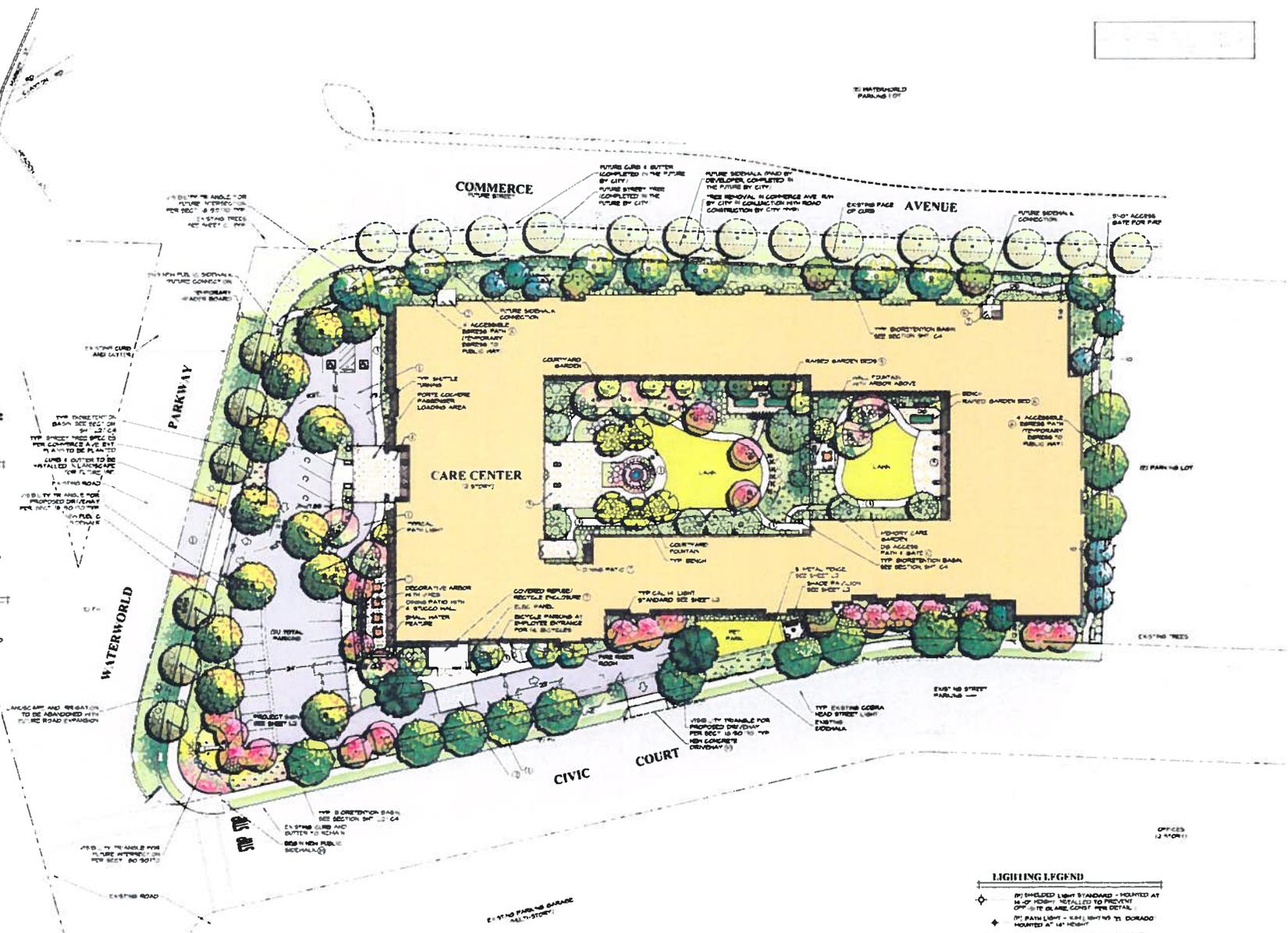
- EW EXISTING WALL
- EW-STR EXISTING STRIP
- PR PROPOSED
- PD PROPOSED DRIVEWAY
- PR-STR PROPOSED STRIP
- PL PUBLIC UTILITY FACILITY
- RE RECORD
- REC-STR RECORDED STRIP
- PLN PLAN
- SH SHED
- DN DOWN
- DO DECOMPOSED GRANITE
- EX EXISTING TREE TO BE REMOVED
- X C.F. L. SHEET 01A-02

SCOPE OF WORK

CONSTRUCTION OF A FULLY SUITABLE AND ASSISTED LIVING FACILITY WITH ASSOCIATED SITE IMPROVEMENTS INCLUDING 24 PARKING SPACES, WALKWAYS, DRIVEWAYS, AND "COMBINATION" TREATMENT UNIT AND DRY UTILITIES AND VARIOUS TREES ARE SHOWN.

PAVING LEGEND

1. A.C. DRIVE ASLE AND PARKING LOT SURFACE TO BE ABANDONED WITH FUTURE ROAD EXPANSION
2. 170' CONCRETE TO BE BROOK PAVED PER C.P. STANDARD
3. COLORED CONCRETE IN SALT PAVEMENT
4. CALSTONE CONCRETE PAVEMENT IN PAVEMENT
5. COLORED CONCRETE IN 8" W/ 6" SALT PAVEMENT WITH CONCRETE BANDS ON 1/2" COLOR T&G
6. DECOMPOSED GRANITE WITH 4" BINDER
7. 1/2" PER CHANNEL SET ON CONCRETE
8. STAMPED COLORED CONCRETE PATTERNS & COLOR PER OWNER
9. DECORATIVE SAND CONCRETE TO MATCH EXISTING
10. CONNECT TO EXISTING CONCRETE SIDEWALK TO NEIGHBOR
11. DETECTABLE WALKING SURFACE COLOR STRIP FOR VISUAL IMPAIRMENT



LANDSIGN GROUP
104 CRAWFORD HWY N. SUBSIDIARY CA
CONCORD, CA 94520
BREJLE & RACE CONSULTING ENGINEERS
415 AVILA BLVD. SANTA ROSA, CA
TEL: 707.532.1122

OAKMONT OF CONCORD

1401 CIVIC COURT
CONCORD, CALIFORNIA

OAKMONT SENIOR LIVING

LAYOUT & MATERIALS PLAN

LIGHTING LEGEND

- 1. 1/2" SHIELDED LIGHT STANDARD - MOUNTED AT 14'-0" HDB - RETALLED TO PREVENT SHINE IN GLASS CORNER PER DETAIL
- 2. 1/2" PAVEMENT LIGHT - MOUNTED 18" TO 24" HDB - MOUNTED AT 14' HEIGHT
- 3. 1/2" PL LIGHT - MOUNTED AT GROUND LEVEL, AHEAD AT TREE OR AS INDICATED ON PLAN
- 4. 1/2" SMALL FLOOD LIGHT - MOUNTED AT GROUND LEVEL, AHEAD AT 30' OR AS INDICATED ON PLAN
- 5. 1/2" BUILDING LIGHT PER ARCHITECTURAL PLAN MOUNTED AT 7'-0" A.P.P.
- 6. 1/2" 18" W/ 6" SUBMIA HEAD PER CITY STREET LIGHT TO BE INSTALLED, COMMERCE AVE. EXT. PLANS
- 7. 1/2" 18" W/ 6" SUBMIA HEAD PER CIVIC STREET LIGHT TO BE INSTALLED, COMMERCE AVE. EXT. PLANS
- 8. HANGING ARCHOR LIGHT
- 9. 1/2" 18" W/ 6" SUBMIA HEAD PER CIVIC STREET LIGHT TO BE INSTALLED, COMMERCE AVE. EXT. PLANS



SHEET
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REV. 01/24

LANDSCAPE LEGEND CONT.

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WITHIN VISIBILITY TRIANGLE PLANT SPECIES SELECTED SHALL NOT EXCEED 30' IN HEIGHT AND TREE CANOPIES SHALL BE TRIMMED TO A MAX HEIGHT OF 8'-0"

IRRIGATION SYSTEM DESIGN

ALL LANDSCAPED AREAS SHALL INCLUDE AN AUTOMATIC IRRIGATION SYSTEM DESIGNED AND INSTALLED IN CONFORMANCE WITH THE IRRIGATION SYSTEM DESIGN TO BE SUBMITTED WITH THIS PLAN AND FOR BUILDING PERMITS.

ALL LANDSCAPED AREAS SHALL BE SERVED BY AN AUTOMATIC IRRIGATION SYSTEM DESIGNED TO PREVENT OVERWATERING AND SALINITY.

IRRIGATION CIRCUITS SHALL BE SEPARATE AND LOCATED BASED UPON PLANT TYPE AND WATER REQUIREMENTS. LANDSCAPE HYDROZONES AND PLANTER SCHEMATIC SHALL BE SUBMITTED WITH THIS PLAN AND FOR BUILDING PERMITS.

IRRIGATION CIRCUITS SHALL BE SEPARATE AND LOCATED BASED UPON PLANT TYPE AND WATER REQUIREMENTS. LANDSCAPE HYDROZONES AND PLANTER SCHEMATIC SHALL BE SUBMITTED WITH THIS PLAN AND FOR BUILDING PERMITS.

TYP. BOREHOLE IN BANK SEE SECTION BELOW AND SH-CA

WITHIN VISIBILITY TRIANGLE PLANT SPECIES SELECTED SHALL NOT EXCEED 30' IN HEIGHT AND TREE CANOPIES SHALL BE TRIMMED TO A MAX HEIGHT OF 8'-0"

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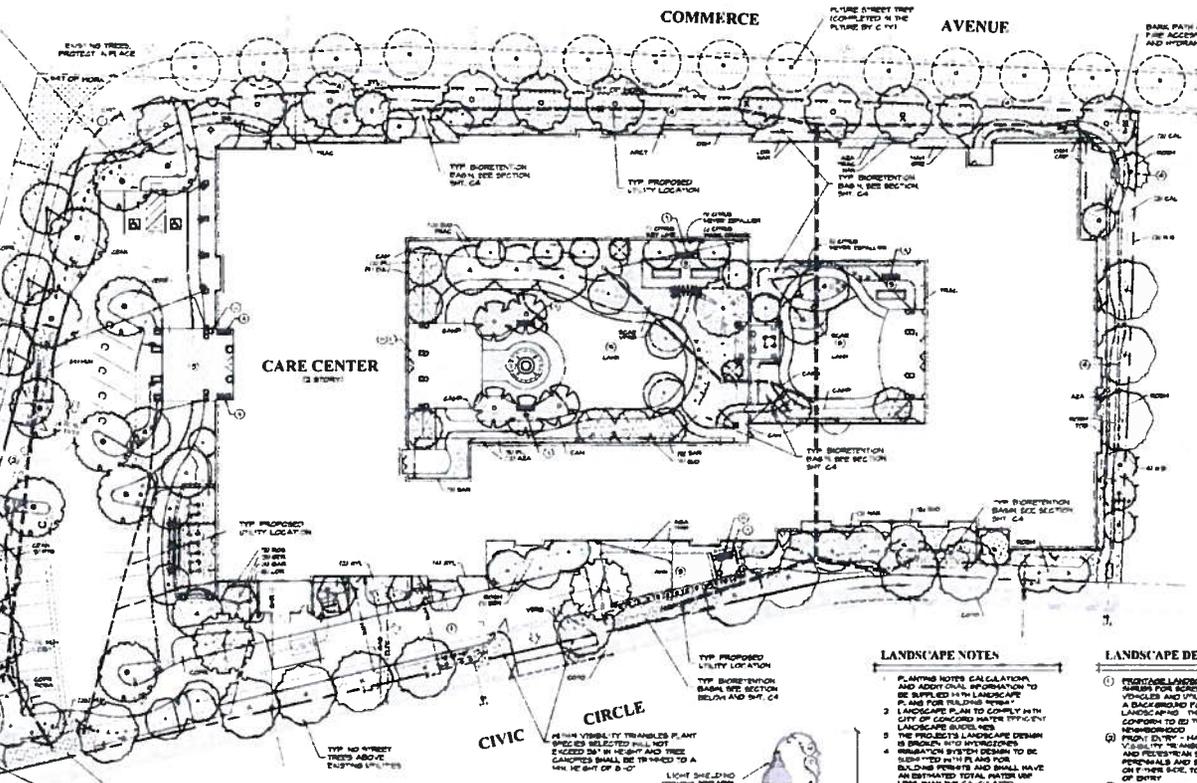
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LANDSCAPE NOTES

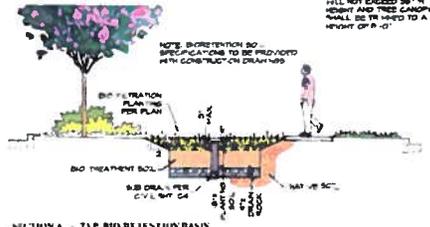
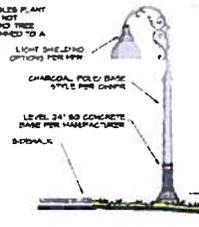
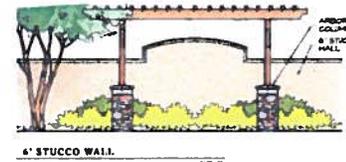
1. PLANTING NOTES (CALIFORNIA) AND MOST OTHER INFORMATION TO BE SUPPLIED WITH LANDSCAPE PLAN FOR BUILDING PERMITS.
2. LANDSCAPE PLAN TO COMPLY WITH CITY OF CONCORD MASTER PLANNING LANDSCAPE GUIDELINES.
3. THE PROJECT'S LANDSCAPE DESIGN IS BASED ON THE INFORMATION PROVIDED BY THE CLIENT AND FOR BUILDING PERMITS AND SHALL HAVE AN ESTIMATED TOTAL WATER USE LESS THAN THE CALCULATED MAXIMUM APPLIED WATER ALLOWANCE FOR THE PROJECT'S LANDSCAPE.

LANDSCAPE DESIGN INTENT

1. FRONTAGE LANDSCAPE - TO PROVIDE SCREENING FOR SCREENING OF PARKING SPACES AND UTILITIES SHALL ACT AS A BACKGROUND FOR STRUCTURAL LANDSCAPE AND THE COVER SHALL CONFORM TO THE DESIGN OF THE NEIGHBORHOOD.
2. FRONT ENTRY - HAWAIIAN VEGANICAL PLANTING SHALL BE USED FOR TRAFFIC AND PEDESTRIAN SAFETY. COLORFUL PERENNIALS AND SHRUBS TO BE USED ON EITHER SIDE, TO CREATE A SENSE OF WELCOME.
3. ENTRY COLOADE - PEDESTRIAN ENTRY OF AN ENRICHED COLORED CONCRETE AND PAVER PAVED THIS AREA WILL FEATURE PATTERN WITH ANNUALS AND BE SURROUNDED BY COLORFUL PLANTS ON EACH SIDE THIS FEATURE IS DESIGNED TO CREATE A SENSE OF WELCOME AND SERVE AS A FOCAL POINT.
4. REAR SIDE LANDSCAPE - SCREEN AND HEDGING WHILE PROVIDING SECURITY AND SAFETY. A MIX OF CALIFORNIA NATIVE AND DROUGHT TOLERANT TREES, SHRUBS AND GRASSCOVERS TO BE USED ALONG THE NORTH, SOUTH AND EAST PROPERTY LINES. ADDITIONAL ORNAMENTAL PLANTS TO PROVIDE INTEREST.
5. ENTRY AREAS - THE SHADE PAVILION AND SMALL TURF AREA PROVIDE A RECREATIONAL SPOT FOR RED SEEDS AND SMALL PETS RAISED BEDS FOR BERRY/VEGETABLE PRODUCTION PAVED WITH TRIPLEX.
6. ENTRY GARDENS - PATIENTS WITH SPECIAL NEEDS ARE PROVIDED WITH A GARDEN PLANTING HERE FOCUS ON ENTIRE SAFETY AND BLENDE THE PRIVATE OPEN SPACES OF TURF AND GRASSCOVER ARE DESIGNATED TO UNDERLYING ACTIVITY.
7. COURTYARD GARDENS - COURTYARD RECREATION AND RELAXATION ARE ENRICHED BY ORNAMENTAL TREES, SHRUBS AND PERENNIALS THE FOCAL POINT IS A PAVED TERRACE SURROUNDED BY FLOWERING ANNUALS.

SEE FURNISHINGS

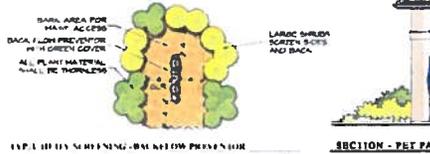
1. 6'-0" METAL BENCH TO BE PURCHASED BY OWNER
2. METAL WASTE CAN TO BE PURCHASED BY OWNER
3. METAL RECYCLE CAN TO BE PURCHASED BY OWNER



SECTION A - TYP. BIO-RETENTION BASIN



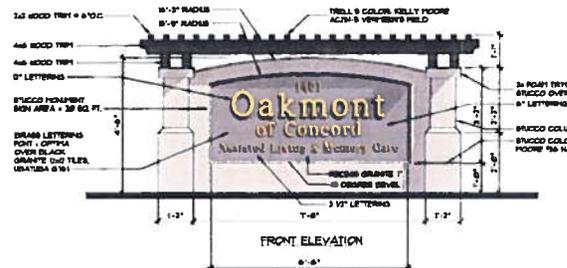
SECTION - DINING PATIO



SECTION - PET PARK



SECTION - PET PARK



FRONT ELEVATION

LANDSCAPE DESIGN GROUP
1344 GRAVENS FURNISHING N. SEASIDE, CA
(714) 251-2381

OAKMONT OF CONCORD
1401 CIVIC COURT
CONCORD, CALIFORNIA

OAKMONT SENIOR LIVING

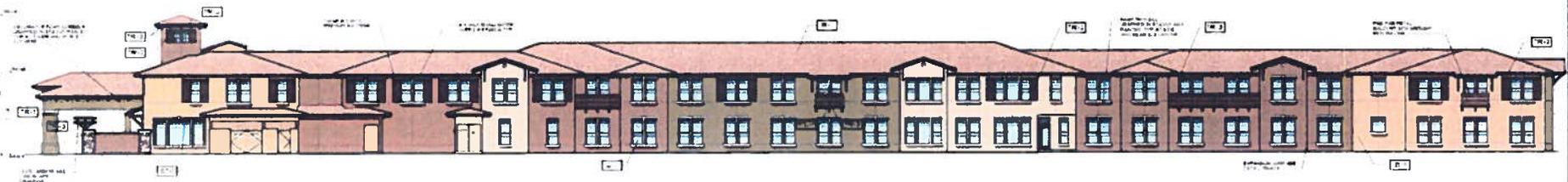
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DATE: 11/15/2014

SHEET L2



WEST ELEVATION
SCALE 1/8" = 1'-0"



SOUTH ELEVATION
SCALE 1/8" = 1'-0"



EAST ELEVATION
SCALE 1/8" = 1'-0"

COLOR AND MATERIAL SCHEDULE			
FINISH TAG	SUBJECT	MANUFACTURER/PATENT	COLOR
D-1	WALL	1/2" GYPSUM BOARD	100% WHITE
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D-95	WALL	1/2" GYPSUM BOARD	100% WHITE
D-96	WALL	1/2" GYPSUM BOARD	100% WHITE
D-97	WALL	1/2" GYPSUM BOARD	100% WHITE
D-98	WALL	1/2" GYPSUM BOARD	100% WHITE
D-99	WALL	1/2" GYPSUM BOARD	100% WHITE
D-100	WALL	1/2" GYPSUM BOARD	100% WHITE



NORTH ELEVATION
SCALE 1/8" = 1'-0"



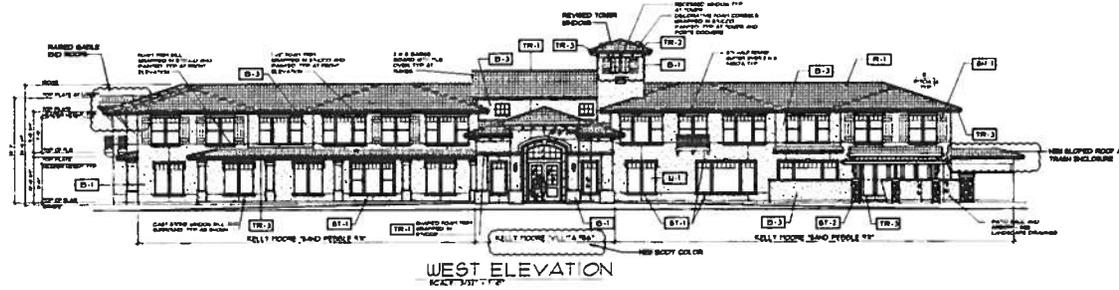
DRAWING BY:
A.J.I. (G)EAL
1000 N. GARDEN
SANTA ANA, CA 92705
PH. 949.336.3500

OAKMONT
Senior Living, LLC

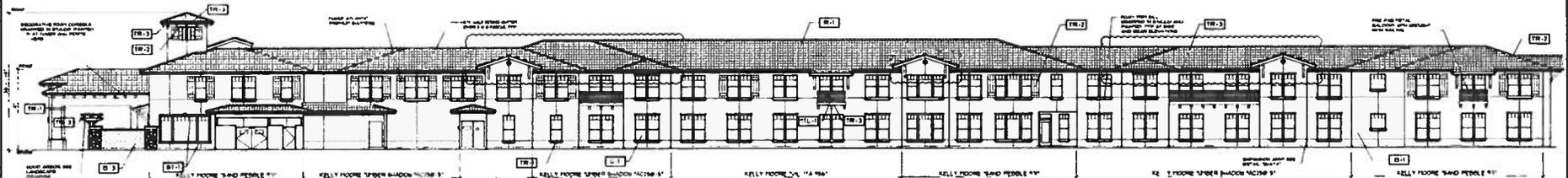
EXTERIOR ELEVATIONS
OAKMONT of CONCORD
1400 Civic Court, Concord, California

DATE: JULY 2014
CONTRACT NO.:

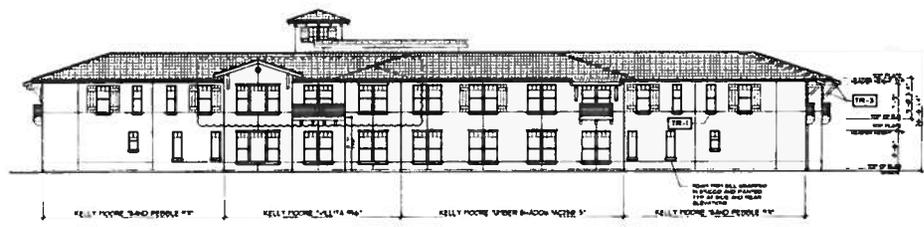
SHEET NO.
A.1.1



WEST ELEVATION
SCALE 3/8" = 1'-0"

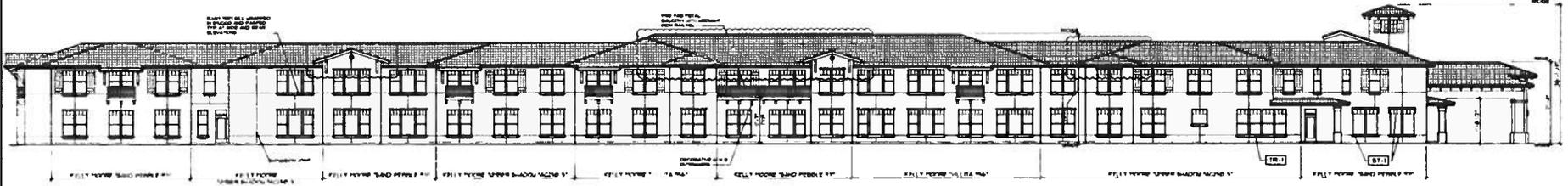


SOUTH ELEVATION
SCALE 3/8" = 1'-0"



EAST ELEVATION
SCALE 3/8" = 1'-0"

COLOR AND MATERIAL SCHEDULE		
ITEM NO.	DESCRIPTION	COLOR
(R-1)	REVERSED TOWER BRICKS	REVERSED TOWER BRICK
(B-1)	SANDSTONE BRICKS	SANDSTONE BRICK
(B-2)	SANDSTONE BRICKS	SANDSTONE BRICK
(B-3)	SANDSTONE BRICKS	SANDSTONE BRICK
(TR-1)	TRUSS ROOFING	TRUSS ROOFING
(TR-2)	TRUSS ROOFING	TRUSS ROOFING
(TR-3)	TRUSS ROOFING	TRUSS ROOFING
(B-11)	BRICKWORK	BRICKWORK
(B-12)	BRICKWORK	BRICKWORK
(B-13)	BRICKWORK	BRICKWORK
(B-14)	BRICKWORK	BRICKWORK
(B-15)	BRICKWORK	BRICKWORK
(B-16)	BRICKWORK	BRICKWORK



NORTH ELEVATION
SCALE 3/8" = 1'-0"



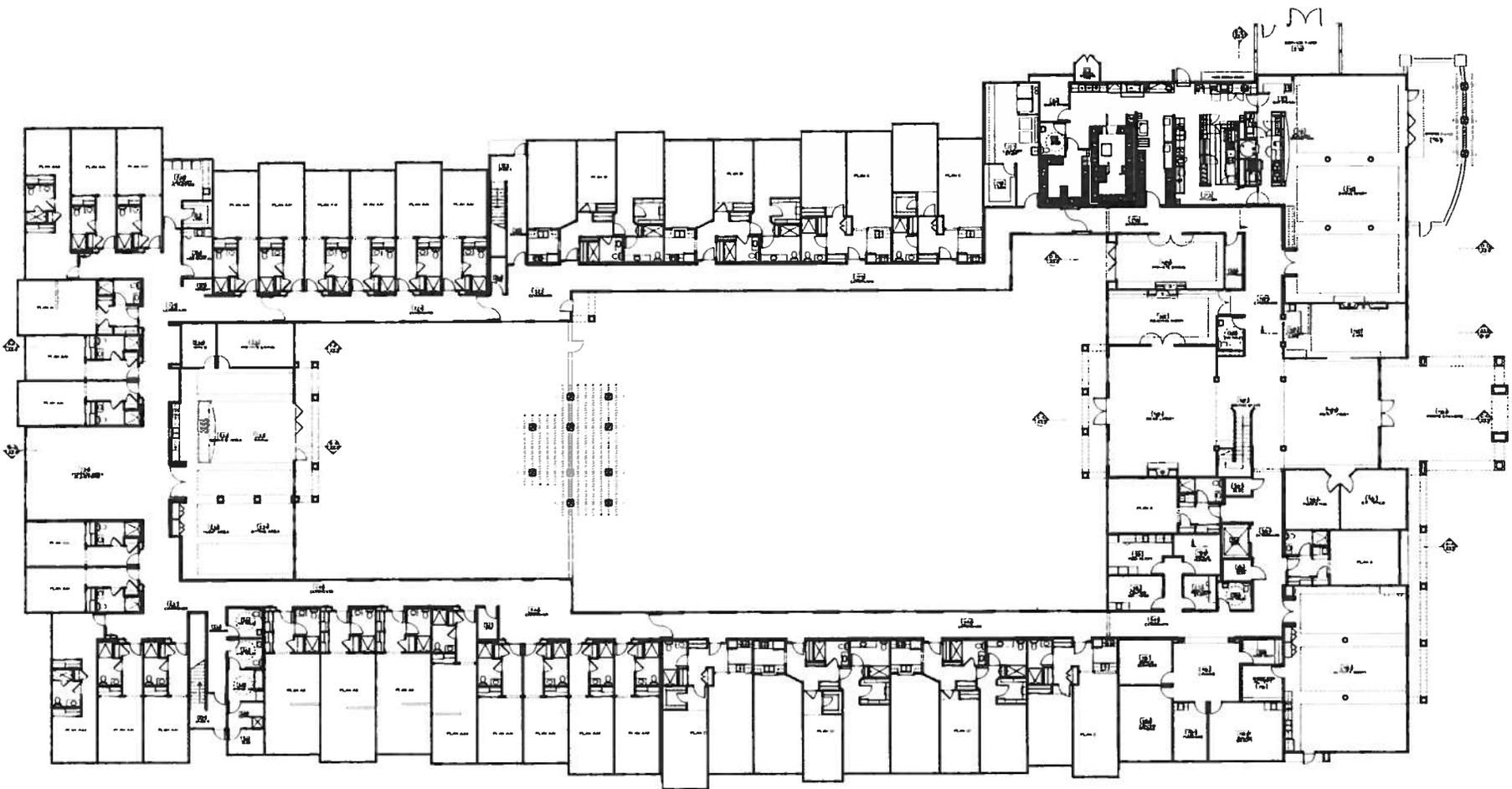
DESIGNED BY:
ALLI
240 CONCOURSE BLVD.
BAY AREA, CA, 94608
PH: 916-350-1388

OAKMONT
Active Living

EXTERIOR ELEVATIONS
OAKMONT OF CONCORD
1401 CHATELAIN COURT, CONCORD, CALIFORNIA

JOB NO.
SCALE
DRAWN BY
DATE
COPYRIGHT
REVISIONS

SCALE
37'-0"



FIRST FLOOR PLAN
SCALE: 3/32" = 1'-0"
NORTH

UNIT COUNT:
FIRST FLOOR - ALZHEIMER'S = 25
SUB TOTAL ASSISTED = 35
SECOND FLOOR - ASSISTED = 41
GRAND TOTAL = 76



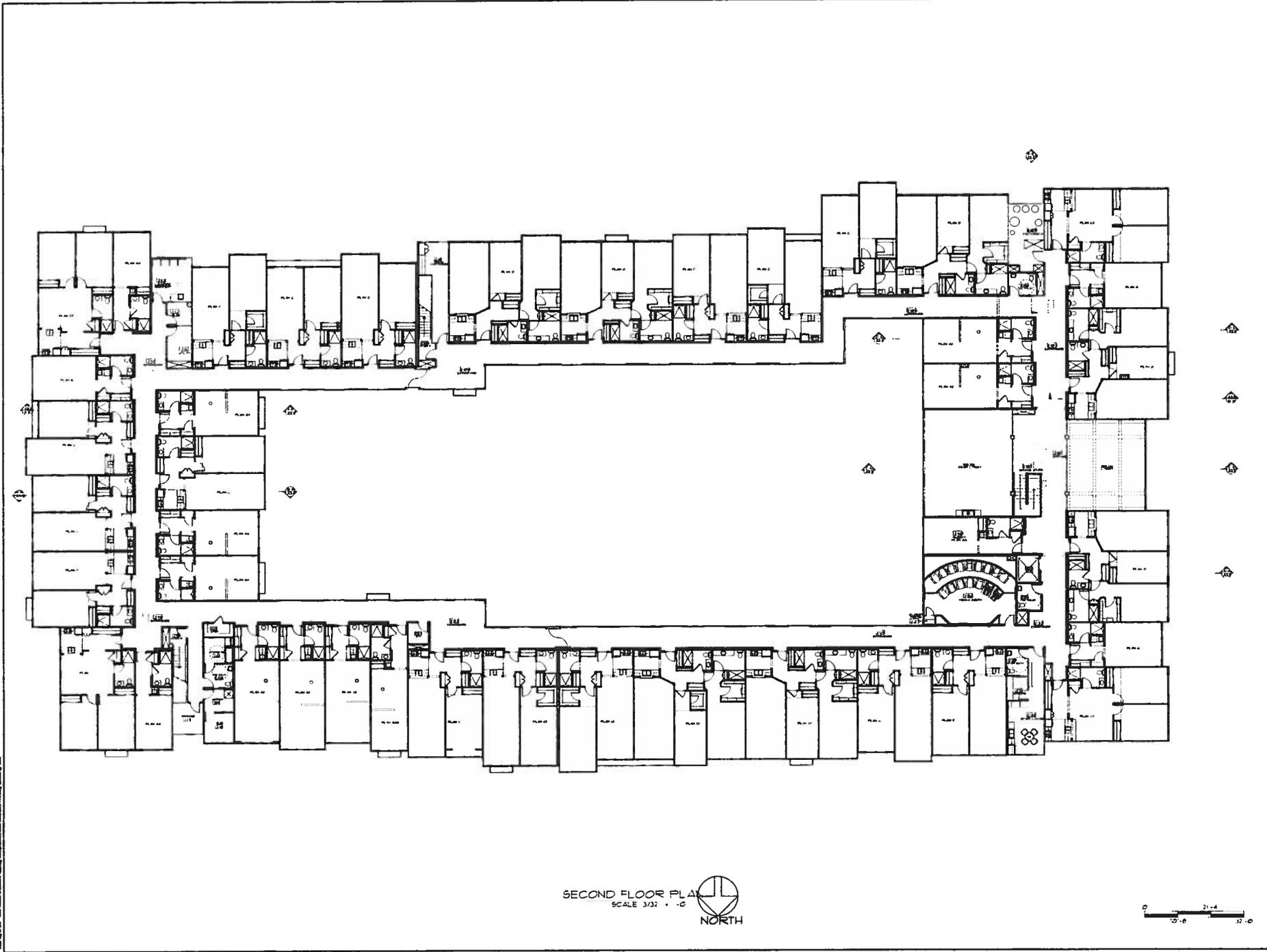
DESIGNED BY:
AL JGBAL
238 CONCORD BLVD.
SANTA ANA, CA 92705
PH: 949-266-2888

OAKMONT
Senior Living **LLC**

FIRST FLOOR PLAN
OAKMONT of CONCORD
1401 Civic Court, Concord, California

JOB NO.
SCALE
AS SHOWN
DRAWN BY
DATE
JULY 1, 2014
COPYRIGHT
REV. NO.

REVISION
DATE
BY
DESCRIPTION
NO. DATE BY DESCRIPTION
A2.1



DRAWING BY:
 ALI JOBAL
 230 CONCORD BLVD.
 SANTA ROSA, CA 95405
 PH. 916-530-1888

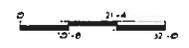
OAKMONT
Chairing Springs, LLC

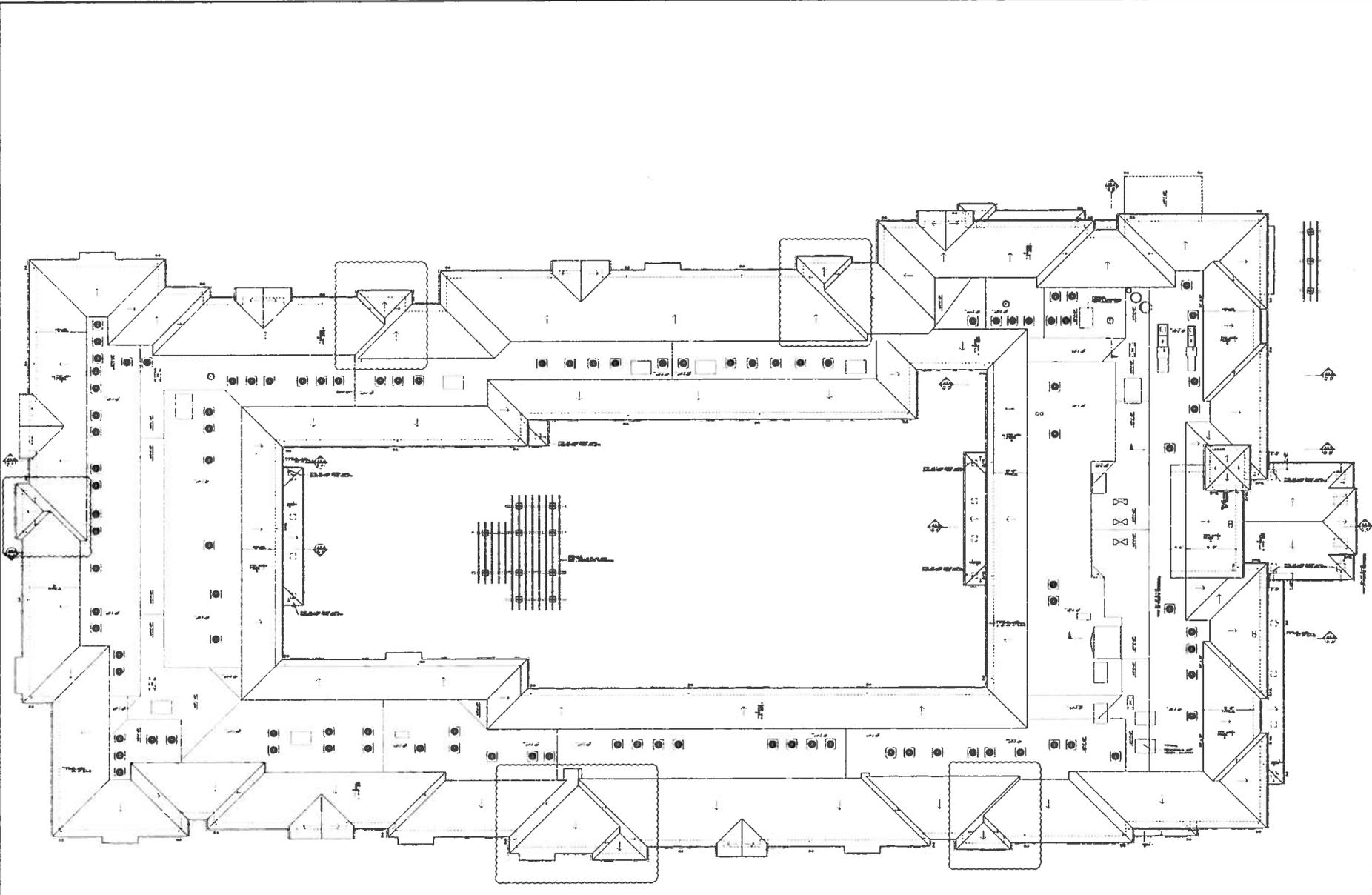
SECOND FLOOR PLAN
 OAKMONT of CONCORD
 1481 CHATELAIN COURT, CONCORD, CALIFORNIA

JOB NO.
 SCALE
 1/32" = 1'-0"
 DRAWN BY
 A.J.

1-10
A2.2

SECOND FLOOR PLAN
 SCALE 1/32" = 1'-0"
 NORTH





ROOF PLAN
SCALE 3/32" = 1'-0"
NORTH



DRAWING BY:
 ALI OBEID
 220 CONCOURSE BLVD.
 SANTA ROSA, CA 95405
 PH. 707.535.3388

OAKMONT
Senior Living, LLC

ROOF PLAN
 OAKMONT of CONCORD
 1481 Civic Court, Concord, California

JOB NO
 SCALE
 AS SHOWN
 DRAWN BY
 DATE
 JULY 7 2024
 EXPIRES
 REVISIONS

SHEET NO
A23

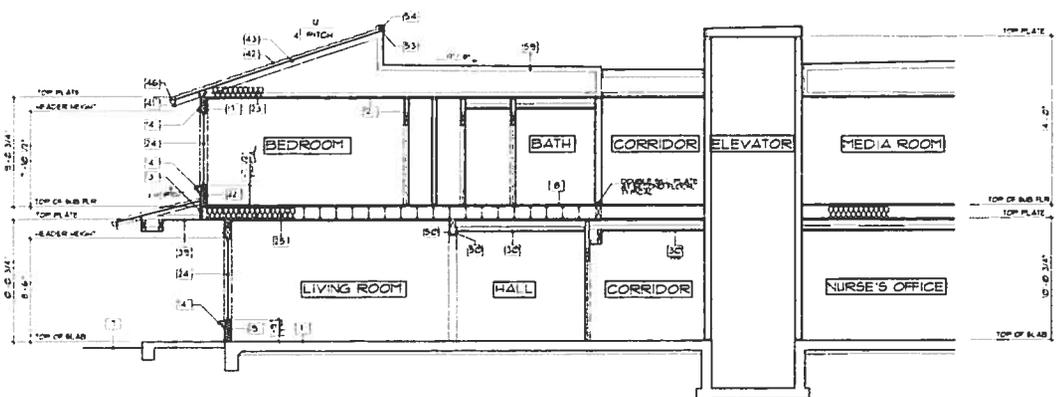
DESIGNED BY:
ALU GLOBAL
 280 CONCOURSE BLVD
 SANTA ANA, CA 92708
 PH: 949.258.5188

OAKMONT
Minor Expanding, LLC

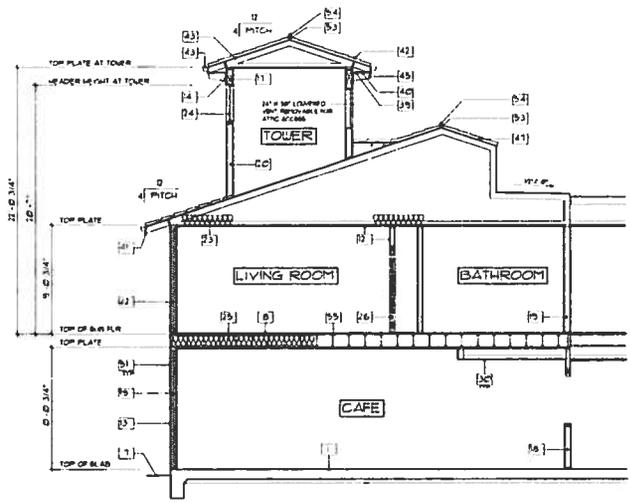
BUILDING SECTIONS
OAKMONT of CONCORD
 1401 Civic Court, Concord, California

JOB NO.
 SCALE
 AS SHOWN
 DRAWN BY
 DATE
 JULY 1 2014
 COMMENTS

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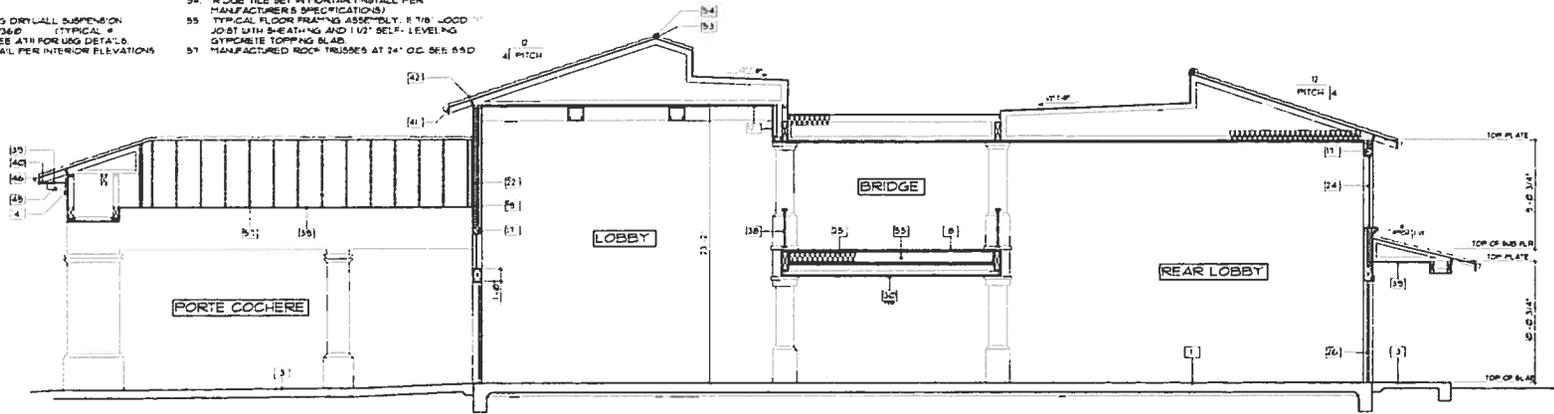
SECTION A-A
 SCALE: 1/4" = 1'-0"



SECTION B-B
 SCALE: 1/4" = 1'-0"

SECTION NOTES:

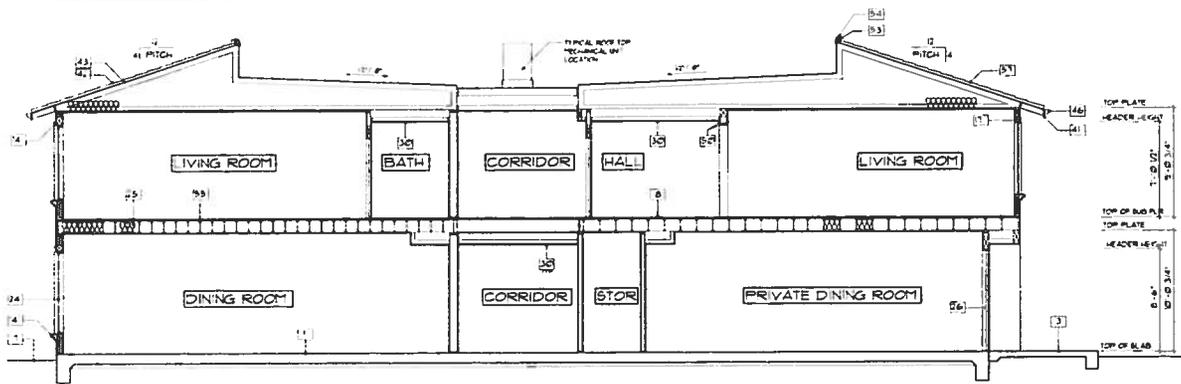
- 1 CONCRETE SLAB, S&D
- 2 CONCRETE SLAB (SLOPE 1/8" PER 1'-0" MIN)
- 3 DERESSED CONCRETE (PER PLAN)
- 4 FINISH GRADE (SLOPE 1/4" PER 1'-0" ALAY FIN)
- 5 STRUCTURE 4" ID MIN/IPS
- 6 FLOOR FINISH MATERIAL (PER PLAN)
- 7 GYP BOARD AT WALLS AND CEILING (TYPICAL) SEE GENERAL NOTE #1
- 8 EXTERIOR GRADE PLASTER (3 COAT 1/2" THICK OVER CRACK RESISTANT LEATHER RESISTANT BARRIER OVER STRUCTURAL SHEATHING WHERE OCCURS)
- 9 ROOM TRIM (SEE EXTERIOR ELEVATIONS)
- 10 HEADER S&D
- 11 2" x 4 WOOD STUDS @ 16" O.C.
- 12 2" x 8 WOOD STUDS @ 16" O.C.
- 13 2" x 8 WOOD STUDS @ 16" O.C.
- 14 R-13 INSULATION OR EQUAL ABOVE CEILING TYPICAL
- 15 R-13 INSULATION OR EQUAL ABOVE CEILING TYPICAL
- 16 R-13 INSULATION BETWEEN FLOORS TYPICAL PER ENERGY CALCS.
- 17 DOOR (PER PLAN)
- 18 5/8" GYP BOARD OR USG DRYWALL SUSPENSION SYSTEM - ASTM C635 / C636
- 19 CORNERED CEILING (SEE ARCH FOR USG DETAIL)
- 20 UPGRADE IRON GUARDRAIL PER INTERIOR ELEVATIONS
- 21 EXTERIOR GRADE PLASTER AT ROFFITS
- 22 CONTINUOUS SCREENED EAVE VENT PER VENTING CALCULATIONS
- 23 7" FABRIC
- 24 5" TYPE F-55 ON CLAY TILE ROOFING OVER 1 LAYER 30# FELT INSTALL PER MANUFACTURER'S SPECIFICATIONS (SEE FINISH SCHEDULE FOR COLOR AND MANUFACTURER)
- 25 ROOF SHEATHING (S&D) WITH PRE-ATTACHED RADIANT BARRIER OVER PRE-FAB TRUSSES @ 24" O.C.
- 26 CORBEL (SEE EXTERIOR ELEVATION FOR PLACEMENT AND MATERIAL)
- 27 0.875" GUTTER (SEE EXTERIOR ELEVATIONS FOR PAINT COLOR)
- 28 END STOP
- 29 1/2" PLYWOOD SHEATHING, BOTH SIDES OF 2" FRAMING TO PORT ARCH
- 30 PLYWOOD SHEATHING WHERE OCCURS, S&D
- 31 2" RODIE NAILER (VERIFY NAILER SIZE PRIOR TO CONSTRUCTION NAILER SIZE MAY VARY DEPENDING ON ROOF SLOPE, SEE DRAW)
- 32 EDGE TILE SET IN MORTAR (INSTALL PER MANUFACTURER'S SPECIFICATIONS)
- 33 TYPICAL FLOOR FRAMING ASSEMBLY, 8" TUB WOOD JOIST WITH SHEATHING AND 1 1/2" SELF-LEVELING DRYSHRTE TOPPING SLAB
- 34 MANUFACTURED ROOF TRUSSES AT 24" O.C. SEE S&D



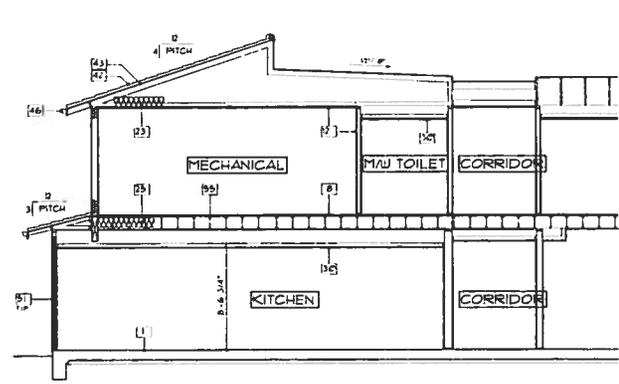
SECTION C-C
 SCALE: 1/4" = 1'-0"



DATE: 7/1/14
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 APPROVED BY: [Signature]
 PROJECT NO.: [Number]
 SHEET NO.: **A3.3**



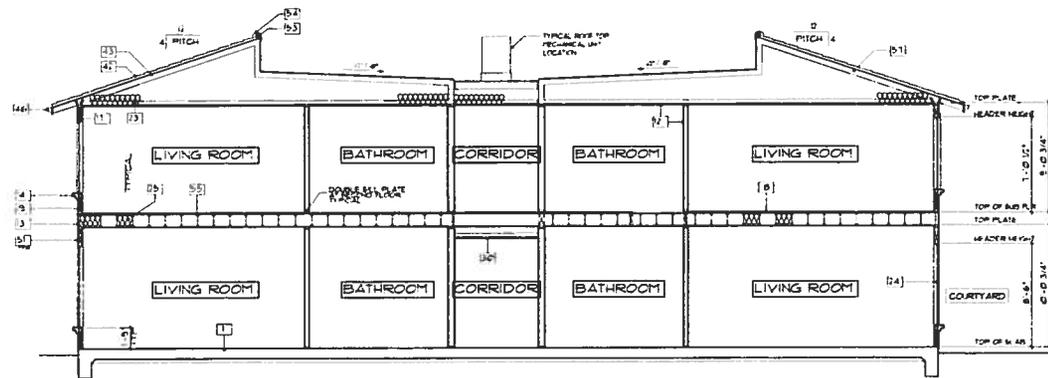
SECTION D-D
SCALE: 1/4" = 1'-0"



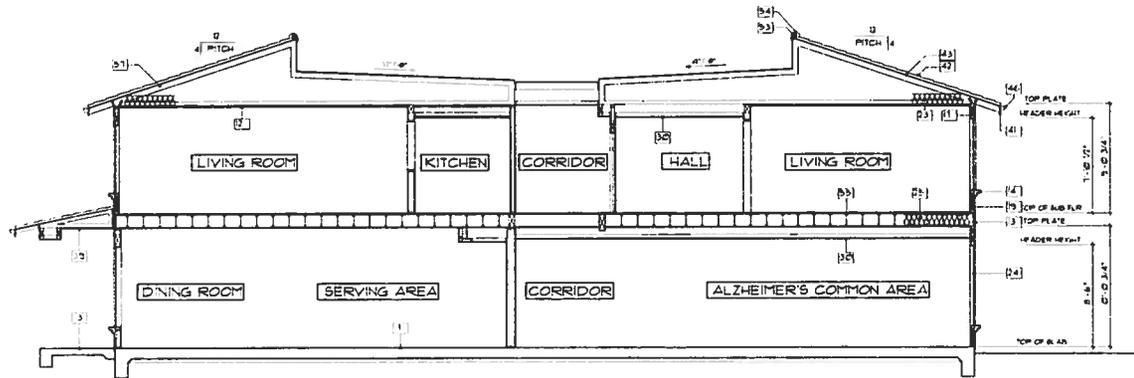
SECTION E-E
SCALE: 1/4" = 1'-0"

SECTION NOTES:

1. CONCRETE SLAB, S&D
2. CONCRETE SLAB (SLOPE 1/8" PER 1'-0" FIN)
3. DEPRESSED CONCRETE (PER PLAN)
4. FINISH GRADE (SLOPE 1/4" PER 1'-0" AWAY FROM STRUCTURE, 4:10 FINISH)
5. FLOOR FINISH MATERIAL (PER PLAN)
6. GYP BOARD AT WALLS AND CEILING (TYPICAL) SEE GENERAL NOTE 7
7. EXTERIOR GRADE PLASTER (3 COAT, 1/2" THICK OVER WIRE MESH OVER STRUCTURAL SHEATHING WHERE OCCURS)
8. FOUR 12M (SEE EXTERIOR ELEVATIONS)
9. HEADER, S&D
10. 2 x 4 WOOD STUDS @ 16" OC
11. 2 x 6 WOOD STUDS @ 16" OC
12. 2 x 8 WOOD STUDS @ 16" OC
13. R-11 FIBERGLASS BATT INSULATION @ 2 x 6 EXTERIOR WALLS (TYPICAL)
14. R-30 INSULATION ON EQUAL ABOVE CEILING TYPICAL UNDOOR (PER PLAN)
15. R-19 INSULATION BETWEEN FLOORS TYPICAL PER ENERGY CALCS
16. DOOR (PER PLAN)
17. 5/8" GYP BOARD ON USG DRYWALL SUSPENS ON SYSTEM - 48TH CAB USED TYPICAL @ CORNERED CEILING SEE A111 FOR USG DETAILS
18. WROUGHT-IRON GUARDRAIL PER INTERIOR ELEVATIONS
19. EXTERIOR GRADE PLASTER AT S&D'S
20. 2x4x8 SCREWED BAYE VENT PER VENTING CALCULATIONS
21. FASCIA
22. 5" TYPE F-55 ON CLAY TILE ROOFING OVER 1" LAYER 30# FELT INSTALL PER MANUFACTURER'S SPECIFICATIONS (SEE FINISH SCHEDULE FOR COLOR AND MAKE ACTUARY)
23. ROOF SHEATHING (S&D) WITH PRE-ATTACHED RADIANT BARRIER OVER ROOF TRUSSES @ 24" OC
24. CORREL (SEE EXTERIOR ELEVATION FOR PLACEMENT AND MATERIAL)
25. G&M GUTTER (SEE EXTERIOR ELEVATIONS FOR PAINT COLOR)
26. BIRD STOP
27. 1/2" PLYWOOD SHEATHING BOTH SIDES OF 2 x 4 RAFTERS TO ROOF ARCH
28. PLYWOOD SHEATHING WHERE OCCURS S&D
29. 3/4" RIDGE VAILER (EVERY 4" NAILER SIZE PRIOR TO CONSTRUCTION NAILER SIZE MAY VARY DEPENDING ON ROOF SLOPE SEE A111)
30. RIDGE TILE SET IN PORTLAND INSTALL PER MANUFACTURER'S SPECIFICATIONS
31. TYPICAL FLOOR FRAMING ASSEMBLY: 11/2" WOOD JOIST WITH SHEATHING AND 1 1/2" SELF-LEVELING GYPCRETE TOPPING SLAB
32. MANUFACTURED ROOF TRUSSES AT 24" OC SEE S&D



SECTION F-F
SCALE: 1/4" = 1'-0"



SECTION G-G
SCALE: 1/4" = 1'-0"



DRAWING BY:
ALL LOCAL
250 CONCOURSE BLVD.
SUITE 100
FOLSOM, CA 95630

OAKMONT
Interior Group, Inc.

BUILDING SECTIONS
OAKMONT of CONCORD
1401 CHINE COURT, Concord, California

JOB NO.
SCALE
1/8" = 1'-0"
DRAWN BY
DATE
AULT 1/20/14
COPYRIGHT
REVISED

SHEET NO.
A3.4

DESIGNED BY:
ALLIANCE
 280 CONCORD BLVD
 SANTA ROSA, CA 95405
 PH: 916-535-1888

OAKMONT
Senior Living

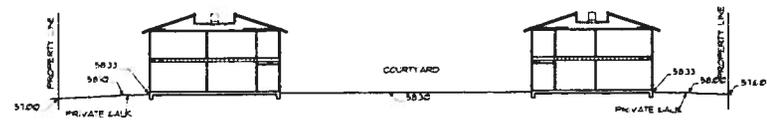
SITE SECTIONS
OAKMONT of CONCORD
 1408 Clark Court, Concord, California

JOB NO
 SCALE
 ARCH NO
 DRAWN BY
 DATE
 JULY 1, 2014
 CHECKED BY
 APPROVED BY

SHEET NO
A3.5



SITE SECTION A-A
 SCALE 1/8" = 1'-0"



SITE SECTION B-B
 SCALE 1/8" = 1'-0"



ABBREVIATIONS

1	1/4" = 1' Scale
2	1/8" = 1' Scale
3	1/16" = 1' Scale
4	1/32" = 1' Scale
5	1/64" = 1' Scale
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11	1/4096" = 1' Scale
12	1/8192" = 1' Scale
13	1/16384" = 1' Scale
14	1/32768" = 1' Scale
15	1/65536" = 1' Scale
16	1/131072" = 1' Scale
17	1/262144" = 1' Scale
18	1/524288" = 1' Scale
19	1/1048576" = 1' Scale
20	1/2097152" = 1' Scale
21	1/4194304" = 1' Scale
22	1/8388608" = 1' Scale
23	1/16777216" = 1' Scale
24	1/33554432" = 1' Scale
25	1/67108864" = 1' Scale
26	1/134217728" = 1' Scale
27	1/268435456" = 1' Scale
28	1/536870912" = 1' Scale
29	1/1073741824" = 1' Scale
30	1/2147483648" = 1' Scale
31	1/4294967296" = 1' Scale
32	1/8589934592" = 1' Scale
33	1/17179869184" = 1' Scale
34	1/34359738368" = 1' Scale
35	1/68719476736" = 1' Scale
36	1/137438953472" = 1' Scale
37	1/274877906944" = 1' Scale
38	1/549755813888" = 1' Scale
39	1/1099511627776" = 1' Scale
40	1/2199023255552" = 1' Scale
41	1/4398046511104" = 1' Scale
42	1/8796093022208" = 1' Scale
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44	1/35184372088832" = 1' Scale
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53	1/18014398509481984" = 1' Scale
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67	1/2951479051793528260096" = 1' Scale
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70	1/23611832414348226080768" = 1' Scale
71	1/47223664828696452161536" = 1' Scale
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LEGEND

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Brelje & Race
 8125 Jackson Street, Suite 100, Concord, CA 94521
 Phone: (925) 276-1127
 Fax: (925) 276-0844
 www.brelje.com



OAKMONT OF CONCORD
 CIVIC COURT
 CONCORD, CALIFORNIA

DATE	2/27/2014
BY	BRJ
CHECKED	BRJ
DATE	2/27/2014
BY	BRJ
CHECKED	BRJ

THIS PLAN AND ALL EXHIBITS HERETOIN ARE THE PROPERTY OF BRELJE & RACE. NO PART OF THIS PLAN OR ANY INFORMATION CONTAINED HEREIN IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BRELJE & RACE.

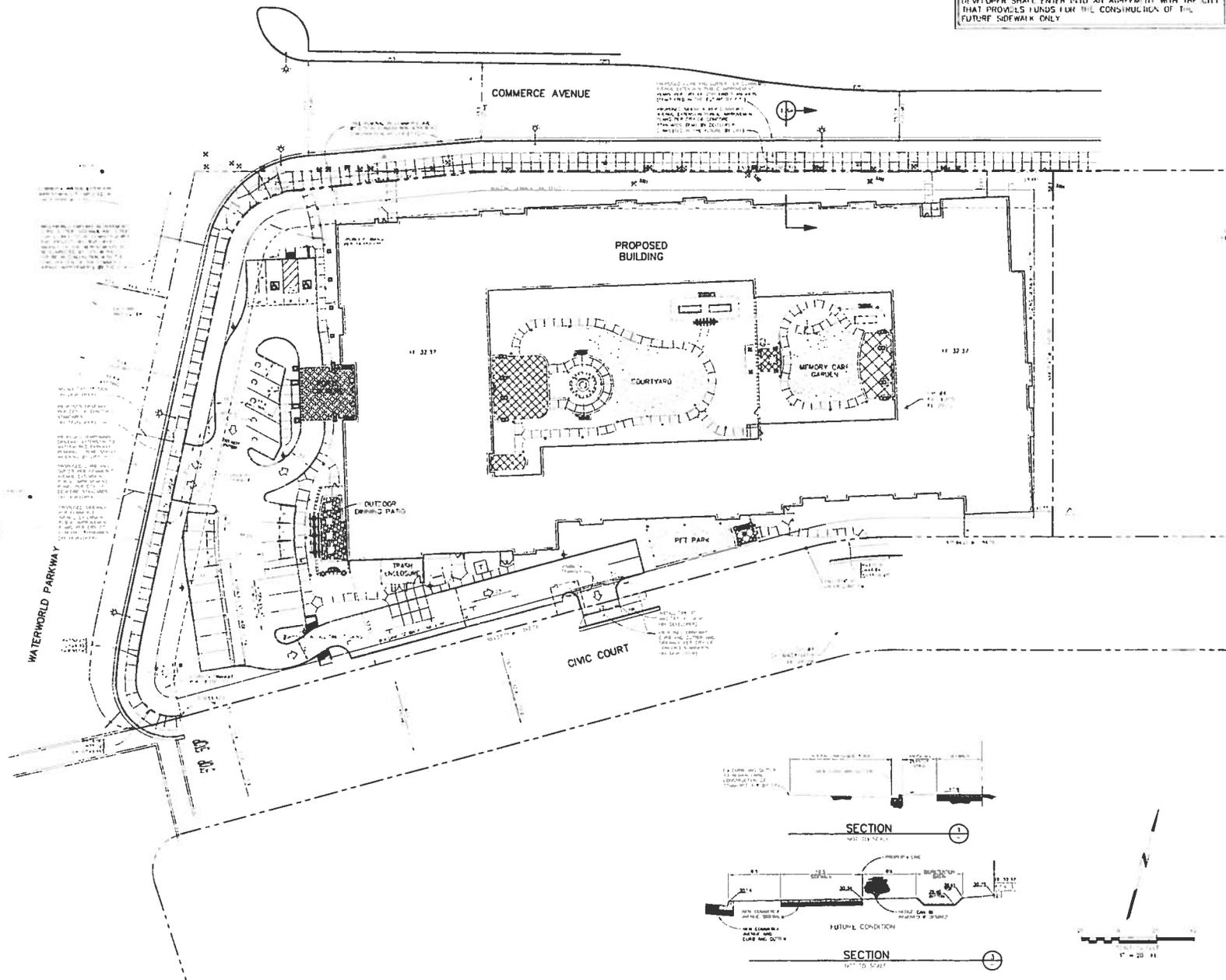
DATE	2/27/2014
BY	BRJ
CHECKED	BRJ
DATE	2/27/2014
BY	BRJ
CHECKED	BRJ

ABBREVIATIONS, LEGEND & NOTES

SHEET #81
CO OF **7**

11.3.20

IMPROVEMENTS SHOWN NORTH OF 54TH FRODOXY 1941 WILL BE INSTALLED BY THE CITY IN THE FUTURE CONSISTENT WITH THE COMMERCE AVENUE EXTENSION PUBLIC IMPROVEMENT PLANS. DEVELOPER SHALL ENTER INTO AN AGREEMENT WITH THE CITY THAT PROVIDES FUNDS FOR THE CONSTRUCTION OF THE FUTURE SIDEWALK ONLY.



Brelje & Race
 4755 Alameda, Concord, CA 94618
 Phone: (925) 308-4444
 Fax: (925) 308-4444
 www.brelje.com

OAKMONT OF CONCORD
 CIVIC COURT
 CONCORD, CALIFORNIA

NO.	DATE	DESCRIPTION

DATE: 11/3/20
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 SCALE: AS SHOWN

DIMENSIONAL SITE PLAN - FUTURE CONDITION

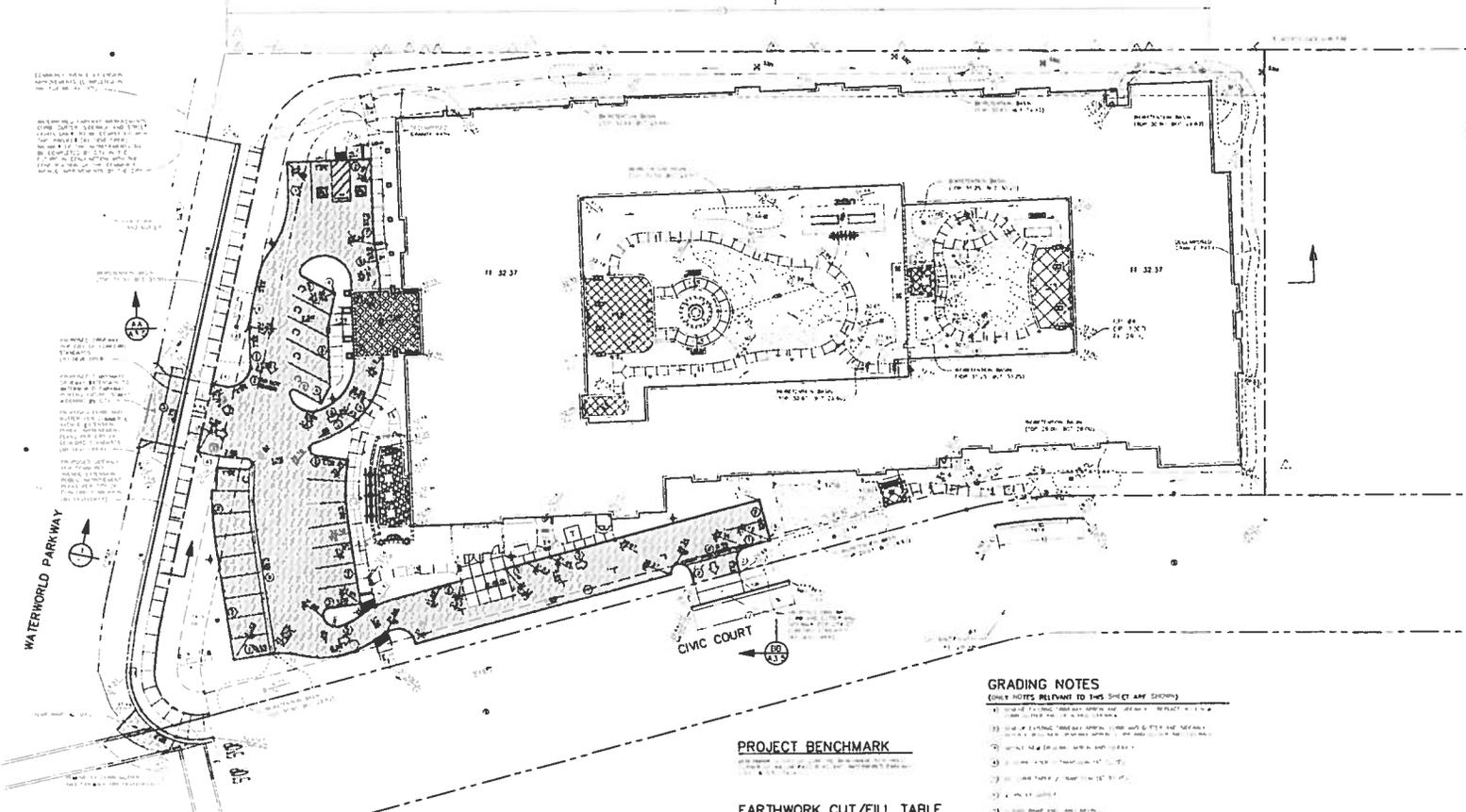
SHEET 1 of 7
C1B of 7



**OAKMONT
 OF
 CONCORD**
 CIVIC COURT
 CONCORD, CALIFORNIA

SECTION 1

COMMERCE AVENUE
 (FUTURE BY CITY)



COMMENTS: THESE ELEVATIONS ARE BASED ON THE PROPOSED FINISH GRADE. THE FINISH GRADE IS TO BE DETERMINED BY THE GRADING ENGINEER. THE FINISH GRADE IS TO BE DETERMINED BY THE GRADING ENGINEER. THE FINISH GRADE IS TO BE DETERMINED BY THE GRADING ENGINEER.

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GRADING NOTES
 (ONLY NOTES RELEVANT TO THIS SHEET ARE SHOWN)

1. ALL GRADING SHALL BE ACCORDING TO THE CITY OF CONCORD SPECIFICATIONS.
2. ALL GRADING SHALL BE ACCORDING TO THE CITY OF CONCORD SPECIFICATIONS.
3. ALL GRADING SHALL BE ACCORDING TO THE CITY OF CONCORD SPECIFICATIONS.
4. ALL GRADING SHALL BE ACCORDING TO THE CITY OF CONCORD SPECIFICATIONS.
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9. ALL GRADING SHALL BE ACCORDING TO THE CITY OF CONCORD SPECIFICATIONS.
10. ALL GRADING SHALL BE ACCORDING TO THE CITY OF CONCORD SPECIFICATIONS.

PROJECT BENCHMARK

PROJECT BENCHMARK: 100.00

EARTHWORK CUT/FILL TABLE

Station	Cut (ft)	Fill (ft)
0+00	0.00	0.00
0+10	0.00	0.00
0+20	0.00	0.00
0+30	0.00	0.00
0+40	0.00	0.00
0+50	0.00	0.00
0+60	0.00	0.00
0+70	0.00	0.00
0+80	0.00	0.00
0+90	0.00	0.00
1+00	0.00	0.00

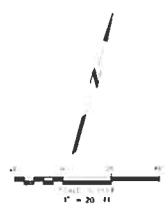
**TYPE 1
 CURB AND GUTTER**

**TYPE 2
 STANDARD VERTICAL CURB**

**TYPE 3
 FLUSH CURB**

LEGEND

- 1. PROPOSED FINISH GRADE
- 2. EXISTING FINISH GRADE
- 3. PROPOSED SUBGRADE
- 4. EXISTING SUBGRADE
- 5. PROPOSED PAVEMENT
- 6. EXISTING PAVEMENT
- 7. PROPOSED SIDEWALK
- 8. EXISTING SIDEWALK
- 9. PROPOSED DRIVEWAY
- 10. EXISTING DRIVEWAY



**PRELIMINARY
 GRADING PLAN**

SHEET NO.
C2 OF **7**

ALL STORM DRAIN DROP INLETS ARE TOP-CRAT TYPE WITH STANDARD 12" OPENING IN LANDSCAPE AREAS AND 1/2" MANHOLE OPENING IN HARDCAPE AREAS, WHICH WILL ACT AS TRASH CAPTURE DEVICES. SITE HAS FULL TIME MAINTENANCE STAFF. ALL PUBLIC STORM DRAIN CURB INLETS SHALL BE INSTALLED WITH A TRASH BAR.

COMMERCE AVENUE
(FUTURE BY CITY)

WATERWORLD PARKWAY

CIVIC COURT

11 22 37

11 22 37

Brelje & Race
4115 Parker Road, Concord, CA 94521
Phone: (925) 885-1422
Fax: (925) 885-1423
www.brelje.com



**OAKMONT
OF
CONCORD**

CIVIC COURT
CONCORD, CALIFORNIA

NO.	REV.	DESCRIPTION

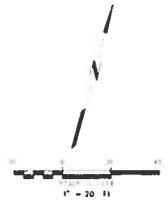
THIS PLAN IS THE PROPERTY OF BRELJE & RACE. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF BRELJE & RACE.

DATE: 01/27/2014
PROJECT: CIVIC COURT
SCALE: AS SHOWN

**PRELIMINARY
UTILITY PLAN**

SHEET NO.

C3 OF 7



DATE PLOTTED: 01/27/2014 10:58:11 AM

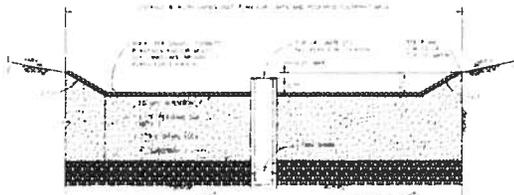
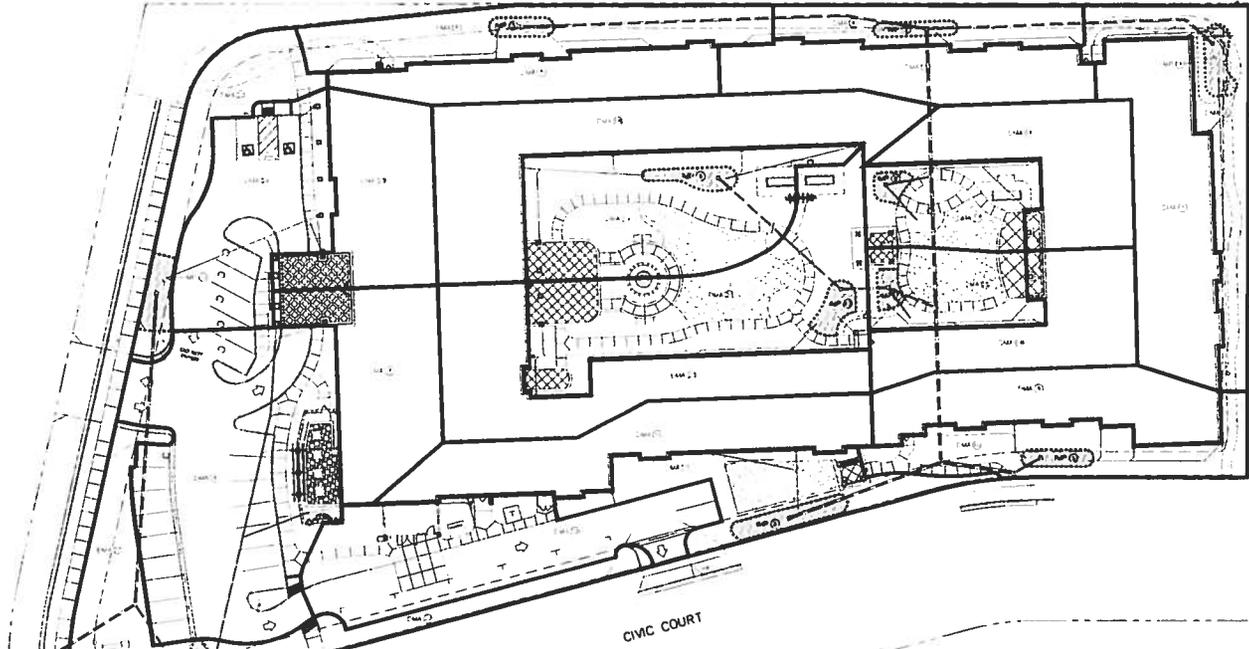


**OAKMONT
 OF
 CONCORD**

CIVIC COURT
 CONCORD, CALIFORNIA

COMMERCE AVENUE
 (FUTURE BY CITY)

WATERWORLD PARKWAY



BIORETENTION BASIN

LIST OF DMA'S

DMA ID	TIPS	SURFACE COVERAGE	AREA
DMA 01	DRINKING WATER	ASPH	1,174.74
DMA 02	DRINKING WATER	ASPH	1,174.74
DMA 03	DRINKING WATER	ASPH	1,174.74
DMA 04	DRINKING WATER	ASPH	2,349.48
DMA 05	DRINKING WATER	ASPH	1,174.74
DMA 06	DRINKING WATER	ASPH	1,174.74
DMA 07	DRINKING WATER	ASPH	1,174.74
DMA 08	DRINKING WATER	ASPH	1,174.74
DMA 09	DRINKING WATER	ASPH	1,174.74
DMA 10	DRINKING WATER	ASPH	1,174.74
DMA 11	DRINKING WATER	ASPH	1,174.74
DMA 12	DRINKING WATER	ASPH	1,174.74
DMA 13	DRINKING WATER	ASPH	1,174.74
DMA 14	DRINKING WATER	ASPH	1,174.74
DMA 15	DRINKING WATER	ASPH	1,174.74
DMA 16	DRINKING WATER	ASPH	1,174.74
DMA 17	DRINKING WATER	ASPH	1,174.74
DMA 18	DRINKING WATER	ASPH	1,174.74
DMA 19	DRINKING WATER	ASPH	1,174.74
DMA 20	DRINKING WATER	ASPH	1,174.74
DMA 21	DRINKING WATER	ASPH	1,174.74
DMA 22	DRINKING WATER	ASPH	1,174.74
DMA 23	DRINKING WATER	ASPH	1,174.74
DMA 24	DRINKING WATER	ASPH	1,174.74
DMA 25	DRINKING WATER	ASPH	1,174.74
DMA 26	DRINKING WATER	ASPH	1,174.74
DMA 27	DRINKING WATER	ASPH	1,174.74
DMA 28	DRINKING WATER	ASPH	1,174.74
DMA 29	DRINKING WATER	ASPH	1,174.74
DMA 30	DRINKING WATER	ASPH	1,174.74

LIST OF IMP'S

IMP ID	TIPS	AREA
IMP 01	BIORETENTION BASIN	1,174.74
IMP 02	BIORETENTION BASIN	1,174.74
IMP 03	BIORETENTION BASIN	1,174.74
IMP 04	BIORETENTION BASIN	1,174.74
IMP 05	BIORETENTION BASIN	1,174.74
IMP 06	BIORETENTION BASIN	1,174.74
IMP 07	BIORETENTION BASIN	1,174.74
IMP 08	BIORETENTION BASIN	1,174.74
IMP 09	BIORETENTION BASIN	1,174.74
IMP 10	BIORETENTION BASIN	1,174.74
IMP 11	BIORETENTION BASIN	1,174.74
IMP 12	BIORETENTION BASIN	1,174.74
IMP 13	BIORETENTION BASIN	1,174.74
IMP 14	BIORETENTION BASIN	1,174.74
IMP 15	BIORETENTION BASIN	1,174.74
IMP 16	BIORETENTION BASIN	1,174.74
IMP 17	BIORETENTION BASIN	1,174.74
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IMP 22	BIORETENTION BASIN	1,174.74
IMP 23	BIORETENTION BASIN	1,174.74
IMP 24	BIORETENTION BASIN	1,174.74
IMP 25	BIORETENTION BASIN	1,174.74
IMP 26	BIORETENTION BASIN	1,174.74
IMP 27	BIORETENTION BASIN	1,174.74
IMP 28	BIORETENTION BASIN	1,174.74
IMP 29	BIORETENTION BASIN	1,174.74
IMP 30	BIORETENTION BASIN	1,174.74

NOTES

- 1. SEE ALL NOTES ON DRAWINGS FOR GENERAL NOTES.
- 2. EXISTING UTILITIES ARE SHOWN FOR INFORMATION ONLY. VERIFY ALL UTILITIES BEFORE CONSTRUCTION.
- 3. ALL DIMENSIONS ARE IN FEET AND INCHES. DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

LEGEND

- BIORETENTION BASIN
- ASPH
- CONCRETE
- LANDSCAPE
- PAVING
- WALKWAY
- BIORETENTION BASIN

NO.	DATE	DESCRIPTION

ON A PUBLIC PLACE OR AMONG THE PEOPLE OF THE STATE, THE ENGINEER OR ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. THE ENGINEER OR ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREIN.

PROJECT: CIVIC COURT
 DATE: SEPTEMBER 2014
 DRAWN BY: [NAME]
 CHECKED BY: [NAME]

STORM WATER CONTROL PLAN

