



REGULAR MEETING OF THE CITY OF CONCORD ZONING ADMINISTRATOR

9:00 a.m., Wednesday, July 13, 2016
CITY COUNCIL CHAMBERS
1950 Parkside Drive, Concord

AGENDA

PUBLIC COMMENT PERIOD

(The public may speak on any item within the jurisdiction of the Zoning Administrator not listed on this agenda. Approximately 15 minutes is allocated for the Public Comment Period, and each speaker will be allowed approximately 3 minutes.)

HEARINGS:

1. **Costa Minor Hillside Development Plan (PL16204 – HM, DR)** – Application for a Minor Hillside Development Plan for a single family residence on a 0.93-acre site at 9999 Holly Drive. The General Plan designation is Rural Residential; Zoning classification is RR-40 (Single Family Residential, 40,000 sq. ft. minimum lot size); APN 117-060-035. Pursuant to the provisions of the California Environmental Quality Act (CEQA) of 1970, as amended, and pursuant to Section 15303, Class 3 “New Construction,” the project is classified as a Class 3 Categorical Exemption, and therefore, no further environmental review is required. **Project Planner: Joan Ryan @ (925) 671-3370.**

ADJOURNMENT

Next Zoning Administrator’s Meeting: July 27, 2016

In accordance with the Americans with Disabilities Act and California Law, it is the policy of the City of Concord to offer its public programs, services and meetings in a manner that is readily accessible to everyone, including those with disabilities. If you are disabled and require a copy of a public hearing notice, or an agenda and/or agenda packet in an appropriate alternative format; or if you require other accommodation, please contact the ADA Coordinator at (925) 671-3021, at least five (5) days in advance of the hearing. Advance notification within this guideline will enable the City to make reasonable arrangements to ensure accessibility.

Correspondence and writings received within 72 hours of the scheduled Zoning Administrator meeting that constitute a public record under the Public Records Act concerning any matter on the agenda is available for inspection during normal business hours at the Permit Center located at 1950 Parkside Drive, Concord. For additional information contact the Planning Division at (925) 671-3152.

APPEALS

Decisions of the Zoning Administrator may be appealed to the Planning Commission. Appeals and the required filing fee must be filed with the City Clerk within ten (10) days of the decision.

If you challenge any of the foregoing described actions in court, an appeal first of said actions to the Zoning Administrator, Planning Commission, and/or City Council (as applicable) in the manner and within the time period established in Development Code Chapter 18.510 (Appeals and Calls for Review) is required, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Zoning Administrator and/or Planning Commission (as applicable) at, or prior to, said public hearing.



REPORT TO ZONING ADMINISTRATOR

DATE: July 13, 2016

SUBJECT: Costa Minor Hillside Development Plan (PL16204-HM, DR)

Recommendation: Adopt Zoning Administrator Order No. 16-05ZA (Exhibit A), approving the Costa Minor Hillside Development Plan and Design Review application.

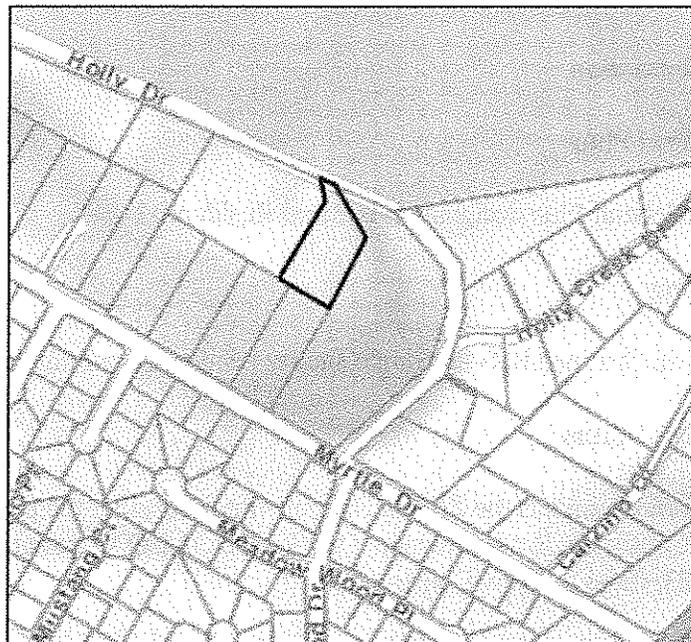
I. Introduction

A. Application Request

A Minor Hillside Development Plan and Design Review application to construct a new single-family home, approximately 3,189 square feet in size, on a 0.95 (net) acre site.

B. Location

The project site is located at 9999 Holly Drive; APN 117-060-035.



C. Applicant/Owner

Dave and Connie Costa
1009 Rolling Woods Way
Concord, CA 94521
(925) 759-5564

II. Background

On February 1, 2016, Dave and Connie Costa submitted a preliminary application and conceptual design review for a single family hillside residence with contemporary architecture on a vacant site on Holly Drive. On February 16, 2016, the application was reviewed by the City's Development Advisory Committee (DAC) and comments were provided to the applicant for preparation of their formal application.

On May 5, 2016, the Costa's submitted a Minor Hillside Development Plan and Design Review application for the construction of a single family home at the subject site. The application was reviewed by the DAC on May 24, 2016 and deemed incomplete on May 27, 2016. Additional plans were later submitted on June 21, 2016, responding to incompleteness items, and the project was deemed complete on June 27, 2016.

A conceptual design review of the initial design was conducted by the Design Review Board on February 25, 2016 at which time the DRB expressed minor concerns regarding the roof line, the length of the western façade, color options, window and roof flashing details, and patio and fencing materials. A final design review of the most recent design was conducted by the DRB on June 9, 2016 at which time the DRB expressed support for the modifications made by the applicant and indicated the project would complement the area. After review of the revised plans, the DRB recommended design approval (Exhibit B). Project plans are included as Exhibit C including color elevations.

III. General Information

A. General Plan

The General Plan designation is Rural Residential.

B. Zoning

The site is zoned RR-40 (Single-family residential; minimum 40,000 sq. ft. lot area).

C. CEQA Status

Staff recommends the Zoning Administrator consider the project as categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303, Class 3 "New Construction."

D. Site Description

The project site consists of an approximately 41,000 square foot lot with native grasses, small shrubs, and one small unprotected tree. This site slopes uphill fairly consistently with an average slope of 18.2 percent, with a flatter portion toward the rear of the parcel. A Minor Hillside Development Plan is required because the average slope is greater than 15 percent at which point the City's Hillside Protection design criteria applies.

E. Surrounding Land Use

The project site is located on the western extension of Holly Drive on the north side of a hill that backs to homes on Myrtle Drive.

	Land Use	General Plan	Zoning
North	Open Space (Reuse Area)	CRP-Open Space	Study District
South	Single Family Residential	Rural Residential	RR-40
East	Single-Family Residential	Rural Residential	RR-40
West	Single-Family Residential	Rural Residential	RR-40

IV. Project Description & Analysis

A. General Plan

The General Plan designates the site as Rural Residential with an allowable density of up to 2.5 dwelling units per net acre. The project is consistent with General Plan policies related to residential development, as discussed below.

- 1) *Support land use decisions that reinforce and capitalize on neighborhood strengths and benefit neighborhood identity and scale. (Policy LU-1.1.1)*

The project reinforces neighborhood identity and strengths by proposing a home which fits within the context of the surrounding neighborhood. The General Plan is implemented by the Development Code and the applicable zoning district. In this case, the development standards of RR-40 zoning regulate the size and scale of residential developments through restrictions on building height and lot coverage (i.e., the percentage of the site that can be developed with buildings). The project complies with the 30 foot building height and 20 percent lot coverage established by RR-40 zoning, and is thus consistent with the General Plan and appropriate for the neighborhood.

- 2) *Require new development in residential areas to preserve and enhance positive neighborhood characteristics. (Policy LU-1.1.2)*

The project preserves and enhances neighborhood characteristics by designing a home determined by the Design Review Board to be compatible with the neighborhood.

- 3) *Minimize cut-and-fill of natural hillsides. (Policy LU-11.1.4)*

The home is positioned to avoid the steepest areas of the southern portion of the site and is designed to follow the natural contours without extensive grading. Proposed grading includes 400 cubic yards of cut and 400 cubic yards of fill. The grading will not require any off-haul of dirt. The proposed driveway backing area is approximately 25 feet deep

with an entry drive with a slope of 20 percent from the driveway edge down to Holly Drive.

B. Development Regulations

The project meets standards for lot area, lot coverage, setbacks, and building of RR-40 zoning (as noted in the table below), and all applicable requirements under the Development Code, Article IV, Development Standards.

Standards	Required/Allowed	Proposed
Lot Area (net minimum)	40,000 sq. ft.	Approx. 41,530 sq. ft.
Lot Coverage (max.)	20%	10.5%
Yard Setbacks (minimum)		
Front yard	30 ft.	78 ft.
Side yard	10 ft.	27/54 ft.
Rear yard	50 ft.	70 ft.
Building Height (max.)	30 ft.	26 ft.
Parking Spaces	2 enclosed garage spaces for 4 bedrooms or less	3 garage spaces and 4 driveway spaces

C. Site Planning/Circulation/Parking

The proposed home would be served via a private roadway from Holly Drive.

The home is designed with a three-car garage and a driveway apron to accommodate three additional parking spaces, along with a parking space at the base of the entry steps for a total of four off-street parking spaces. Staff finds the site plan responsive to neighborhood constraints and opportunities because the project has been designed to fit within the context of the surrounding land use pattern.

D. Minor Hillside Development Plan

Pursuant to Concord Municipal Code Section 18.445.040.C, the Zoning Administrator takes action on the Minor Hillside Development Plan, and must make the findings listed below in order to approve the development plan.

Staff analysis on how the project meets each finding is provided.

- 1. The design, scale, massing, height, and siting of the project is compatible with the site and consistent with the character and scale of the surrounding developed neighborhood.*

The project was recommended for approval by the Design Review Board and is consistent with the applicable development standards within the Development Code. As proposed the scale and height of the new home is similar to those within the surrounding neighborhood.

- 2. The design and site layout of the project respects and protects the natural environment to the maximum extent feasible.*

The proposed site plan minimizes grading by avoiding the steepest areas of the project site and follows the natural contours to the extent feasible; low retaining walls are utilized.

- 3. The site grading is sensitive to the hillside site, minimizes tree removal, and provides safe site access.*

Staff finds the proposed site plan and grading are consistent with the Hillside Protection design criteria. As noted above, the home is positioned to avoid the steepest areas of the lot and is designed to follow the natural contours without extensive grading. Moreover, the average slope of 18.2 percent is over 15 percent at which point the City's Hillside Protection design criteria applies. Proposed grading includes 400 cubic yards of cut and 400 cubic yards of fill. The proposed driveway apron would provide safe site access and is approximately 25 feet deep with a private entry drive with a downhill slope of 20 percent from the driveway edge to the private road accessed via Holly Drive. No protected trees are proposed to be removed.

- 4. The project is consistent with the General Plan, and meets the development standards of the applicable zoning district and the hillside development and design standards.*

The proposal is consistent with the applicable General Plan policies identified in Section IV.A above and RR-40 zoning district development standards discussed in detail under Section IV.B above. The Hillside Protection design criteria within the City's Development Code require that development be designed to fit the terrain rather than altering the terrain to fit the development. Development patterns which require excessive cuts or fill are to be avoided. Split-level foundations, low retaining walls, and terraces are encouraged. The proposed development plan is consistent with these requirements.

- 5. The project screens development to the extent feasible through clustering and/or avoidance of highly visible hillsides, ridgelines, and knolls.*

The residence is proposed over 70 feet from the rear of the site and thus is anticipated to be minimally visible from local street corridors. The site does not contain any highly visible hillsides, ridgelines, or knolls.

- 6. The project incorporates adequate access, public services, and utilities.*

Safe access would be provided via a private road connecting to Holly Drive and sufficient public services and utilities exist within the project area to serve the proposed project. The City's Engineering Division as well as the Contra Costa County Fire Protection District have reviewed the project and recommend approval subject to the conditions of approval included within Exhibit A.

E. Building Architecture

The Design Review Board recommended approval of the project on June 9, 2016 following revisions to the project's design to address comments regarding the roof line, the length of the western façade, color options, window and roof flashing details, and patio and fencing materials.

The proposed residence is a single story residence measuring approximately 26 feet to the peak of the roof. It has a sloped composition shingle roof, stucco (smooth sand) finish, stone veneer and wood accents on the front elevation and is comparable to other homes in the immediate area. As proposed, the home is 3,189 square feet, has four bedrooms and a three car garage.

F. Landscaping/Fencing

The landscape plan shows landscaping within the front and rear yards. The development code only requires front yard landscaping. The palette for the front yard includes Madrone, Standard West Redbud, Live Oak and Valley Oak, a wide variety of shrub types, and two species of groundcover. No protected trees would be removed as there are none located at the subject site.

Proposed fencing has been conditioned to be consistent with the Hillside Protection development standards. A 4-foot tall open wire fence is specified on the plans to enclose the rear yard, consistent with requirements for hillside properties to reduce effect on hillside views on or off the site. The proposed retaining walls would be limited to three, one along the western façade (1 to 3 feet high), one at the back of the driveway apron (1 to 2 feet high) and one along the edge of the driveway from 1 to 4 feet high, which would be stepped and screened with landscaping, as conditioned, consistent with the Hillside Protection retaining wall design criteria.

G. Design and Site Development Review

The Zoning Administrator must make the findings listed below to approve the Design Review application. Staff analysis on how the project meets each finding is provided.

1. The project is consistent with the General Plan.

The project is consistent with the General Plan as explained in Section IV-A above.

2. The project meets the following criteria in Section 18.415.080.

(a) The building design and landscaping supports public safety and security by allowing for surveillance of the street by people inside buildings and elsewhere on the site.

The project would orient the home toward the private roadway and Holly Drive, to allow for surveillance of the street within the home.

- (b) *The design is compatible with the historical or visual character of any area recognized by the City as having such character.*

The area is not recognized as a historical, architectural, or scenic area by the City.

- (c) *The project design preserves major views and vistas along major streets and open spaces and trails and enhances them by providing project amenities.*

The site plan minimizes grading by avoiding the steepest areas of the project site and following the natural site contours. The project design retains views and vistas of open space areas. The design and colors are anticipated to complement the hillside.

- (d) *The proposed lighting and fixtures are designed to complement on-site buildings, are of an appropriate scale for the development, and provide adequate light for safety and security while minimizing glare.*

Exterior lighting would be residential in type and character to minimize glare, as conditioned.

- (e) *All mechanical, electrical, and utility equipment is located, screened, or incorporated into the design of the buildings so as not to be visible from off-site, and screening devices are consistent with the exterior colors and materials of the buildings.*

The project conditions require final details of mechanical, electrical, and utility equipment to be shown on building permit plans to ensure they are located behind fencing or screened so as not to be visible from off-site.

- (f) *The overall design of the project, including its scale, massing, site plan, exterior design, and landscaping, enhances the appearance and features of the project site and surrounding natural and built environment.*

Design changes have been made to ensure the project is appropriate for the surrounding built environment, including its scale, massing, site plan, and exterior design. These changes, which were suggested by the Design Review Board, include adjustments to the roof line, adjustments to massing on the west elevation and design enhancements to front elevation architectural details to create visual interest and improvements as well as provision of additional parking.

- (g) *The project design is appropriate to the function of the project and will provide an attractive and comfortable environment for occupants, visitors, and the general community.*

The project includes the following design features to enhance the functionality of the proposed homes and the attractiveness and comfort of occupants, visitors, and the general community: off-street parking in excess of what is required by Code; and

landscaping that provides screening and shade.

- (h) *The architectural details, colors, materials, and landscaping are internally consistent, fully integrated with one another, and used in a manner that is visually consistent with the proposed architectural design.*

The project meets the criteria because similar building materials and colors would be used within the home, and a unifying landscape palette will be used for the entire project site.

- (i) *The project is compatible with neighboring development in the same Zoning District by avoiding large differences in building scale and character and provides a harmonious transition between the proposed project and surrounding development.*

The project meets the criteria and avoids large differences in building scale and character because it complies with RR-40 development standards, which allow for larger homes than what is proposed by the project or what exists in the immediate area.

- (j) *The project creates an attractive and visually interesting built environment with a variety of building styles and designs, well-articulated structures that present varied building facades, rooflines, and building heights within a unifying context.*

The project meets the criteria and creates an attractive and visually interesting built environment featuring varied roof forms, front elevation architectural details such as hip and flat roof elements, window placement, a mix of building materials that create interesting textures and an appealing street presence to the home and a quality landscape plan.

- (k) *The landscaping is compatible with and enhances the architectural character of the buildings and site features, and blends with the surrounding landscape. Landscape elements complement the buildings and rooflines through color, texture, density, and form. Landscaping is in scale with on-site and off-site buildings, and plantings have been selected and located to avoid conflicts with views, lighting, infrastructure, utilities, and signage.*

The Design Review Board has reviewed the landscape plan and determined that it is compatible with the building architecture.

- (l) *Stormwater treatment areas have been integrated into the landscape design.*

Bio-retention areas are not required as the project would create less than 10,000 square feet of impervious surface. However, measures have been incorporated into the landscape plan. Proposed downspouts would discharge to splash blocks and drain to the landscaped areas.

(m) New construction does not need to match existing surrounding development or buildings; however, the design shall complement or enhance existing development.

The project would integrate with surrounding homes and enhance the neighborhood's design vernacular by implementing four-sided design.

3. *The project is consistent with all applicable Design Guidelines adopted by the City Council that are in effect at the time of approval.*

Concord's Community Design Guidelines were adopted by the City Council in 1987. Most of the recommendations contained in the Guidelines pertain to larger commercial or multi-family developments, where the potential for differences in scale and operational compatibility between sites and uses is greater. The Guidelines also contain recommendations for single-family developments that the project complies with, as follows:

- Exterior building colors and materials consist of earth tone colors, and other materials that are compatible with the neighborhood;
- The home is sited and designed with a functional relationship to the site and street, and in compliance with setbacks to provide accessible and usable yard areas;
- Front yard setback reinforces a spacious suburban character and consistent streetscape;
- The project provides emergency access as required by Contra Costa County Fire Protection District;
- Building lighting design is compatible with the architecture and will be operated at levels consistent with lighting in the area;
- Perimeter fencing will be constructed of durable high quality wood material; and
- Required off-street parking is provided for the home.

4. *The orientation, location, and elevation of the buildings and structures and site improvements are compatible with and are aesthetically harmonious with adjacent development or the character of the neighborhood.*

The project would be harmonious with the pattern of existing homes oriented towards the private access road accessed via Holly Drive, and would use an architectural style that the Design Review Board found to be aesthetically compatible with homes in the neighborhood.

5. *Landscaping, irrigation systems, walls and fences, or features to conceal outdoor activities, utility enclosures, and trash facilities meet current requirements or provide*

a significant upgrade and improvement to the site and the appearance of the neighborhood.

New landscaping designed to meet current requirements would result in an improvement to existing site conditions and a visual upgrade to the neighborhood in general. The DRB found the landscape plan to be complementary to the overall design.

6. *Parking, pedestrian access, and traffic circulation are adequate or improved for all modes of circulation.*

The project meets this finding because it would include safe site access via a private roadway connecting to Holly Drive.

V. Fiscal Impact

The proposed project would have a negligible fiscal impact on the City.

VI. Public Contact

Notification was mailed to all owners and occupants of property within three-hundred (300) feet of the subject parcel, and has been published in the Contra Costa Times, as required by the Concord Municipal Code. This item has also been posted at the Civic Center and at the subject site at least 10 days prior to the public hearing.

VII. Summary and Recommendations

Staff finds the project to be consistent with the General Plan and the Development Code. The project has also been reviewed by the Design Review Board and found to be consistent with the applicable design criteria. Staff recommends the Zoning Administrator open the public hearing, consider the staff report and presentation by the applicant, the public testimony, and close the hearing upon completion of public testimony. Staff further recommends the Zoning Administrator adopt Zoning Administrator Order No. 16-05ZA approving the Costa Minor Hillside Development Plan.

VIII. RECOMMENDED ACTION

The Board recommended approval on June 9, 2016. Staff has prepared the following motion for the Zoning Administrator's consideration for the project.

Staff recommends the Zoning Administrator adopt Zoning Order No. 16-05ZA approving the Costa Minor Hillside Development Plan and Design Review (PL16204 – HM, DR), subject to all applicable standard conditions of approval, which include recommendations of the Board.

Prepared by:


Joan Ryan, AICP
Senior Planner
(925) 671-3370

Joan.ryan@cityofconcord.org

Exhibits:

- A- Zoning Order 16-05 ZA
- B- Annotated Agenda, June 9, 2016
- C Project plans, dated April 11, 2016, May 23, 2016, and June 21, 2016.

ZA ORDER NO. 16-05

OFFICE OF THE ZONING ADMINISTRATOR
CITY OF CONCORD
APPROVINGOwner/Applicant: David and Connie Costa
Project Name: Costa Minor Hillside Development Plan

WHEREAS, on May 5, 2016, Dave and Connie Costa, (“Applicant”) submitted an application for a Minor Hillside Development Plan and Design Review to construct a single-family home on a 0.95 (net) acre site located at 9999 Holly Drive, APN 170-060-035; and

WHEREAS, on June 27, 2016, the application was deemed complete for processing; and

WHEREAS, the application was duly noticed pursuant to the Concord Municipal Code; and

WHEREAS, the subject proposal is consistent with the General Plan; and

WHEREAS, pursuant to the provisions of the California Environmental Quality Act (CEQA) of 1970, as amended, and pursuant to Section 15303, Class 3, “New Construction,” the project is Categorically Exempt, and therefore no further environmental review is required.

NOW, THEREFORE, BE IT RESOLVED that the Zoning Administrator does hereby approve the Costa Minor Hillside Development Plan (PL16204 – HM, DR) subject to the attached Conditions of Approval referenced in Attachment A, based on the following findings:

Minor Hillside Development Plan

1. *The design, scale, massing, height, and siting of the project is compatible with the site and consistent with the character and scale of the surrounding developed neighborhood.* The project was recommended for approval by the Design Review Board and is consistent with the applicable development standards within the Development Code. As proposed, the scale and height of the new home is similar to those within the surrounding neighborhood.
2. *The design and site layout of the project respects and protects the natural environment to the maximum extent feasible.* The proposed site plan minimizes grading by avoiding the steepest areas of the project site and follows the natural contours to the extent feasible.
3. *The site grading is sensitive to the hillside site, minimizes tree removal, and provides safe site access.* The proposed site plan and grading are consistent with the Hillside Protection

1 design criteria. The home is positioned to avoid the steepest areas of the lot located within the
2 center of the site and is designed to follow the natural contours without extensive grading.
3 Moreover, the average slope of 18.2 percent is over 15 percent at which point the City's
4 Hillside Protection design criteria applies. Proposed grading includes 400 cubic yards of cut
5 and 400 cubic yards of fill. The proposed driveway will provide safe site access and has an
6 approximate downhill slope of 20.0 percent from the garage driveway to the private drive off
7 of Holly Drive. No protected trees are proposed to be removed.

8 *4. The project is consistent with the General Plan, and meets the development standards*
9 *of the applicable zoning district and the hillside development and design standards.* The
10 proposal is consistent with the applicable General Plan policies and RR-40 zoning district
11 development standards. The Hillside Protection design criteria within the City's Development
12 Code require that development be designed to fit the terrain rather than altering the terrain to
13 fit the development. The project, as designed, will not utilize excessive cuts or fill. The
14 project has identified up to three low retaining walls for construction which is consistent with
15 the Hillside Development requirements of the Development Code and is consistent with the
16 applicable General Plan policies.

17 *5. The project screens development to the extent feasible through clustering and/or*
18 *avoidance of highly visible hillsides, ridgelines, and knolls.* The project site does not contain
19 any highly visible hillsides, ridgelines, or knolls.

20 *6. The project incorporates adequate access, public services, and utilities.* Safe access
21 will be provided via a driveway connecting to an existing private road off Holly Drive and
22 sufficient public services and utilities exists within the project area to serve the proposed
23 project. The City's Engineering Division as well as the Contra Costa County Fire Protection
24 District have reviewed the project and recommend approval subject to the conditions of
25 approval included within Exhibit A.

26 Design Review

27 *7. The project is consistent with the General Plan.* The project is consistent with the
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1 General Plan as explained in Finding #4 above.

2 8. *The project meets the following criteria in Section 18.415.080.*

3 (a) *The building design and landscaping supports public safety and security by*
4 *allowing for surveillance of the street by people inside buildings and elsewhere on the*
5 *site. The project will orient the home toward the extension of Holly Drive to allow for*
6 *surveillance of the street within the home.*

7 (b) *The design is compatible with the historical or visual character of any area*
8 *recognized by the City as having such character. The area is not recognized as a*
9 *historical, architectural, or scenic area by the City.*

10 (c) *The project design preserves major view and vistas along major streets and*
11 *open spaces and trails and enhances them by providing project amenities. The site plan*
12 *minimizes grading by avoiding the steepest areas of the project site and following the*
13 *natural site contours.*

14 (d) *The proposed lighting and fixtures are designed to complement on-site*
15 *buildings, are of an appropriate scale for the development, and provide adequate light*
16 *for safety and security while minimizing glare. Exterior lighting will be residential in*
17 *type and character to minimize glare, as per conditioned.*

18 (e) *All mechanical, electrical, and utility equipment is located, screened, or*
19 *incorporated into the design of the buildings so as not to be visible from off-site, and*
20 *screening devices are consistent with the exterior colors and materials of the buildings.*
21 *The project conditions require final details of mechanical, electrical, and utility*
22 *equipment to be shown on building permit plans to ensure they are located behind*
23 *fencing or screened so as not to be visible from off-site.*

24 (f) *The overall design of the project, including its scale, massing, site plan,*
25 *exterior design, and landscaping, enhances the appearance and features of the project*
26 *site and surrounding natural and built environment. Design changes have been made*
27 *to ensure the project is appropriate for the surrounding built environment, including its*
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1 scale, massing, site plan, and exterior design. These changes, which were
2 recommended for approval by the Design Review Board, include design enhancements
3 such as additional front elevation architectural details to create visual interest,
4 modifications to the façade and roof pitch and additional window details.

5 *(g) The project design is appropriate to the function of the project and will*
6 *provide an attractive and comfortable environment for occupants, visitors, and the*
7 *general community.* The proposed single-family home includes appropriate design
8 features such as landscaping, outdoor patio area, roof overhangs, and off-street parking.
9 These features will enhance functionality, attractiveness, and comfort of occupants,
10 visitors, and the general community.

11 *(h) The architectural details, colors, materials, and landscaping are internally*
12 *consistent, fully integrated with one another, and used in a manner that is visually*
13 *consistent with the proposed architectural design.* The project meets the criteria
14 because similar building materials and colors will be used within the home, and a
15 unifying landscape palette will be used for the project site.

16 *(i) The project is compatible with neighboring development in the same Zoning*
17 *District by avoiding large differences in building scale and character and provides a*
18 *harmonious transition between the proposed project and surrounding development.*
19 The project meets the criteria and avoids large differences in building scale and
20 character because it complies with RR-40 development standards, which allow for
21 larger homes than what is proposed by the project or what exists in the immediate area.

22 *(j) The project creates an attractive and visually interesting built environment*
23 *with a variety of building styles and designs, well-articulated structures that present*
24 *varied building facades, rooflines, and building heights within a unifying context.* The
25 project meets the criteria and creates an attractive and visually interesting built
26 environment featuring varied roof forms, front elevation architectural details such as
27 wood accents, unique window arrangements, and a mix of building materials including
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1 stonework that create interesting textures and a quality look to the home.

2 (k) *The landscaping is compatible with and enhances the architectural character*
3 *of the buildings and site features, and blends with the surrounding landscape.*
4 *Landscape elements complement the buildings and rooflines through color, texture,*
5 *density, and form. Landscaping is in scale with on-site and off-site buildings, and*
6 *plantings have been selected and located to avoid conflicts with views, lighting,*
7 *infrastructure, utilities, and signage.* The Design Review Board has reviewed the
8 landscape plan and determined that it is compatible with the building architecture,
9 enhances the site and its surroundings, and is designed to avoid conflicts with views,
10 lighting, infrastructure and utilities.

11 (l) *Stormwater treatment areas have been integrated into the landscape design.*
12 Bio-retention areas are proposed, but not required for the residence, as the project
13 would create less than 10,000 square feet of impervious surface. Proposed downspouts
14 will discharge to integrated management practices within the landscaped areas.

15 (m) *New construction does not need to match existing surrounding development*
16 *or buildings; however, the design shall complement or enhance existing development.*
17 The project will complement surrounding homes and enhance the neighborhood's
18 design vernacular by implementing four-sided design.

- 19 9. *The project is consistent with the following standards of the Design Guidelines adopted*
20 *by the City Council:*

- 1 • Exterior building colors and materials consist of earth tone colors, and other
- 2 materials that are compatible with the neighborhood;
- 3 • The home is sited and designed with a functional relationship to the site and
- 4 street, and in compliance with setbacks to provide accessible and usable yard areas;
- 5 • Front yard setback reinforces a spacious suburban character and consistent
- 6 streetscape;
- 7 • The project, as conditioned, provides emergency access as required by Contra
- 8 Costa County Fire Protection District;
- 9 • Building lighting design, as conditioned, is compatible with the architecture and
- 10 will be operated at levels consistent with lighting in the area;
- 11 • Perimeter fencing will be constructed of durable high quality wood and open
- 12 wire material;
- 13 • Required off-street parking is provided for the home.

14 *10. The interrelationship between the orientation, location, and elevations of buildings and*
15 *structures and site improvements are mutually compatible and aesthetically harmonious.* The
16 project will be harmonious with the pattern of the other existing home oriented toward Holly
17 Drive, and will use an architectural style that the Design Review Board found to be
18 aesthetically compatible with homes in the neighborhood.

19 *11. Landscaping, irrigation systems, walls and fences, or features to conceal outdoor*
20 *activities, utility enclosures, and trash facilities meet current requirements or provide a*
21 *significant upgrade and improvement to the site and the appearance of the neighborhood.*
22 New landscaping designed to meet current requirements will result in a significant
23 improvement to existing site conditions and a visual upgrade to the neighborhood in general.

24 *12. Parking, pedestrian access, and traffic circulation are adequate or improved for all*
25 *modes of circulation.* The project meets this finding because it will include safe site access via
26 a private roadway connecting from Holly Drive to Myrtle Drive.

27 Based on the above findings, on July 13, 2016, the Zoning Administrator approved said application
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1 subject to the attached Conditions of Approval, referenced as Attachment A.

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Frank Abejo
Zoning Administrator

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Attachment: A – Draft Conditions of Approval

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ATTACHMENT A

DRAFT CONDITIONS OF APPROVAL

COSTA MINOR HILLSIDE DEVELOPMENT PLAN PL16204 – HM, DR 9999 HOLLY DRIVE APN: 117-060-035

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PERMIT DESCRIPTION

1. These Conditions of Approval apply to and constitute the approval of a **Minor Hillside Development Plan** consisting of *one single-family home on 0.95 acres*.
2. These Conditions apply to and constitute approval of **Design Review** for *building architecture and landscaping and fencing*.
3. The following Exhibits, date stamped received by the City of Concord, on May 5, May 23 and June 21, 2016, are approved and shall be incorporated as Conditions of Approval.

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<u>Plan</u>	<u>Date Prepared</u>	<u>Prepared by</u>	<u>Sheet</u>
Cover Sheet	Dated 4/22/16	Ficcadenti Waggoner and Castle Structural Engineers	A0.1
Floor Plan	Dated 4/22/16	FW and C Structural Engineers	A2.1
Dimensioned Floor Plan	Dated 4/22/16	FW and C Structural Engineers	A2.2
Roof Plan	Dated 4/22/16	FW and C Structural Engineers	A2.3
Elevations	Dated 4/22/16	FW and C Structural Engineers	A3.1
Elevations	Dated 5/23/16	FW and C Structural Engineers	A3.2
Elevations	Dated 4/22/16	FW and C Structural Engineers	A3.3
Elevations--Perspective Views	Dated 4/22/16	FW and C Structural Engineers	A3.4
Civil-Site Plan	Date-stamped 6/21/16	FW and C Structural Engineers	C1.0
Planting Plan	Date-stamped 6/21/16	Thomas Baak & Associates	L-1
Grading & Utility Plan	6/17/16	PERMCO Engineering	1 of 2
Grading & Utility Plan	3/21/16	PERMCO Engineering	2 of 2
Slope Map Existing Topo.	6/21/16	PERMCO Engineering	1 of 2
Slope Map Proposed	6/21/16	PERMCO Engineering	2 of 2

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GENERAL CONDITIONS

4. The Conditions are the responsibility of the applicant and all contractors. Compliance shall occur as specified in the Conditions or at one of the following project milestones:

- (a) With the submittal of Grading, Improvement, Landscape, or Building Plans.
- (b) Prior to issuance of Encroachment, Grading, or Building Permits, whichever comes first.
- (c) Prior to Construction.
- (d) On going during Construction.
- (e) Prior to approval of the Final Map.
- (f) Prior to occupancy approval.

If timing for compliance is not specified, it shall be determined by the Divisions listed after the Condition. **(PLNG, BLDG, ENGR)**

5. Where a plan or further information is required, it is subject to review and approval by the applicable City Department/Division, as noted at the end of each Condition. The Division listed first shall be the primary contact for implementation of that Condition. **(PLNG, BLDG, ENGR)**
6. The project shall comply with all applicable Federal and State laws and Concord Municipal Code (CMC) requirements. **(PLNG, BLDG, ENGR)**
7. Minor modifications that are found to be in substantial conformance with the approved plans such as colors, plant materials, or minor lot line adjustments, may be approved administratively. Major modifications shall be approved by the applicable decision making body. **(PLNG, ENGR)**
8. The Conditions of Approval shall be listed on a plan sheet that is included in the construction plan set (Grading, Utility, Landscape and Building Plans). **(PLNG, ENGR)**
9. Two annotated copies of the Conditions of Approval specifying how each applicable condition has been satisfied, shall be submitted as follows:
 - a. At the time Grading, Utility, Landscape, and/or Building Plans are submitted for plan check, whichever comes first.
 - b. Prior to occupancy approval. **(PLNG, ENGR)**
10. The project site and area surrounding the site shall be fenced and maintained in a weed and litter free condition for the period prior to construction. **(BLDG, PLNG)**
11. For projects that abut residential uses, the perimeter fence shall be installed within two weeks from completion of site demolition or grading work in the area of the fence/wall. If the fence at an abutting residential property is planned for removal, or if an existing residential property does not have a fence, the replacement perimeter fence/wall shall be completed within two weeks from removal of the original fence, unless otherwise approved by the Planning Division. **(PLNG, ENGR)**

ARCHITECTURAL

12. Prior to issuance of a building permit, the following issues shall be addressed in the final elevations for approval by Planning Division staff: **(PLNG)**

1 a. **Incorporate defined call outs on the elevations indicating specific colors, as**
2 **approved by the Board and materials of all architectural elements.**

3 b. HVAC equipment shall be shown on site plan, floor plan and elevations, for location
4 away from neighbors on east or west side, and screened with a screening wall, as
5 approved by staff.

6 13. Vents, gutters, downspouts, flashing, electrical conduits, etc., shall be painted to match the
7 color of the adjacent surface, unless otherwise approved by the Planning Division. **(PLNG)**

8 **LANDSCAPING**

9 14. Prior to issuance of a building permit, the following issues shall be addressed in the final
10 elevations for approval by Planning Division staff: **(PLNG)**

11 a. Indicate on Sheets C1 and L-1, the treatment and height of the retaining walls which
12 should be intended to blend with the hillside.

13 b. Update Landscape Plan, Sheet L-1 to specify fencing detail. View fence with open
14 wire is only allowed fence at hillside properties.

15 15. Submit Final Landscape Plans prepared by a Landscape Architect, registered by the State of
16 California, for review and approval with the Grading or Building Plans, whichever comes first.
17 The Plans shall be reviewed for conformance with all applicable standards of the Concord
18 Development Code, Article IV, Division 4 (Landscaping) and Division 5 (Water Efficient
19 Landscaping), prior to issuance of a grading or building permit. **(PLNG)**

20 16. Final Landscape Plans shall be drawn on or consistent with the Grading, Utility, and
21 Stormwater Plans prepared by the Civil Engineer, with the following information:

22 a. A legend that lists all plant species (Latin and common name), including size,
23 quantities, spacing, and ultimate height and width.

24 b. Utility and Grading information on the base map, screened back.

25 c. Trees (minimum size 24-inch box) and shrubs (minimum 5-gallon; accent or sub-
26 shrubs may be 1-gallon).

27 d. Root control barriers and four-inch perforated pipes for parking lot trees, street trees,
28 and trees within 6 inch of any paved area, sidewalk or curb.

29 e. **Fence location specified on plans.**

30 f. **Addition of shrubs/groundcover such as rosemary or similar designed to flow over**
31 **proposed retaining walls. (PLNG/ENGR)**

32 17. All landscaping shall be installed prior to occupancy approval. Contact the Planning Division
33 at least two weeks prior to requesting Occupancy, to request a site inspection of all exterior
34 improvements including buildings, driveways, parking lots, landscaping, irrigation, signs,
35 lighting, walls, fences, and trash enclosures. **(PLNG)**

36 18. Any vegetation damaged or destroyed by construction activities shall be replaced with like or
37 comparable plant materials, and if damage occurs off-site, the replacement plants shall be
38 approved by the property owner and the Planning Division, prior to occupancy approval.
(PLNG)

19. Landscape certification of installation, shall be submitted to the Planning Division, prior to certificate of occupancy (*PLNG*).

LIGHTING

20. Show all exterior lighting including: building fixtures, walkway lighting, parking lighting, and street lights on the Site, Utility, Landscape, and Building Plans, prior to the issuance of any permits. The height and style of fixtures shall be shown. Energy-saving fixtures shall be used and noted on the plans. Provide exterior lighting specification sheets. (*PLNG, ENGR, BLDG*)

21. All exterior building shall provide illumination for safety and shall be installed in a manner that is glare shielded and directed away from adjacent properties and right-of-ways. (*PLNG*)

PARKING

22. Two-car garages shall be a minimum of 20 ft. wide by 22 ft. deep with a minimum 16 ft. wide door opening or two nine-foot wide door openings. There shall be no encroachments (e.g., water heaters, stairways and doors) into the required area. Driveways shall conform to City standards and provide the required pedestrian path of travel. (*PLNG, ENGR*) CMC

STREET IMPROVEMENTS

23. **Construct improvements** along Holly Drive frontage at *private driveway*, as appropriate and subject to existing private roadway agreement(s), including but not limited to: driveway construction; pavement replacement; pavement widening; construction of concrete curb, gutter and sidewalk; ADA compliant concrete driveway approach; storm drainage system; conforms to existing improvements; and repair/replacement of deficient frontage improvements as determined by the City Engineer, prior to occupancy approval or Acceptance of Improvements. (*ENGR*)

24. Any trenching for underground utilities shall comply with the modified City Standard Detail S-17 for pavement repair and possible slurry placement. (*ENGR*)

25. Construct all public facilities in accordance with the current Americans with Disabilities Act (ADA), including driveways and curb ramps. (*ENGR*)

NOISE

26. Noise producing site preparation and construction activities shall be limited to the days and hours as set forth below:

Monday through Friday7:30 a.m. to 6:00 p.m.

Construction on Saturdays may be allowed only upon prior approval of an After Hours Permit by the Building, Engineering, and Planning Divisions. No changes to these construction hours shall be allowed without the prior written consent of the City. A contact person shall be available during all construction activities in the evening and on weekends to respond to complaints and take actions necessary to reduce noise. (*BLDG, ENGR, PLNG*)

1 **CONSTRUCTION ACTIVITIES**

- 2 27. Contact Engineering Services to arrange for a Pre-Construction Meeting prior to issuance of
3 Grading, Improvement/Encroachment or Building Permits, whichever comes first. *(ENGR)*
- 4 28. Implement a dust and construction noise control plan. Submit the plan to Engineering Services
5 for review and approval prior to issuance of the Grading Permit. *(ENGR)*
- 6 29. Construction equipment shall not be serviced at the site at any time. During construction no
7 deliveries shall be made to the site and no delivery vehicles (including gasoline tanker trucks)
8 shall enter the site between 6:00 p.m. and 7:30 a.m. on weekdays or on weekends and federal
9 holidays. Delivery vehicles shall have their engines turned off during unloading. *(BLDG,*
10 *ENGR, PLNG)*
- 11 30. Employ the quietest construction equipment available, to muffle noise from construction
12 equipment and keep all mufflers in good working order in accordance with State law. *(BLDG,*
13 *ENGR, PLNG)*
- 14 31. Implement the following measures during construction:
- 15 a. Gather all construction debris on a regular basis and place them in a dumpster or other
16 container that is emptied or removed on a weekly basis. When appropriate, use tarps on
17 the ground to collect fallen debris or splatters that could contribute to storm water
18 pollution.
 - 19 b. Remove all dirt, gravel, rubbish, refuse, and green waste from the street pavement, and
20 storm drains adjoining the project site. During wet weather, avoid driving vehicles off
21 paved areas.
 - 22 c. Broom sweep the public street pavement adjoining the project site on a daily basis.
23 Caked-on mud or dirt shall be scraped from these areas before sweeping.
 - 24 d. Install filter materials (e.g., sandbags and filter fabric) at the storm drain inlet nearest
25 the downstream side of the site in order to preclude any debris or dirt from flowing into
26 the City storm drain system. Filter materials shall be maintained and/or replaced as
27 necessary to ensure effectiveness and to prevent street flooding. Dispose of filter
28 particles in an approved trash receptacle.
 - e. Create a contained and covered area on the site for the storage of bags, cement, paints,
flammable, oils, fertilizers, pesticides, or any other materials used on the site that have
the potential for being discharged to the storm drain system by being windblown or in
the event of a material spill.
 - f. Never clean items such as machinery, tools, and brushes or rinse containers in a street,
gutter, or storm drain.
 - g. Ensure that concrete, gunite, plaster, or similar supply trucks do not discharge wash
water into street gutters or drains. *(ENGR, BLDG)*
32. No equipment shall be started or staging area be established on the streets or the site before or
after the specified hours of construction. *(ENGR, BLDG)*

- 1 33. Ensure that no debris or construction scrap material is placed on any adjoining lot, open space
2 area, or street, and that any such material stored on an adjoining site shall be completely
3 removed and the site cleaned, prior to occupancy approval. *(ENGR, BLDG)*
- 4 34. At no time shall campers, trailers, motor homes, or any other vehicle be used as living or
5 sleeping quarters on the construction site unless authorized for site security. *(ENGR, BLDG)*
- 6 35. Portable toilets used during construction shall be kept as far as possible from adjacent
7 properties and shall be emptied on a regular basis as necessary to prevent odor. *(ENGR,
8 BLDG)*
- 9 36. Identify truck routes for the import or export of cut/fill material and/or construction debris for
10 review and approval by the City Engineer prior to the issuance of permits. Repair any damage
11 to City streets (private and public) caused by activity associated with this project. *(ENGR)*
- 12 37. In the event of the encounter of subsurface materials suspected to be of an archaeological or
13 paleontological nature, all grading and/or excavation shall cease, the find shall be left
14 untouched, and the City Planning Division shall be immediately notified. The County Coroner
15 and the Native American Heritage Commission shall also be notified and the procedures
16 required in CEQA §15064.5 shall be followed. This requirement shall be noted on the Grading
17 and Building Plans, prior to issuance of permits. *(PLNG, ENGR, BLDG)*
- 18 38. In the above event, retain a qualified professional archaeologist certified by the Register of
19 Professional Archaeologists or paleontologist with a degree(s) in paleontology or geology, to
20 evaluate and make recommendations as to disposition, mitigation and/or salvage. The
21 recommendation shall be implemented before work may proceed. The applicant shall be
22 responsible for all costs associated with the professional investigation and implementation.
23 *(PLNG, ENGR, BLDG)*

24 CONSTRUCTION PLAN REVIEW/PRE-PERMIT REQUIREMENTS

- 25 39. The Improvement Plans shall show frontage improvements including but not limited to:
26 utilities, utility services, drainage improvements, curb, gutter and sidewalk per City Standard
27 Detail S-10, and driveway construction per City Standard Detail S-14 and repair/replacement
28 of deficient frontage improvements as determined by the City Engineer. Any unusable or
abandoned existing driveway shall be replaced with standard curb, gutter, and sidewalk per S-
10 above. Any trenching for utility installation shall comply with the modified City Standard
Detail S-17 for pavement repair and possible slurry placement. *(ENGR)*
40. The Improvement Plans shall show plan and profile of all proposed street, drainage and sewer
improvements and details for curb, gutter, sidewalk, other utilities and driveway construction.
(ENGR)
41. Design improvements in accordance with the City Standard Plans S-34 and S-36 for sight
distance, sidewalk, back up, fencing, geometrics at intersection and corner setback
requirements, prior to the Acceptance of Improvements. Plans shall be subject to review and
approval by Engineering Services. *(ENGR)*

1 42. Obtain an Encroachment Permit from the City prior to performing any work within the public
2 right-of-way or public easements. *(ENGR) CMC*

3 **GRADING/EROSION CONTROL/GEOLOGIC**

4 43. Submit a Geotechnical Report with the Grading Plans and Building Plans, pursuant to CMC
5 Section 94-51 and Section 86-73 that addresses and provides recommendations for grading,
6 drainage, walls, building foundations, and pavement structural sections. *(ENGR)*

7 44. All grading shall require a Grading and Drainage Plan prepared by a registered Civil Engineer,
8 a Soils Report prepared by a registered Geotechnical Engineer and receipt of a Grading Permit
9 approved by the City Engineer. The Grading Plans and Soils Report shall require review by
10 the City's Geotechnical consultant with all costs to be borne by the applicant. *(ENGR)*

11 45. Contour grading techniques shall be employed throughout the project to achieve a more
12 natural appearance, even where this will increase the amount of grading. Tops of cuts or toes
13 of fills adjacent to existing public rights-of-way or easements shall be set back two feet
14 minimum from said rights-of-way and easements. All cut-and-fill slopes in excess of five feet
15 in height shall be rounded both horizontally and vertically. *(ENGR)*

16 46. Grading or other work on adjacent properties shall require written approval from the affected
17 property owners. *(ENGR)*

18 47. On-site finish grading work shall require drainage to be directed away from all building
19 foundations at a minimum slope of 2 percent and a maximum slope of 20 percent toward
20 approved drainage facilities or swales. Non-paved drainage swales shall have a minimum
21 slope of 1 percent. *(ENGR)*

22 48. The project engineer shall inspect the finished grading and certify that it conforms to the
23 compaction and elevations shown on the Grading Plan and Soils Report. *(ENGR) CMC*

24 49. At all times seasonally appropriate erosion control measures shall be implemented per plans
25 approved by the City Engineer for all grading work at all times. Wet season measures shall be
26 in place October through April at a minimum and within 48 hours prior to any likely
27 precipitation event. At the time of approval of the Improvement and/or Grading Plans, an
28 approved Erosion Control Plan prepared by a registered Civil Engineer shall be filed with the
City Engineer. *(ENGR)*

43. All graded slopes and stockpiles of loose soil shall be hydromulched/hydroseeded by October
of any given year. During grading work, if rain is forecast, stop all grading work two days
before the rain forecast and implement BMPs to insure that the site is protected from erosion.
Area of construction activity that are not active and those that have been active and are not
scheduled to be disturbed for at least 14 days shall be hydromulch / hydroseeded. *(ENGR)*

44. Submit Grading, Erosion Control, Improvement State WDID verifying submittal of
Stormwater Pollution Prevention Plan (SWPPP) to the State and Stormwater Control Plans to
Engineering Services for review and approval prior to the issuance of Grading, Encroachment,

1 and Building Permits. Where applicable, evidence of compliance with the State General
2 Construction Permit shall be provided. *(ENGR) CMC*

3 52. Comply with the applicable provisions of the Grading Ordinance and the Storm Water
4 Management and Discharge Control Ordinance. *(ENGR) CMC*

5 **UTILITIES**

6 53. New electrical transformers shall be placed underground or screened from view. *(PLNG,*
7 *ENGR)*

8 54. No above ground utility facilities/structures shall be located in the public right-of-way.
9 *(ENGR)*

10 55. The City will not accept maintenance of private laterals. *(ENGR)*

11 56. All new utilities shall be constructed underground prior occupancy approval. *(ENGR)*

12 57. Comply with the City of Concord sewer design flow criteria and sewer construction
13 requirements of the Central Contra Costa Sanitary District. *(ENGR)*

14 58. Coordinate all facility adjustments, relocations, or additions to utility services with the
15 appropriate utility companies. *(ENGR)*

16 59. Utility areas, electrical and gas meters shall be architecturally screened from view. *(PLNG)*

17 60. The location of all outdoor, above-ground and/or at-grade pad mounted transformers, utility
18 equipment, electrical and gas meters, vaults, irrigation control boxes, back flow prevention
19 devices, and the like shall be subject to approval by Planning and Engineering Services prior
20 to the issuance of the Grading or Building Permit, whichever comes first. All such equipment
21 shall be screened from view either architecturally or with landscaping and painted forest green
22 or other approved color as approved by the Planning Division. Any changes to the approved
23 Utility Plans, including location or screening details shall be reviewed and approved by the
24 Planning Division. *(PLNG, ENGR)*

25 61. Provide cable companies a set of approved site diagrams in electronic format showing the joint
26 trench layout for dry utilities for cable service to be provided to the site. *(ENGR)*

27 62. Connect all buildings to the sanitary sewer collection facilities of the City, and pay all current
28 sewer connection and service fees prior to occupancy approval. *(ENGR) CMC*

63. Submit proof acceptable to Engineering Services that all work within the existing (new)
private waterline easement(s) are reviewed and approved by the easement owner of record.
(ENGR)

1 **DRAINAGE/STORMWATER C.3 REQUIREMENTS**

- 2 64. *Stormwater treatment areas have been integrated into the landscape design.* Bio-retention
3 areas are proposed, but not required for the single-family residence and the project would
4 create less than 10,000 square feet of impervious surface. Proposed downspouts will discharge
5 to integrated management practices within the landscaped areas, as proposed. *(ENGR)*
- 6 65. Prevent site drainage from draining across sidewalks and driveways in a concentrated manner.
7 *(ENGR)*
- 8 66. Install City of Concord “No Dumping, Drains to Creek” curb marker (English and Spanish
9 version) on all catch basins. *(ENGR)*
- 10 67. Submit a Construction Best Management Practice (BMP) Program for review and approval by
11 the Engineering Development Services Department prior to issuance of a Building and/or
12 Grading Permit. The general contractor and all subcontractors and suppliers of materials and
13 equipment shall implement these BMPs. Construction site cleanup and control of construction
14 debris shall also be addressed in this program. Failure to comply with the approved
15 construction BMP may result in the issuance of correction notices, citations, or a project stop
16 work order. *(ENGR)*
- 17 68. Ensure that the area surrounding the project such as the streets stay free and clear of
18 construction debris such as silt, dirt, dust, and tracked mud coming in from or in any way
19 related to project construction. Areas that are exposed for extended periods shall be watered
20 regularly to reduce wind erosion. Paved areas and access roads shall be swept on a regular
21 basis. All trucks shall be covered. *(ENGR)*

22 **SOLID WASTE/RECYCLING**

- 23 69. Comply with CMC Chapter 82, Solid Waste, Article V, Construction and Demolition (C&D)
24 Waste Recycling, Sections 82-114 through 82-126, as applicable. *(BLDG)*

25 **AGREEMENTS, FEES, BONDS**

- 26 70. All fees noted below are the fees currently in effect as of July 1, 2015 per the Resolution of
27 Fees and Charges (Fees may increase July 12, 2016). The fees and charges are reviewed
28 annually as part of the budget public hearing process. Fee adjustments are based on a number
of factors and vary depending on the type of fee:

Service-based fees are adjusted annually based on the San Francisco-San Jose-
Oakland Area Consumer Price Index;

Improvement based fees (also called impact fees) are adjusted annually based on
Engineering News Record Construction Cost Index (San Francisco Bay Area); and the

Parkland Fee is adjusted per Section 78-95 of the Concord Municipal Code.

1 The fees become effective as of the date set forth in Exhibit A of Resolution No. 78-6042,
2 Fees and Charges for Various Municipal Services, as most recently amended and approved by
3 the City Council. Persons interested in how a particular fee is calculated should contact the
4 City Department administering the fee or the Finance Department. **(ENGR)**

5 71. Provide a cash deposit to the Planning Division for 4 hours to cover Condition Compliance at
6 the time of submittal of plans and documents to Engineering Services or the Building Division
7 for plan check. Planning staff's time will be charged to this deposit for work performed to
8 implement the Conditions of Approval, from the time of project approval to occupancy
9 approval. The deposit will be placed in a refundable account and any unused funds will be
10 returned upon completion. If the initial deposit is insufficient to cover actual costs, an
11 additional deposit will be required. **(PLNG)**

12 72. Pay a Document Imaging fee to reimburse the City for implementation of the Document
13 Imaging and File Retention programs, prior to issuance of Grading, Improvement, Building or
14 other permits. Fee to be calculated upon project completion. **(PLNG)**

15 73. Encroachment Permit Application:

- 16 a. Pay the Filing Fee at the time of submittal of permit application, improvement plans
17 and supporting documents to City Engineering Services for review. The current fee is
18 **\$86.**
- 19 b. Provide a restoration security before issuance of the Encroachment Permit. The
20 security shall be in an amount sufficient to restore existing public improvements to a
21 serviceable condition should development improvement activity cause damage. The
22 amount of the security shall be determined by, and be in a form acceptable to the City
23 Engineer.
- 24 c. Provide a **\$5,000** cash deposit to cover Condition Compliance costs at the time of
25 submittal of plans and documents to Engineering Services for review. The deposit will
26 be placed in a refundable account. Condition Compliance/Mitigation Monitoring costs
27 will be charged to this deposit over the life of the project permit and mitigation
28 requirements. Any unused funds will be returned at project completion. If the initial
deposit is insufficient to cover actual costs, an additional deposit in an amount
determined by the City Engineer will be required. **(ENGR)**

74. Grading Permit Application:

- a. Pay Grading Permit Fees at submittal of a Grading Permit application. The current fee
is determined based on cubic yardage of cut and fill combined, or at the hourly rate of
\$172 if the hourly rate is used.
- b. Provide a **\$5,000** cash deposit for Erosion Control prior to issuance of Grading Permit.
The deposit will be placed in a refundable account. Any unused funds will be returned
at project completion. If the initial deposit is insufficient to cover actual costs, an
additional deposit in an amount determined by the City Engineer will be required.
- c. Pay Stockpile and Erosion Control Monitoring fee prior to issuance of Grading Permit.
The stockpile and erosion control monitoring fee is currently **\$23** per calendar day and
is collected for the life of the Grading Permit activity. **(ENGR)**

1 75. Minor Hillside Development Plan Application:

- 2 a. Pay the Drainage Acreage Fee prior to building permit issuance. The current fee is
3 **\$3,581/acre.** (Drainage Area 90)
4 d. Pay the Parkland Fee prior to prior to building permit issuance. The current fee is
5 **\$16,691** per living unit for low Density Designation.
6 e. Pay applicable fees for review of Storm Water Control O & M agreement and bio
7 retention facilities inspection.

8 76. Sewer Connection Permit:

- 9 a. Pay Sanitary Sewer connection fee. The current sewer connection fee is **\$5,043** per
10 single-family dwelling unit and shall be paid prior to occupancy permit.
11 b. Pay the current sewer service fee prior to occupancy permit. The current fee is **\$402** per
12 year and is pro-rated by the month that connection is made. (*ENGR*)

13 77. Traffic Mitigation Fee:

14 Pay Offsite Street Improvement Program (OSIP) fee less possible fee credit. The OSIP fee
15 shall be the fee in effect at the time of approval of the Minor Hillside Development Plan. The
16 current OSIP Fee is **\$3,251** per single-family dwelling unit and shall be paid prior to
17 occupancy permit. (*ENGR*)

18 **OTHER/MISCELLANEOUS**

- 19 78. Contact local postal authorities to get their requirements for mail facilities for the project. The
20 design and location of mail receptacles shall be reviewed and approved by the Planning
21 Division and shown on the Utility, Landscape, and Building Plans, prior to issuance of
22 Grading or Building Permits, whichever comes first. Mail facilities shall be installed prior to
23 occupancy approval. (*PLNG*)
24 79. Contact the Building Division, (925) 671-3107, for addressing requirements, and coordinate
25 with the Contra Costa County Fire Protection District for their approval, prior to issuance of a
26 Building Permit. (*PLNG*)
27 80. Comply with the requirements of the Contra Costa Water District, and as specified in letter
28 from District dated March 16, 2016. Submit complete sets of plans and specifications to the
CCWD for review and approval.
81. Comply with the requirements of the Contra Costa County Fire Protection District, and as
specified in letter from District dated June 9, 2016. Submit complete sets of plans and
specifications to the Fire District for review and approval at:

Contra Costa County Fire Protection District
2010 Geary Road
Pleasant Hill, CA 94523

1 Plan review fees are assessed at that time. The City is not responsible for the collection of fees
2 or enforcement of requirements imposed by the Fire District. *(CCCFIRE)*

3 82. The applicant shall defend, indemnify and hold harmless the City, its agents, officials, and
4 employees from any claim, action or proceeding brought by a third party to set aside, annul,
5 attack or otherwise void the permit. *(PLNG)*

6 83. The permit and approval shall expire one year from the date on which they became effective
7 unless construction permits are obtained and work has begun. The effective date of the permit
8 and approval is **July 13, 2016**. *(PLNG)*

9 84. A request for a time extension from the expiration date of **July 13, 2017** can be considered if
10 an application with required fee is filed at least 10 days before the original expiration date,
11 otherwise a new application is required. A public hearing will be required for all extension
12 applications, except those involving only Design Review. Extensions are not automatically
13 approved. Changes in conditions, City policies, surrounding neighborhood, and other factors
14 permitted to be considered under the law, may require, or permit denial. *(PLNG)*



**REGULAR MEETING OF THE
CITY OF CONCORD
DESIGN REVIEW BOARD**

**Thursday, June 9, 2016
5:30 p.m., Regular Meeting
PERMIT CENTER CONFERENCE ROOM
1950 Parkside Drive, Bldg. D**

Board Members Present: J. Moore, K. Shelby, R. Barbour, R. Wells
Board Members Absent: J. Laub
Staff Present: R. Lenhardt, J. Ryan
Audience Attendance: 5 people

SUMMARY MINUTES/ANNOTATED AGENDA

PUBLIC COMMENT PERIOD - None

ADDITIONS/CONTINUANCES/WITHDRAWALS - None

CONSENT CALENDAR

A. 5/26/16 Meeting Minutes

ACTION: *Approved with changes, 3-0-1. (Wells motioned, Shelby seconded, Barbour abstained.)*

STAFF REPORTS

- 1. Kamyshin Minor Hillside Development Plan (PL15005 – DR) – Joan Ryan @ (925) 671-3370.**

ACTION: *The Board was satisfied with the grading plan and the driveway details provided. The Board requested staff confirm the elevations with the grading plan at plan check.*

HEARINGS

- 1. Costa Hillside Residence (PL16204 – DR) – Design Review for a single-family residence measuring 3,189 sq. ft. on a 1.0-acre hillside lot at Holly Drive. The General Plan designation is Rural Residential; Zoning classification is RR-40 (Single Family Residential, 40,000 sq. ft. minimum lot size); APN: 117-060-035. Project Planner: Joan Ryan @ (925) 671-3370**

ACTION: *Recommended for approval 4-0 (Wells motioned, Shelby seconded, the applicant may submit staff an updated color board, consistent with alternate elevation presented.*

BOARD CONSIDERATIONS/ANNOUNCEMENTS - *None*

STAFF ANNOUNCEMENTS - *None*

ADJOURNMENT – *5:58 p.m. (4-0, Barbour motioned, Shelby seconded.)*

NEXT DESIGN REVIEW BOARD MEETINGS:

June 23, 2016

July 14, 2016



FICCADENTI WAGGONER and CASTLE
Structural Engineers
3100 Oak Road, Suite 200
Folsom, CA 95630
Phone: (916) 306-0099
FAX: (916) 306-0099

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New Costa Residence
Single Family Custom Home
Holly Drive
Concord, CA 94521



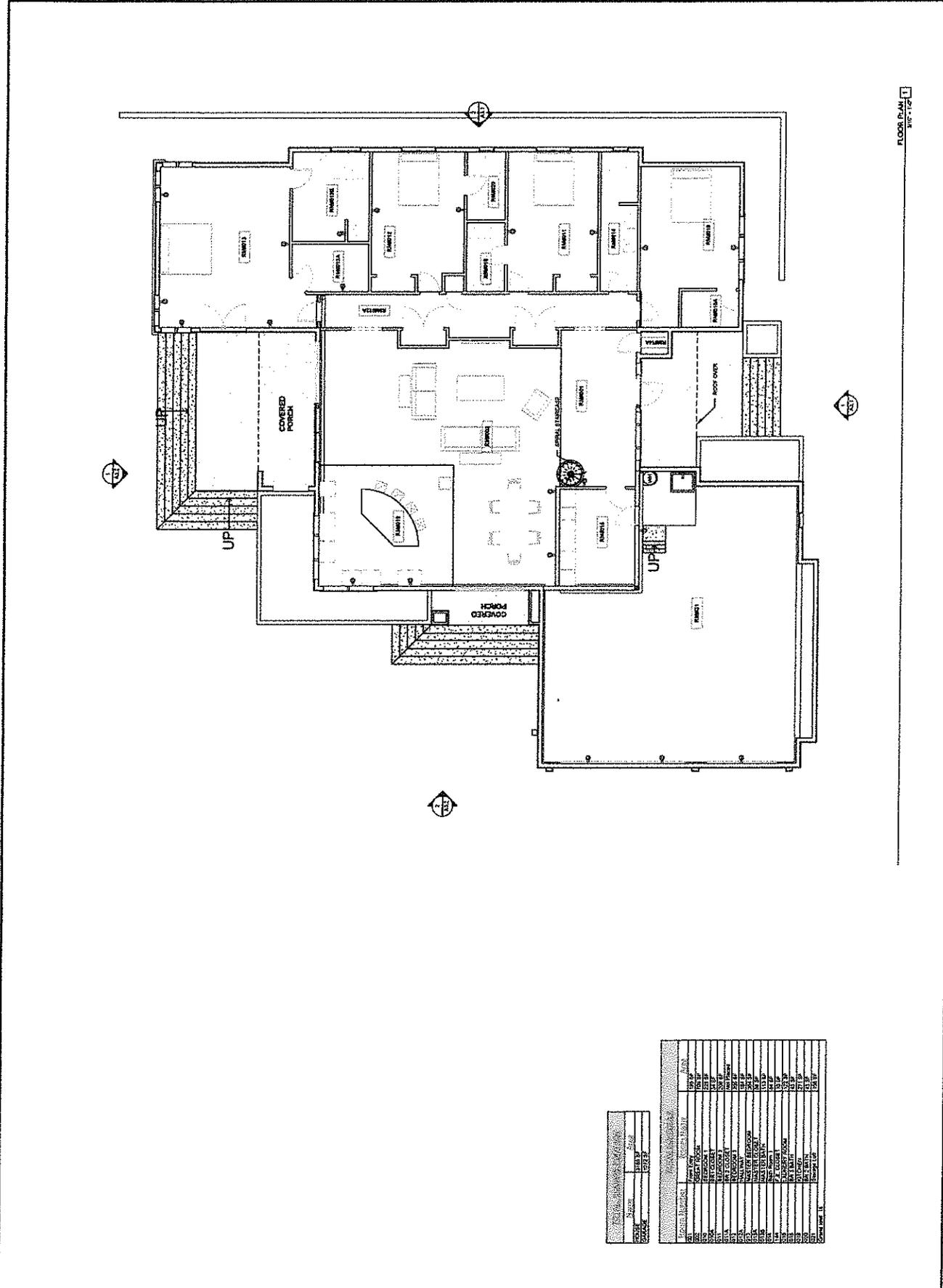
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DATE: 11/14/12
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CHECKED BY: UC
SCALE: AS SHOWN
SHEET TITLE: FLOOR PLAN

FLOOR PLAN

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PROJECT NO: B11002
SHEET NO: A2.1



FLOOR PLAN
B11002
A2.1

DATE	11/14/12
SCALE	AS SHOWN
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CHECKED BY	UC

NO.	DESCRIPTION	DATE
1	FOUNDATION	11/14/12
2	FLOOR PLAN	11/14/12
3	ROOF PLAN	11/14/12
4	SECTION 1	11/14/12
5	SECTION 2	11/14/12
6	SECTION 3	11/14/12
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8	SECTION 5	11/14/12
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www.fwcastle.com

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New Costa Residence
Single Family Custom Home
Holly Drive
Concord, CA 94521

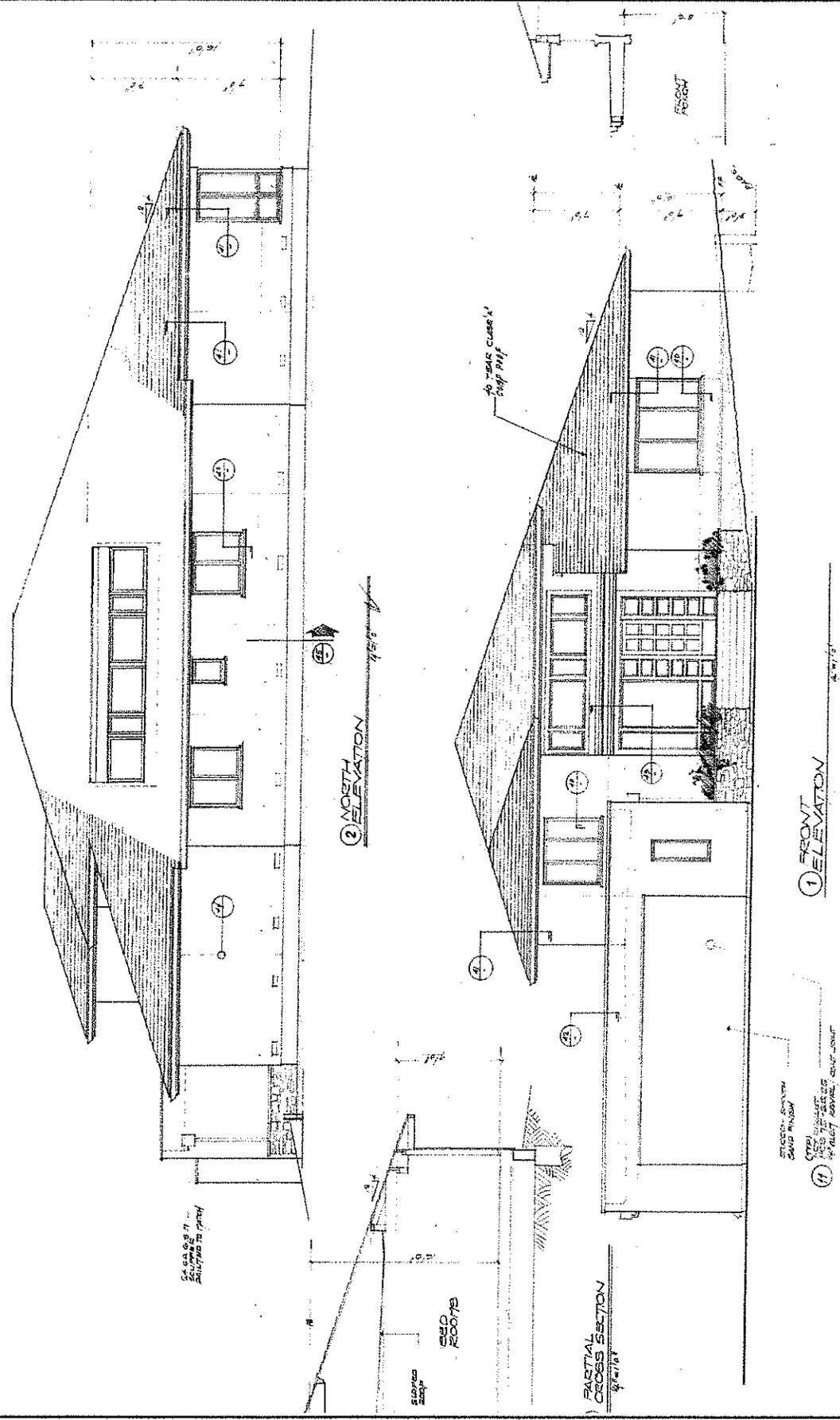


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② NORTH ELEVATION

① FRONT ELEVATION

PARTIAL CROSS SECTION
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SLOPED ROOF

STITCHED SHUTTER
SAND WINDOW
①
SEE PLAN FOR WINDOW
LOCATION ABOVE, OUTLINE

SEE PLAN FOR
SLOPED ROOF
LOCATION TO LEFT

TO "BEAR CLASH" SEE PLAN

AS NOTED





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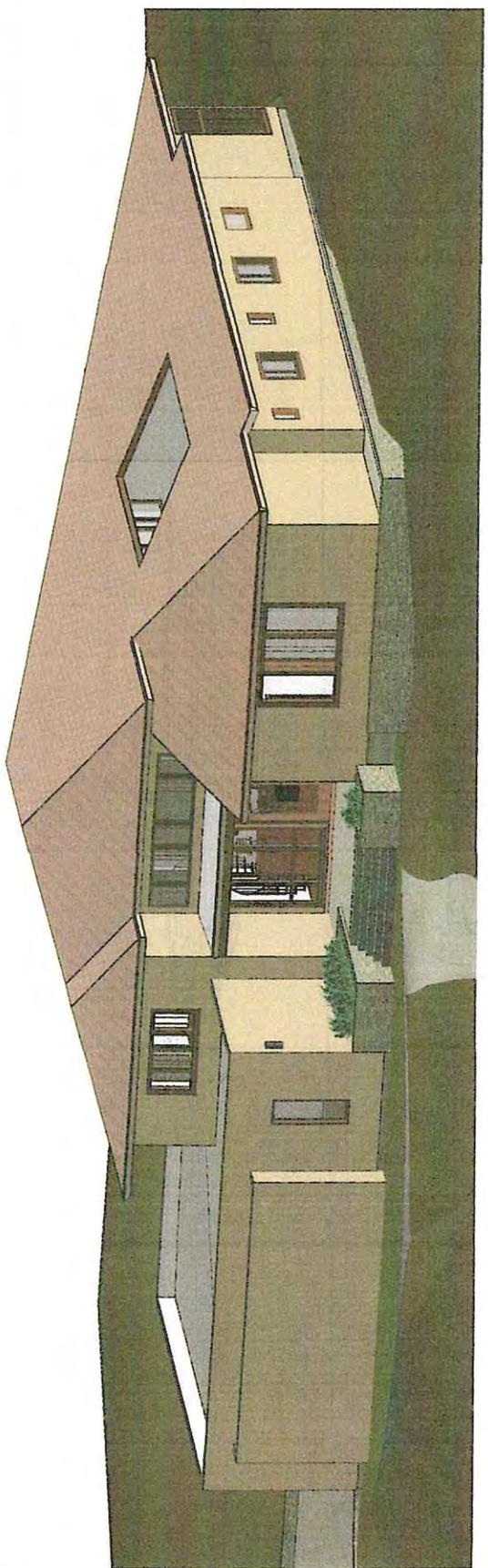
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DESIGNED BY: TEC
CHECKED BY: JEFF BERRY, DATE: 11/24/2010
DRAWN BY: JEFF BERRY, DATE: 11/24/2010

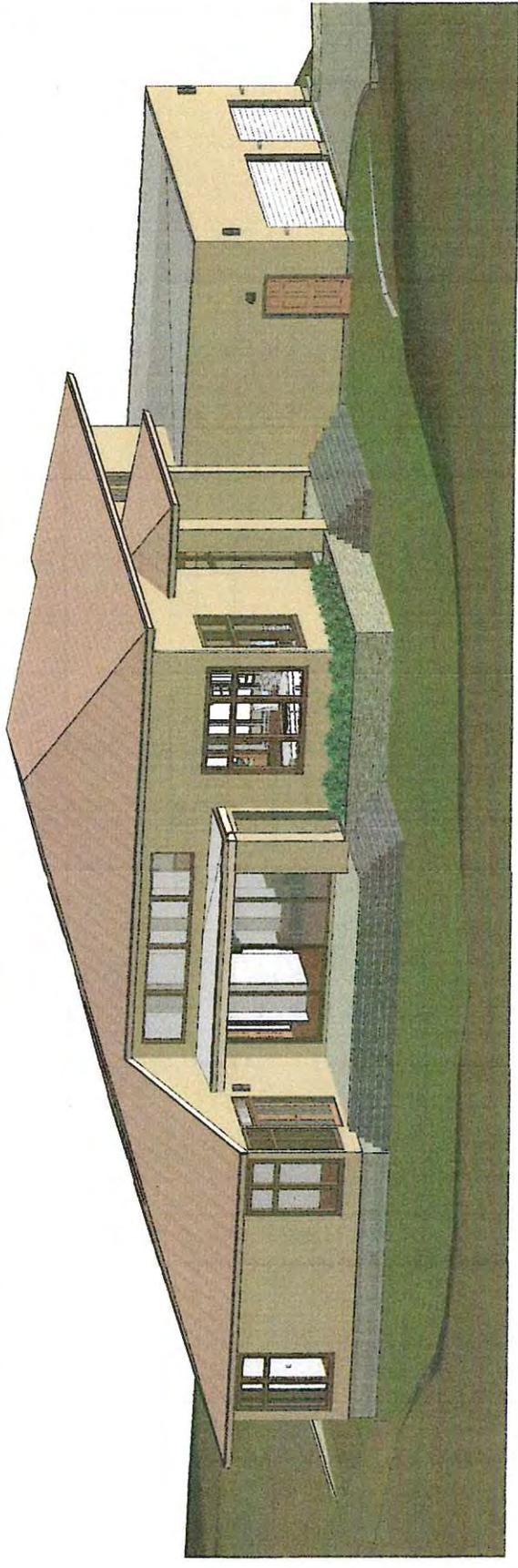
**ELEVATIONS -
PERSPECTIVE
VIEWS**

PROJECT NO.	PROJECT NAME	DATE	SCALE
B15-042			

DATE: 11/24/2010
A3.4



PERSPECTIVE VIEW - NORTHWEST CLOSE-UP [2]



PERSPECTIVE VIEW - SOUTHEAST CLOSE-UP [1]



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and CASTLE**
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Vincennes, CA 94591
Telephone: (925) 246-0799
www.fwcsl.com

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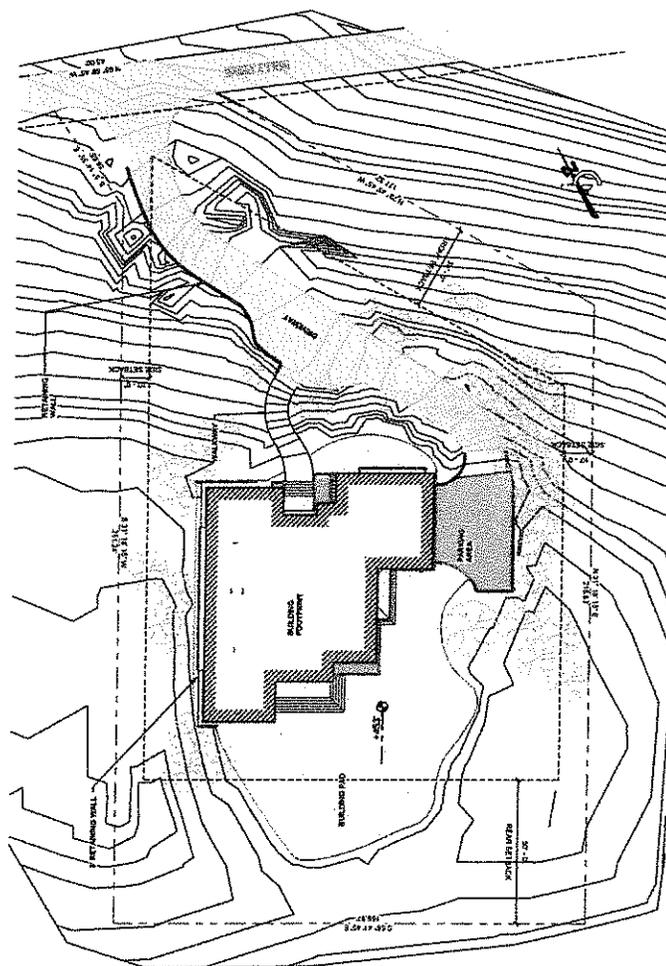


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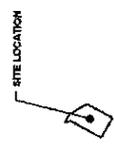
SITE PLAN

PROJECT #	815402
DATE	
PROJECT NAME	
PROJECT ADDRESS	
PROJECT CITY	
PROJECT COUNTY	
PROJECT STATE	
PROJECT ZIP	
PROJECT PHONE	
PROJECT FAX	
PROJECT E-MAIL	
PROJECT WEBSITE	
PROJECT URL	
PROJECT CONTACT	
PROJECT TITLE	

C1.0



PROPERTY INFORMATION	
PROPERTY ADDRESS	ADDRESS
CITY	CITY
STATE	STATE
ZIP	ZIP
LOT SIZE	15,000 SQ. FT.
PROPOSED BUILDING ON PROPERTY	1.5 BDRM. 1.5 BATH. SINGLE FAMILY HOME - ATTACHED GARAGE
TOTAL NUMBER FOOTPRINT AREA	4,000 SQ. FT.
PERCENTAGE OF LOT COVERED BY BUILDINGS	27%



WAGGONER

NO.	DATE	DESCRIPTION	BY

COLOR	RANGE BEG.	RANGE END	PERCENT	AREA
	0.00	9.99	31.1	13832.86
	10.00	14.99	17.5	7761.32
	15.00	19.99	9.8	4378.78
	20.00	24.99	12.0	5319.45
	25.00	29.99	14.7	6528.78
	30.00	34.99	12.1	5385.78
	35.00	39.99	1.6	892.99
	40.00	99.99	1.2	516.35

LEGEND

AVERAGE SLOPE CALCULATION

- 1) A - AREA OF PARCEL: 1.019 AC OR 44,000 SF
- 2) I - CONTOUR INTERVAL: 5 FT.
- 3) L - LENGTH OF CONTOUR LINES ON PARCEL:

ELEV	LENGTH (FT)
420	83
425	135
430	147
435	168
440	169
445	169
450	170
455	267
460	311
TOTAL	1619
SLOPE	18.23%
S = 100 x I / L	

