



REGULAR MEETING OF THE CITY OF CONCORD ZONING ADMINISTRATOR

9:00 a.m., Wednesday, November 12, 2014
CITY COUNCIL CHAMBERS
1950 Parkside Drive, Concord

AGENDA

PUBLIC COMMENT PERIOD

(The public may speak on any item within the jurisdiction of the Zoning Administrator not listed on this agenda. Approximately 15 minutes is allocated for the Public Comment Period, and each speaker will be allowed approximately 3 minutes.)

HEARINGS:

1. [Garaventa Minor Hillside Development Plan](#) (PL140258 – HM, DR) – Application for a Minor Hillside Development Plan and Design Review to construct a new single-family home on a 0.28-acre site at 4090 Browning Drive. The General Plan designation is Low Density Residential; Zoning classification is RS-12 (Single Family Residential, 12,000 sq. ft. minimum lot size); APN 130-410-021. Pursuant to the provisions of the California Environmental Quality Act (CEQA) of 1970, as amended, and pursuant to Section 15332 “In-fill Development Projects,” the project is classified as a Class 32 Categorical Exemption, and therefore, no further environmental review is required. **Project Planner: Jason Hade @ (925) 671-3281.**

ADJOURNMENT

Next Zoning Administrator’s Meeting: November 26, 2014

In accordance with the Americans with Disabilities Act and California Law, it is the policy of the City of Concord to offer its public programs, services and meetings in a manner that is readily accessible to everyone, including those with disabilities. If you are disabled and require a copy of a public hearing notice, or an agenda and/or agenda packet in an appropriate alternative format; or if you require other accommodation, please contact the ADA Coordinator at (925) 671-3257, at least five (5) days in advance of the hearing. Advance notification within this guideline will enable the City to make reasonable arrangements to ensure accessibility.

Correspondence and writings received within 72 hours of the scheduled Zoning Administrator meeting that constitute a public record under the Public Records Act concerning any matter on the agenda is available for inspection during normal business hours at the Permit Center located at 1950 Parkside Drive, Concord. For additional information contact the Planning Division at (925) 671-3152.

APPEALS

Decisions of the Zoning Administrator may be appealed to the Planning Commission. Appeals and the required filing fee must be filed with the City Clerk within ten (10) days of the decision.



REPORT TO ZONING ADMINISTRATOR

DATE: November 12, 2014

SUBJECT: Garaventa Minor Hillside Development Plan (PL140258-HM, DR)

Recommendation: Adopt Zoning Administrator Order No. 14-08ZA (Exhibit A), approving the Garaventa Minor Hillside Development Plan and Design Review application.

I. Introduction

A. Application Request

Minor Hillside Development Plan and Design Review application to construct a new single-family home on a 0.28-acre site.

B. Location

The project site is located at 4090 Browning Drive; APN 130-410-021.



C. Applicant/Owner

Robert Garaventa
5578 Merritt Court
Concord, CA 94521

II. Background

On July 7, 2014, Robert Garaventa submitted a Minor Hillside Development Plan and Design Review application for the construction of a single-family home at the subject site. The application was reviewed by the Development Advisory Committee (DAC) on August 5, 2014 and deemed incomplete. Revised plans were later submitted on September 8, 2014 and the project was deemed complete for processing by the DAC on September 29, 2014.

A neighborhood meeting was held on August 11, 2014 and attended by two persons. No concerns regarding the project were stated.

A preliminary review of the plans was conducted by the Design Review Board (DRB) on August 14 at which time the DRB expressed minor concerns regarding the lack of detail for the front elevation of the home and the need for 24-inch box size trees on the preliminary landscape plan. The applicant returned to the Board on October 9, 2014 with revised plans that included additional front elevation architectural features and 24-inch box size trees. After review of the revised plans, the DRB recommended design approval with minor additional changes which are outlined in Condition of Approval number 12. Staff suggests these items be reviewed by Planning staff prior to building permit issuance rather than the Board as they are limited in scope. Project plans are included as Exhibit B and photo-simulations are included as Exhibit C.

III. General Information

A. General Plan

The General Plan designation is Low Density Residential.

B. Zoning

The site is zoned RS-12 (Single-family residential; minimum 12,000 sq. ft. lot area).

C. CEQA Status

Staff recommends the Zoning Administrator consider the project as categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15332, Class 32, "In-fill Development Projects," based on the following criteria:

1. The project is consistent with the General Plan and Development Code, as further explained in this report. There is no Specific Plan applicable to the project site.

2. The project is located within City limits on a site less than five acres substantially surrounded by residential uses.
3. The project site has no value as habitat for endangered, rare or threatened species.
4. The project will not result in significant effects relating to traffic, noise, air quality, or water quality since the project is consistent with the density allowed under the General Plan.
5. The site can be adequately served by all required public utilities and public services.
6. There is no reasonable possibility that the proposed project will have a significant effect on the environment due to unusual circumstances.

D. Site Description

The project site consists of a 12,000 square foot lot with native grasses, small shrubs, and several unprotected small trees. This site slopes uphill fairly consistently at one foot for every approximately 10 feet of distance. The average slope is 17.5 percent. However, the average slope is skewed by the steeper slopes within the southwestern portion of the site. A Minor Hillside Development Plan is required because the average slope of 17.5 percent is slightly over 15 percent at which point the City’s Hillside Protection design criteria applies.

E. Surrounding Land Use

The project site is located on Browning Drive within a fully developed single-family subdivision.

| | Land Use | General Plan | Zoning |
|--------------|---------------------------|-------------------------|---------------|
| North | Single-Family Residential | Low Density Residential | RS-12 |
| South | Single-Family Residential | Low Density Residential | RS-12 |
| East | Single-Family Residential | Low Density Residential | RS-12 |
| West | Single-Family Residential | Low Density Residential | RS-12 |

IV. Project Description & Analysis

A. General Plan

The General Plan designates the site as Low Density Residential with an allowable density of up to ten dwelling units per net acre. The project is consistent with General Plan policies related to residential development, as discussed below.

- 1) *Support land use decisions that reinforce and capitalize on neighborhood strengths and benefit neighborhood identity and scale. (Policy LU-1.1.1)*

The project reinforces neighborhood identity and strengths by proposing a home which fits within the context of the surrounding neighborhood. The General Plan is implemented by the Development Code and the applicable zoning district. In this case, the development standards of RS-12 zoning regulate the size and scale of residential developments through restrictions on building height and lot coverage (i.e., the percentage of the site that can be developed with buildings). The project complies with the 30 feet building height and 25 percent lot coverage established by RS-12 zoning, and is thus consistent with the General Plan and appropriate for the neighborhood.

- 2) *Require new development in residential areas to preserve and enhance positive neighborhood characteristics. (Policy LU-1.1.2)*

The project preserves and enhances neighborhood characteristics by designing a home determined by the Design Review Board to be compatible with the neighborhood.

- 3) *Minimize cut-and-fill of natural hillsides. (Policy LU-11.1.4)*

The home is positioned to avoid the steepest areas of the lot located within the southwestern area of the site and is designed to follow the natural contours without extensive grading. Proposed grading includes 503 cubic yards of cut and 188 cubic yards of fill. The proposed driveway is approximately 37 feet deep with a downhill slope of 7.04 percent from the garage to Browning Drive.

B. Development Regulations

The project meets standards for lot area, lot coverage, setbacks, and building of RS-12 zoning (as noted in the table below), and all applicable requirements under the Development Code, Article IV, Development Standards.

| Standards | Required/Allowed | Proposed |
|-------------------------|---|-------------------------------------|
| Lot Area (minimum) | 12,000 sq. ft. | 12,197 sq. ft. |
| Lot Coverage | 25% | 25% |
| Yard Setbacks (minimum) | | |
| Front yard | 20 ft. | 20 ft. |
| Side yard | 10 ft. | 10-23 ft. |
| Rear yard | 20 ft. | 32 ft. |
| Building Height (max.) | 30 ft. | 27.5 ft. |
| Parking Spaces | 2 spaces total, minimum 2 enclosed garage spaces for 4 bedrooms or less | 5 spaces (2 enclosed garage spaces) |

C. Site Planning/Circulation/Parking

The proposed home would be served via a driveway connecting to Browning Drive.

The home would have a three-car garage and driveway apron to accommodate two additional parking spaces, for a total of five off-street parking spaces. Staff finds the site plan responsive to neighborhood constraints and opportunities because the project has been designed to fit within the context of the surrounding land use pattern.

D. Minor Hillside Development Plan

Pursuant to Concord Municipal Code Section 18.445.040.C, the Zoning Administrator takes action on the Minor Hillside Development Plan, and must make the findings listed below in order to approve the development plan.

Staff analysis on how the project meets each finding is provided.

1. *The design, scale, massing, height, and siting of the project is compatible with the site and consistent with the character and scale of the surrounding developed neighborhood.*

The project was recommended for approval by the Design Review Board and is consistent with the applicable development standards within the Development Code. As proposed the scale and height of the new home is similar to those within the surrounding neighborhood.

2. *The design and site layout of the project respects and protects the natural environment to the maximum extent feasible.*

The proposed site plan minimizes grading by avoiding the steepest areas of the project site and follows the natural contours to the extent feasible.

3. *The site grading is sensitive to the hillside site, minimizes tree removal, and provides safe site access.*

Staff finds the proposed site plan and grading are consistent with the Hillside Protection design criteria. As noted above, the home is positioned to avoid the steepest areas of the lot located within the southwestern area of the site and is designed to follow the natural contours without extensive grading. Moreover, the average slope of 17.5 percent is slightly over 15 percent at which point the City's Hillside Protection design criteria applies. Proposed grading includes 503 cubic yards of cut and 188 cubic yards of fill. The proposed driveway would provide safe site access and is approximately 37 feet deep with a downhill slope of 7.04 percent from the garage to Browning Drive. No protected trees are proposed to be removed.

4. *The project is consistent with the General Plan, and meets the development standards of*

the applicable zoning district and the hillside development and design standards.

The proposal is consistent with the applicable General Plan policies identified in Section IV.A above and RS-12 zoning district development standards discussed in detail under Section IV.B above. The Hillside Protection design criteria within the City's Development Code require that development be designed to fit the terrain rather than altering the terrain to fit the development. Development patterns which require excessive cuts or fill are to be avoided. Split-level foundations, low retaining walls, and terraces are encouraged. The proposed development plan is consistent with these requirements.

5. *The project screens development to the extent feasible through clustering and/or avoidance of highly visible hillsides, ridgelines, and knolls.*

The project site does not contain any highly visible hillsides, ridgelines, or knolls.

6. *The project incorporates adequate access, public services, and utilities.*

Safe access would be provided via a driveway connecting to Browning Drive and sufficient public services and utilities exists within the project area to serve the proposed project. The City's Engineering Division as well as the Contra Costa County Fire Protection District have reviewed the project and recommend approval subject to the conditions of approval included within Exhibit A.

E. Building Architecture

The Design Review Board recommended approval of the project on October 8, 2014 following revisions to the project's design to address four-sided architecture, specifically additional front elevation architectural details. As part of the Board's recommendation, a number of specific architectural details, such as wider columns on the front and rear elevations, were recommended to be brought back to the Board for further review prior to building permit issuance. As these changes are minor, staff recommends that Planning staff review them prior to building permit issuance rather than the Board.

The proposed residence is two-stories high measuring approximately 27.5 feet tall at the front elevation and approximately 26 feet tall at the rear elevation. It has a sloped concrete tile roof, stone veneer, and horizontal siding similar to what can be found on existing homes throughout the neighborhood. As proposed, the home is 3,984 square feet, has four bedrooms and a three car garage. A 328 square foot covered porch is proposed for the front elevation.

F. Landscaping/Fencing

The landscape plan shows landscaping within the front yard area only. The palette includes three 24-inch box size Queen Palms, one five-gallon Red Crape Myrtle, one five-gallon Violet Crape Myrtle, a wide variety of shrub types, and two species of groundcover. All of the existing trees are proposed to be removed. No protected trees would be removed as there are

none located at the subject site. Pursuant to the Board's recommendation, the final landscape plan shall reflect 24-inch box sizes for all proposed trees.

Proposed fencing is consistent with the Hillside Protection development standards as it is located within the interior portion of the site and does not affect hillside views on or off the site. The proposed retaining walls would not exceed a height of three-feet and would be stepped and screened with landscaping consistent with the Hillside Protection retaining wall design criteria.

G. Design and Site Development Review

The Zoning Administrator must make the findings listed below to approve the Design Review application. Staff analysis on how the project meets each finding is provided.

1. The project is consistent with the General Plan.

The project is consistent with the General Plan as explained in Section IV-A above.

2. The project meets the following criteria in Section 18.415.080.

(a) The building design and landscaping supports public safety and security by allowing for surveillance of the street by people inside buildings and elsewhere on the site.

The project would orient the home toward Browning Drive to allow for surveillance of the street within the home.

(b) The design is compatible with the historical or visual character of any area recognized by the City as having such character.

The area is not recognized as a historical, architectural, or scenic area by the City.

(c) The project design preserves major view and vistas along major streets and open spaces and trails and enhances them by providing project amenities.

The site plan minimizes grading by avoiding the steepest areas of the project site and following the natural site contours. The site is not near any open space or trail.

(d) The proposed lighting and fixtures are designed to complement on-site buildings, are of an appropriate scale for the development, and provide adequate light for safety and security while minimizing glare.

Exterior lighting would be residential in type and character to minimize glare.

(e) All mechanical, electrical, and utility equipment is located, screened, or incorporated into the design of the buildings so as not to be visible from off-site, and screening devices are consistent with the exterior colors and materials of the buildings.

The project conditions require final details of mechanical, electrical, and utility equipment to be shown on building permit plans to ensure they are located behind fencing or screened so as not to be visible from off-site.

- (f) *The overall design of the project, including its scale, massing, site plan, exterior design, and landscaping, enhances the appearance and features of the project site and surrounding natural and built environment.*

Design changes have been made to ensure the project is appropriate for the surrounding built environment, including its scale, massing, site plan, and exterior design. These changes, which were recommended for approval by the Design Review Board, include design enhancements such as additional front elevation architectural details to create visual interest.

- (g) *The project design is appropriate to the function of the project and will provide an attractive and comfortable environment for occupants, visitors, and the general community.*

The project includes the following design features to enhance the functionality of the proposed homes and the attractiveness and comfort of occupants, visitors, and the general community: off-street parking in excess of what is required by Code; and landscaping that provides screening and shade.

- (h) *The architectural details, colors, materials, and landscaping are internally consistent, fully integrated with one another, and used in a manner that is visually consistent with the proposed architectural design.*

The project meets the criteria because similar building materials and colors would be used within the home, and a unifying landscape palette will be used for the entire project site.

- (i) *The project is compatible with neighboring development in the same Zoning District by avoiding large differences in building scale and character and provides a harmonious transition between the proposed project and surrounding development.*

The project meets the criteria and avoids large differences in building scale and character because it complies with RS-12 development standards, which allow for larger homes than what is proposed by the project or what exists in the immediate area.

- (j) *The project creates an attractive and visually interesting built environment with a variety of building styles and designs, well-articulated structures that present varied building facades, rooflines, and building heights within a unifying context.*

The project meets the criteria and creates an attractive and visually interesting built environment featuring varied roof forms, front elevation architectural details such as gables, stone veneer, and horizontal siding, and a mix of building materials that create interesting textures and a quality look to the home.

- (k) *The landscaping is compatible with and enhances the architectural character of the buildings and site features, and blends with the surrounding landscape. Landscape elements complement the buildings and rooflines through color, texture, density, and form. Landscaping is in scale with on-site and off-site buildings, and plantings have been selected and located to avoid conflicts with views, lighting, infrastructure, utilities, and signage.*

The Design Review Board has reviewed the landscape plan and determined that it is compatible with the building architecture.

- (l) *Stormwater treatment areas have been integrated into the landscape design.*

Bio-retention areas are not required as the project would create less than 10,000 square feet of impervious surface. Proposed downspouts would discharge to splash blocks and drain to the landscaped areas.

- (m) *New construction does not need to match existing surrounding development or buildings; however, the design shall complement or enhance existing development.*

The project would match surrounding homes and enhance the neighborhood's design vernacular by implementing four-sided design.

3. *The project is consistent with all applicable Design Guidelines adopted by the City Council that are in effect at the time of approval.*

Concord's Community Design Guidelines were adopted by the City Council in 1987. Most of the recommendations contained in the Guidelines pertain to larger commercial or multi-family developments, where the potential for differences in scale and operational compatibility between sites and uses is greater. The Guidelines also contain recommendations for single-family developments that the project complies with, as follows:

- Exterior building colors and materials consist of earth tone colors, stone, and other materials that are compatible with the neighborhood;
- The home is sited and designed with a functional relationship to the site and street, and in compliance with setbacks to provide accessible and usable yard areas;

- Front yard setback reinforces a spacious suburban character and consistent streetscape;
 - Elevations facing exterior side yard areas will be designed with the same quality as the front elevation;
 - The project provides emergency access as required by Contra Costa County Fire Protection District;
 - Building lighting design is compatible with the architecture and will be operated at levels consistent with lighting in the area;
 - Perimeter fencing will be constructed of durable high quality wood material;
 - Required off-street parking is provided for the home.
4. *The orientation, location, and elevation of the buildings and structures and site improvements are compatible with and are aesthetically harmonious with adjacent development or the character of the neighborhood.*

The project would be harmonious with the pattern of existing homes oriented towards Browning Drive, and would use an architectural style that the Design Review Board found to be aesthetically compatible with homes in the neighborhood.

5. *Landscaping, irrigation systems, walls and fences, or features to conceal outdoor activities, utility enclosures, and trash facilities meet current requirements or provide a significant upgrade and improvement to the site and the appearance of the neighborhood.*

New landscaping designed to meet current requirements would result in a significant improvement to existing site conditions and a visual upgrade to the neighborhood in general.

6. *Parking, pedestrian access, and traffic circulation are adequate or improved for all modes of circulation.*

The project meets this finding because it would include safe site access via a driveway connecting to Browning Drive and a sidewalk currently exists along the project frontage to provide pedestrian access.

V. **Fiscal Impact**

The proposed would have a negligible fiscal impact on the City.

VI. Public Contact

Notification was mailed to all owners and occupants of property within three-hundred (300) feet of the subject parcel, and has been published in the Contra Costa Times, as required by the Concord Municipal Code. This item has also been posted at the Civic Center and at the subject site at least 10 days prior to the public hearing.

VII. Summary and Recommendations

Staff finds the project to be consistent with the General Plan and the Development Code. The project has also been reviewed by the Design Review Board and found to be consistent with the applicable design criteria. Although the Design Review Board recommended that the project return to them prior to building permit issuance to review the following recommended changes: a. Hip roof section above garage; b. Enhance the double-windows above the garage; c. Include wider columns on the front and rear elevations; d. Reduce the size of the fixed side lights; e. Incorporate additional details and architectural features into the front entryway; f. Hip gable over rear porch; g. Include window over bathtub (bath 3); and h. Use two-tone stucco colors, staff considers these to be minor changes to the project that do not affect the findings or the project approval and instead recommends that these items be reviewed at the staff level prior to issuance of a building permit as shown in Condition of Approval number 12. Staff recommends the Zoning Administrator open the public hearing, consider the staff report and presentation by the applicant, the public testimony, and close the hearing upon completion of public testimony. Staff further recommends the Zoning Administrator adopt Zoning Administrator Order No. 14-08ZA approving the Garaventa Minor Hillside Development Plan.

Prepared by:



Jason R. Hade, AICP
Associate Planner

(925) 671-3281

jason.hade@cityofconcord.org

Exhibits:

- A - Zoning Administrator Order No. 14-08ZA and Draft Conditions (Attachment A)
- B - Project plans date-stamped received September 8, 2014
- C - Photo-simulations date-stamped received September 8, 2014

ZA ORDER NO. 14-08

**OFFICE OF THE ZONING ADMINISTRATOR
CITY OF CONCORD
APPROVING
Owner/Applicant: Robert Garaventa
Project Name: Garaventa Minor Hillside Development Plan**

WHEREAS, on July 7, 2014, Robert Garaventa, (“Applicant”) submitted an application for a Minor Hillside Development Plan and Design Review to construct a single-family home on a 0.28-acre site located at 4090 Browning Drive, APN130-410-021; and

WHEREAS, on September 29, 2014, the application was deemed complete for processing; and

WHEREAS, the application was duly noticed pursuant to the Concord Municipal Code; and

WHEREAS, the subject proposal is consistent with the General Plan; and

WHEREAS, pursuant to the provisions of the California Environmental Quality Act (CEQA) of 1970, as amended, and pursuant to Section 15332, Class 32, “In-fill Development Projects,” the project is Categorically Exempt, and therefore no further environmental review is required because:

- a. The project is consistent with the General Plan and Development Code, as further explained in finding 4, below. There is no Specific Plan applicable to the project site.
- b. The project occurs within City limits on a site less than five acres substantially surrounded by residential uses. The project site is 0.28-acres and surrounded by single-family residential land uses.
- c. The project site has no value as habitat for endangered, rare or threatened species as it has been previously disturbed and is surrounded by development in an urban setting.
- d. The project will not result in significant effects relating to traffic, noise, air quality, or water quality since the project is consistent with the density allowed under the General Plan. As noted, traffic, noise, air quality, and water quality impacts were previously analyzed as part of the environmental review process for the City’s

1 General Plan. The proposed project will be implemented consistent with the
2 General Plan.

- 3 e. The site can be adequately served by all required public utilities and public service
4 as fire protection services would be provided by the Contra Costa County Fire
5 Protection District, water service by the Contra Costa Water District, and sewer
6 service by the City of Concord. All of these service providers have confirmed their
7 ability to serve the proposed project site.
- 8 f. The project does not present unusual circumstances.
- 9 g. There is no reasonable possibility that the proposed project will have a significant
10 effect on the environment due to unusual circumstances.
- 11 h. The determination that a categorical exemption applies to the project reflects the
12 independent judgment and analysis of the City as the lead agency.

13 **NOW, THEREFORE, BE IT RESOLVED** that the Zoning Administrator does hereby
14 approve the Garaventa Minor Hillside Development Plan (PL140258 – HM, DR) subject to the
15 attached Conditions of Approval referenced in Attachment A, based on the following findings:

16 Minor Hillside Development Plan

- 17 1. *The design, scale, massing, height, and siting of the project is compatible with the site*
18 *and consistent with the character and scale of the surrounding developed neighborhood.* The
19 project was recommended for approval by the Design Review Board and is consistent with the
20 applicable development standards within the Development Code. As proposed, the scale and
21 height of the new home is similar to those within the surrounding neighborhood.
- 22 2. *The design and site layout of the project respects and protects the natural environment*
23 *to the maximum extent feasible.* The proposed site plan minimizes grading by avoiding the
24 steepest areas of the project site and follows the natural contours to the extent feasible.
- 25 3. *The site grading is sensitive to the hillside site, minimizes tree removal, and provides*
26 *safe site access.* The proposed site plan and grading are consistent with the Hillside Protection
27 design criteria. The home is positioned to avoid the steepest areas of the lot located within the
28

1 southwestern area of the site and is designed to follow the natural contours without extensive
2 grading. Moreover, the average slope of 17.5 percent is over 15 percent at which point the
3 City's Hillside Protection design criteria applies. Proposed grading includes 503 cubic yards
4 of cut and 188 cubic yards of fill. The proposed driveway will provide safe site access and is
5 approximately 37 feet deep with a downhill slope of 7.04 percent from the garage to Browning
6 Drive. No protected trees are proposed to be removed.

7 4. *The project is consistent with the General Plan, and meets the development standards*
8 *of the applicable zoning district and the hillside development and design standards.* The
9 proposal is consistent with the applicable General Plan policies and RS-12 zoning district
10 development standards. The Hillside Protection design criteria within the City's Development
11 Code require that development be designed to fit the terrain rather than altering the terrain to
12 fit the development. The project, as designed, will not utilize excessive cuts or fill. The
13 project has identified up to three low retaining walls for construction which is consistent with
14 the Hillside Development requirements of the Development Code and is consistent with the
15 applicable General Plan policies.

16 5. *The project screens development to the extent feasible through clustering and/or*
17 *avoidance of highly visible hillsides, ridgelines, and knolls.* The project site does not contain
18 any highly visible hillsides, ridgelines, or knolls.

19 6. *The project incorporates adequate access, public services, and utilities.* Safe access
20 will be provided via a driveway connecting to Browning Drive and sufficient public services
21 and utilities exists within the project area to serve the proposed project. The City's
22 Engineering Division as well as the Contra Costa County Fire Protection District have
23 reviewed the project and recommend approval subject to the conditions of approval included
24 within Exhibit A.

25 Design Review

26 7. *The project is consistent with the General Plan.* The project is consistent with the
27 General Plan as explained in Finding #4 above.

1 8. *The project meets the following criteria in Section 18.415.080.*

2 (a) *The building design and landscaping supports public safety and security by*
3 *allowing for surveillance of the street by people inside buildings and elsewhere on the*
4 *site. The project will orient the home toward Browning Drive to allow for surveillance*
5 *of the street within the home.*

6 (b) *The design is compatible with the historical or visual character of any area*
7 *recognized by the City as having such character. The area is not recognized as a*
8 *historical, architectural, or scenic area by the City.*

9 (c) *The project design preserves major view and vistas along major streets and*
10 *open spaces and trails and enhances them by providing project amenities. The site plan*
11 *minimizes grading by avoiding the steepest areas of the project site and following the*
12 *natural site contours. The site is not near any open space or trail.*

13 (d) *The proposed lighting and fixtures are designed to complement on-site*
14 *buildings, are of an appropriate scale for the development, and provide adequate light*
15 *for safety and security while minimizing glare. Exterior lighting will be residential in*
16 *type and character to minimize glare.*

17 (e) *All mechanical, electrical, and utility equipment is located, screened, or*
18 *incorporated into the design of the buildings so as not to be visible from off-site, and*
19 *screening devices are consistent with the exterior colors and materials of the buildings.*
20 The project conditions require final details of mechanical, electrical, and utility
21 equipment to be shown on building permit plans to ensure they are located behind
22 fencing or screened so as not to be visible from off-site.

23 (f) *The overall design of the project, including its scale, massing, site plan,*
24 *exterior design, and landscaping, enhances the appearance and features of the project*
25 *site and surrounding natural and built environment. Design changes have been made*
26 *to ensure the project is appropriate for the surrounding built environment, including its*
27 *scale, massing, site plan, and exterior design. These changes, which were*
28

1 recommended for approval by the Design Review Board, include design enhancements
2 such as additional front elevation architectural details to create visual interest.

3 *(g) The project design is appropriate to the function of the project and will*
4 *provide an attractive and comfortable environment for occupants, visitors, and the*
5 *general community.* The proposed single-family home includes appropriate design
6 features such as landscaping, roof overhangs, and off-street parking. These features
7 will enhance functionality, attractiveness, and comfort of occupants, visitors, and the
8 general community.

9 *(h) The architectural details, colors, materials, and landscaping are internally*
10 *consistent, fully integrated with one another, and used in a manner that is visually*
11 *consistent with the proposed architectural design.* The project meets the criteria
12 because similar building materials and colors will be used within the home, and a
13 unifying landscape palette will be used for the entire project site.

14 *(i) The project is compatible with neighboring development in the same Zoning*
15 *District by avoiding large differences in building scale and character and provides a*
16 *harmonious transition between the proposed project and surrounding development.*
17 The project meets the criteria and avoids large differences in building scale and
18 character because it complies with RS-12 development standards, which allow for
19 larger homes than what is proposed by the project or what exists in the immediate area.

20 *(j) The project creates an attractive and visually interesting built environment*
21 *with a variety of building styles and designs, well-articulated structures that present*
22 *varied building facades, rooflines, and building heights within a unifying context.* The
23 project meets the criteria and creates an attractive and visually interesting built
24 environment featuring varied roof forms, front elevation architectural details such as
25 gables, stone veneer, and horizontal siding, and a mix of building materials that create
26 interesting textures and a quality look to the home.

27 *(k) The landscaping is compatible with and enhances the architectural character*
28

1 *of the buildings and site features, and blends with the surrounding landscape.*
2 *Landscape elements complement the buildings and rooflines through color, texture,*
3 *density, and form. Landscaping is in scale with on-site and off-site buildings, and*
4 *plantings have been selected and located to avoid conflicts with views, lighting,*
5 *infrastructure, utilities, and signage. The Design Review Board has reviewed the*
6 *landscape plan and determined that it is compatible with the building architecture,*
7 *enhances the site and its surroundings, and designed to avoid conflicts with views,*
8 *lighting, infrastructure and utilities.*

9 *(l) Stormwater treatment areas have been integrated into the landscape design.*
10 *Bio-retention areas are not required as the project would create less than 10,000 square*
11 *feet of impervious surface. Proposed downspouts will discharge to splash blocks and*
12 *drain to the landscaped areas.*

13 *(m) New construction does not need to match existing surrounding development*
14 *or buildings; however, the design shall complement or enhance existing development.*
15 *The project will match surrounding homes and enhance the neighborhood's design*
16 *vernacular by implementing four-sided design.*

17 9. *The project is consistent with the following standards of the Design Guidelines adopted*
18 *by the City Council:*

- 19 • Exterior building colors and materials consist of earth tone colors, stone, and
20 other materials that are compatible with the neighborhood;
- 21 • The home is sited and designed with a functional relationship to the site and
22 street, and in compliance with setbacks to provide accessible and usable yard areas;
- 23 • Front yard setback reinforces a spacious suburban character and consistent
24 streetscape;
- 25 • Elevations facing exterior side yard areas will be designed with the same
26 quality as the front elevation;

- 1 • The project provides emergency access as required by Contra Costa County
- 2 Fire Protection District;
- 3 • Building lighting design is compatible with the architecture and will be
- 4 operated at levels consistent with lighting in the area;
- 5 • Perimeter fencing will be constructed of durable high quality wood material;
- 6 • Required off-street parking is provided for the home.

7 *10. The interrelationship between the orientation, location, and elevations of buildings and*
8 *structures and site improvements are mutually compatible and aesthetically harmonious.* The
9 project will be harmonious with the pattern of existing homes oriented towards Browning
10 Drive, and will use an architectural style that the Design Review Board found to be
11 aesthetically compatible with homes in the neighborhood.

12 *11. Landscaping, irrigation systems, walls and fences, or features to conceal outdoor*
13 *activities, utility enclosures, and trash facilities meet current requirements or provide a*
14 *significant upgrade and improvement to the site and the appearance of the neighborhood.*
15 New landscaping designed to meet current requirements will result in a significant
16 improvement to existing site conditions and a visual upgrade to the neighborhood in general.

17 *12. Parking, pedestrian access, and traffic circulation are adequate or improved for all*
18 *modes of circulation.* The project meets this finding because it will include safe site access via
19 a driveway connecting to Browning Drive and a sidewalk currently exists along the project
20 frontage to provide pedestrian access.

21
22 Based on the above findings, on November 12, 2014, the Zoning Administrator approved said
23 application subject to the attached Conditions of Approval, referenced as Attachment A.

24 //
25 //
26 //

26 _____
27 G. Ryan Lenhardt
28 Zoning Administrator

27 Attachments: A – Draft Conditions of Approval
28

**ATTACHMENT A
DRAFT CONDITIONS OF APPROVAL
GARAVENTA MINOR HILLSIDE DEVELOPMENT PLAN
PL140258
4090 BROWNING DRIVE
APN: 130-410-021**

PERMIT DESCRIPTION

1. These Conditions of Approval apply to and constitute the approval of a **Minor Hillside Development Plan** consisting of *one single-family home on 0.28 acres*.
2. These Conditions apply to and constitute approval of **Design Review** for *building architecture and landscaping*.
3. The following Exhibits, date stamped received by the City of Concord, on September 8, 2014, are approved and shall be incorporated as Conditions of Approval.

| <u>Plan</u> | <u>Date Prepared</u> | <u>Prepared by</u> | <u>Sheet</u> |
|-----------------------------------|----------------------|---|--------------|
| Site Plan | 9/4/14 | De Jesus and Alatorre Architects | A1 |
| Level 1 Partition Plan | 9/4/14 | De Jesus and Alatorre Architects | A2 |
| Level 2 Partition Plan | 9/4/14 | De Jesus and Alatorre Architects | A3 |
| Elevations | 9/4/14 | De Jesus and Alatorre Architects | A4 – A5 |
| Conceptual Renderings | 9/4/14 | De Jesus and Alatorre Architects | A6 |
| Grading, Drainage, & Utility Plan | 9/3/14 | APEX Civil Engineering & Land Surveying | C1-C2 |
| True Cross Sections | 9/3/14 | APEX Civil Engineering & Land Surveying | C3 |
| Slope Density Map | 9/3/14 | APEX Civil Engineering & Land Surveying | C4 |
| Erosion Control Plan | 9/3/14 | APEX Civil Engineering & Land Surveying | C5 |
| Final Landscape Plan | 9/5/14 | James Swanson | L1 |
| Landscape Details | 9/5/14 | James Swanson | L2 |

GENERAL CONDITIONS

4. The Conditions are the responsibility of the applicant and all contractors. Compliance shall occur as specified in the Conditions or at one of the following project milestones:

- (a) With the submittal of Grading, Improvement, Landscape, or Building Plans.
- (b) Prior to issuance of Encroachment, Grading, or Building Permits, whichever comes first.
- (c) Prior to Construction.
- (d) On going during Construction.
- (e) Prior to approval of the Final Map.
- (f) Prior to occupancy approval.

If timing for compliance is not specified, it shall be determined by the Divisions listed after the Condition. **(PLNG, BLDG, ENGR)**

5. Where a plan or further information is required, it is subject to review and approval by the applicable City Department/Division, as noted at the end of each Condition. The Division listed first shall be the primary contact for implementation of that Condition. **(PLNG, BLDG, ENGR)**
6. The project shall comply with all applicable Federal and State laws and Concord Municipal Code (CMC) requirements. **(PLNG, BLDG, ENGR)**
7. Minor modifications that are found to be in substantial conformance with the approved plans such as colors, plant materials, or minor lot line adjustments, may be approved administratively. Major modifications shall be approved by the applicable decision making body. **(PLNG, ENGR)**
8. The Conditions of Approval shall be listed on a plan sheet that is included in the construction plan set (Grading, Utility, Landscape and Building Plans). **(PLNG, ENGR)**
9. Two annotated copies of the Conditions of Approval specifying how each applicable condition has been satisfied, shall be submitted as follows:
 - a. At the time Grading, Utility, Landscape, and/or Building Plans are submitted for plan check, whichever comes first.
 - b. Prior to occupancy approval. **(PLNG, ENGR)**
10. The project site and area surrounding the site shall be fenced and maintained in a weed and litter free condition for the period prior to construction. **(BLDG, PLNG)**
11. For projects that abut residential uses, the perimeter fence shall be installed within two weeks from completion of site demolition or grading work in the area of the fence/wall. If the fence at an abutting residential property is planned for removal, or if an existing residential property does not have a fence, the replacement perimeter fence/wall shall be completed within two weeks from removal of the original fence, unless otherwise approved by the Planning Division. **(PLNG, ENGR)**

ARCHITECTURAL

12. Prior to issuance of a building permit, the following issues shall be addressed in the final elevations for approval by Planning Division staff: **(PLNG)**

- a. Hip roof section above garage;
- b. Enhance the double-windows above the garage;
- c. Include wider columns on the front and rear elevations;
- d. Reduce the size of the fixed side lights;
- e. Incorporate additional details and architectural features into the front entryway;
- f. Hip gable over rear porch;
- g. Include window over bathtub (bath 3); and
- h. Use two-tone stucco colors.

13. Vents, gutters, downspouts, flashing, electrical conduits, etc., shall be painted to match the color of the adjacent surface, unless otherwise approved by the Planning Division. *(PLNG)*

LANDSCAPING

14. Submit Landscape Project Application (LPA) prepared by a Landscape Architect, registered by the State of California, for review and approval with the Grading or Building Plans, whichever comes first. The LPA shall be reviewed for conformance with all applicable standards of the Concord Development Code, Article IV, Division 4 (Landscaping) and Division 5 (Water Efficient Landscaping), prior to issuance of a grading or building permit. *(PLNG)*

15. Submit Final Landscape Plans prepared by a Landscape Architect, registered by the State of California, for review and approval with the Grading or Building Plans, whichever comes first. The Plan shall be drawn on or consistent with the Grading, Utility, and Stormwater Plans prepared by the Civil Engineer, with the following information:

- a. A legend that lists all plant species (Latin and common name), including size, quantities, spacing, and ultimate height and width.
- b. Utility and Grading information on the base map, screened back.
- c. Trees (minimum size 24-inch box) and shrubs (minimum 5-gallon; accent or sub-shrubs may be 1-gallon).
- d. Root control barriers and four-inch perforated pipes for parking lot trees, street trees, and trees within 6 inch of any paved area, sidewalk or curb. *(PLNG/ENGR)*

16. All landscaping shall be installed prior to occupancy approval. Contact the Planning Division at least two weeks prior to requesting Occupancy, to request a site inspection of all exterior improvements including buildings, driveways, parking lots, landscaping, irrigation, signs, lighting, walls, fences, and trash enclosures. *(PLNG)*

17. Any vegetation damaged or destroyed by construction activities shall be replaced with like or comparable plant materials, and if damage occurs off-site, the replacement plants shall be approved by the property owner and the Planning Division, prior to occupancy approval. *(PLNG)*

LIGHTING

18. Show all exterior lighting including: building fixtures, walkway lighting, parking lot lighting, and street lights on the Site, Utility, Landscape, and Building Plans, prior to the issuance of

any permits. The height and style of fixtures shall be shown. Energy-saving fixtures shall be used and noted on the plans. *(PLNG, ENGR, BLDG)*

19. All exterior building and parking lot lighting shall provide illumination for safety and shall be installed in a manner that is glare shielded and directed away from adjacent properties and right-of-ways. *(PLNG)*

PARKING

20. Two-car garages shall be a minimum of 20 ft. wide by 22 ft. deep with a minimum 16 ft. wide door opening or two nine-foot wide door openings. There shall be no encroachments (e.g., water heaters, stairways and doors) into the required area. *(PLNG) CMC*

STREET IMPROVEMENTS

21. Construct improvements along the frontage on *Browning Drive* including but not limited to: driveway removal; pavement replacement 2.5 feet wide measured perpendicular from face of proposed curb; pavement widening; concrete valley gutter; wheel chair ramps; construction of concrete curb, gutter and sidewalk; ADA compliant concrete driveway approach; storm drainage system; conforms to existing improvements; and repair/replacement of deficient frontage improvements as determined by the City Engineer, prior to occupancy approval or Acceptance of Improvements. *(ENGR)*
22. Any trenching for underground utilities shall comply with the modified City Standard Detail S-17 for pavement repair and possible slurry placement. *(ENGR)*
23. Construct all public facilities in accordance with the current Americans with Disabilities Act (ADA), including driveways and curb ramps. *(ENGR)*

NOISE

24. Noise producing site preparation and construction activities shall be limited to the days and hours as set forth below:

Monday through Friday 7:30 a.m. to 6:00 p.m.

Construction on Saturdays may be allowed only upon prior approval of an After Hours Permit by the Building, Engineering, and Planning Divisions. No changes to these construction hours shall be allowed without the prior written consent of the City. A contact person shall be available during all construction activities in the evening and on weekends to respond to complaints and take actions necessary to reduce noise. *(BLDG, ENGR, PLNG)*

CONSTRUCTION ACTIVITIES

25. Contact Engineering Services to arrange for a Pre-Construction Meeting prior to issuance of Grading, Improvement/Encroachment or Building Permits, whichever comes first. *(ENGR)*

- 1 26. Implement a dust and construction noise control plan. Submit the plan to Engineering Services
2 for review and approval prior to issuance of the Grading Permit. *(ENGR)*
- 3 27. Construction equipment shall not be serviced at the site at any time. During construction no
4 deliveries shall be made to the site and no delivery vehicles (including gasoline tanker trucks)
5 shall enter the site between 6:00 p.m. and 7:30 a.m. on weekdays or on weekends and federal
6 holidays. Delivery vehicles shall have their engines turned off during unloading. *(BLDG,*
7 *ENGR, PLNG)*
- 8 28. Employ the quietest construction equipment available, to muffle noise from construction
9 equipment and keep all mufflers in good working order in accordance with State law. *(BLDG,*
10 *ENGR, PLNG)*
- 11 29. Implement the following measures during construction:
- 12 a. Gather all construction debris on a regular basis and place them in a dumpster or other
13 container that is emptied or removed on a weekly basis. When appropriate, use tarps on
14 the ground to collect fallen debris or splatters that could contribute to storm water
15 pollution.
 - 16 b. Remove all dirt, gravel, rubbish, refuse, and green waste from the street pavement, and
17 storm drains adjoining the project site. During wet weather, avoid driving vehicles off
18 paved areas.
 - 19 c. Broom sweep the public street pavement adjoining the project site on a daily basis.
20 Caked-on mud or dirt shall be scraped from these areas before sweeping.
 - 21 d. Install filter materials (e.g., sandbags and filter fabric) at the storm drain inlet nearest
22 the downstream side of the site in order to preclude any debris or dirt from flowing into
23 the City storm drain system. Filter materials shall be maintained and/or replaced as
24 necessary to ensure effectiveness and to prevent street flooding. Dispose of filter
25 particles in an approved trash receptacle.
 - 26 e. Create a contained and covered area on the site for the storage of bags, cement, paints,
27 flammable, oils, fertilizers, pesticides, or any other materials used on the site that have
28 the potential for being discharged to the storm drain system by being windblown or in
the event of a material spill.
 - f. Never clean items such as machinery, tools, and brushes or rinse containers in a street,
gutter, or storm drain.
 - g. Ensure that concrete, gunite, plaster, or similar supply trucks do not discharge wash
water into street gutters or drains. *(ENGR, BLDG)*
30. No equipment shall be started or staging area be established on the streets or the site before or
after the specified hours of construction. *(ENGR, BLDG)*
31. Ensure that no debris or construction scrap material is placed on any adjoining lot, open space
area, or street, and that any such material stored on an adjoining site shall be completely
removed and the site cleaned, prior to occupancy approval. *(ENGR, BLDG)*
32. At no time shall campers, trailers, motor homes, or any other vehicle be used as living or
sleeping quarters on the construction site unless authorized for site security. *(ENGR, BLDG)*

- 1 33. Portable toilets used during construction shall be kept as far as possible from adjacent
2 properties and shall be emptied on a regular basis as necessary to prevent odor. (*ENGR,*
BLDG)
- 3 34. Identify truck routes for the import or export of cut/fill material and/or construction debris for
4 review and approval by the City Engineer prior to the issuance of permits. Repair any damage
5 to City streets (private and public) caused by activity associated with this project. (*ENGR*)
- 6 35. In the event of the encounter of subsurface materials suspected to be of an archaeological or
7 paleontological nature, all grading and/or excavation shall cease, the find shall be left
8 untouched, and the City Planning Division shall be immediately notified. The County Coroner
9 and the Native American Heritage Commission shall also be notified and the procedures
10 required in CEQA §15064.5 shall be followed. This requirement shall be noted on the Grading
11 and Building Plans, prior to issuance of permits. (*PLNG, ENGR, BLDG*)
- 12 36. In the above event, retain a qualified professional archaeologist certified by the Register of
13 Professional Archaeologists or paleontologist with a degree(s) in paleontology or geology, to
14 evaluate and make recommendations as to disposition, mitigation and/or salvage. The
15 recommendation shall be implemented before work may proceed. The applicant shall be
16 responsible for all costs associated with the professional investigation and implementation.
17 (*PLNG, ENGR, BLDG*)

18 **CONSTRUCTION PLAN REVIEW/PRE-PERMIT REQUIREMENTS**

- 19 37. The Improvement Plans shall show frontage improvements including but not limited to:
20 utilities, utility services, drainage improvements, curb, gutter and sidewalk per City Standard
21 Detail S-10, and driveway construction per City Standard Detail S-14 and repair/replacement
22 of deficient frontage improvements as determined by the City Engineer. Any unusable or
23 abandoned existing driveway shall be replaced with standard curb, gutter, and sidewalk per S-
24 10 above. Any trenching for utility installation shall comply with the modified City Standard
25 Detail S-17 for pavement repair and possible slurry placement. (*ENGR*)
- 26 38. The Improvement Plans shall show plan and profile of all proposed street, drainage and sewer
27 improvements and details for curb, gutter, sidewalk, other utilities and driveway construction.
28 (*ENGR*)
39. Design improvements in accordance with the City Standard Plans S-34 and S-36 for sight
distance, sidewalk, back up, fencing, geometrics at intersection and corner setback
requirements, prior to the Acceptance of Improvements. Plans shall be subject to review and
approval by Engineering Services. (*ENGR*)
40. Obtain an Encroachment Permit from the City prior to performing any work within the public
right-of-way or public easements. (*ENGR*) *CMC*

GRADING/EROSION CONTROL/GEOLOGIC

- 1 41. Submit a Geotechnical Report with the Grading Plans and Building Plans, pursuant to CMC
2 Section 94-51 and Section 86-73 that addresses and provides recommendations for grading,
3 drainage, walls, building foundations, and pavement structural sections. *(ENGR)*
- 4 42. All grading shall require a Grading and Drainage Plan prepared by a registered Civil Engineer,
5 a Soils Report prepared by a registered Geotechnical Engineer and receipt of a Grading Permit
6 approved by the City Engineer. The Grading Plans and Soils Report shall require review by
7 the City's Geotechnical consultant with all costs to be borne by the applicant. *(ENGR)*
- 8 43. Contour grading techniques shall be employed throughout the project to achieve a more
9 natural appearance, even where this will increase the amount of grading. Tops of cuts or toes
10 of fills adjacent to existing public rights-of-way or easements shall be set back two feet
11 minimum from said rights-of-way and easements. All cut-and-fill slopes in excess of five feet
12 in height shall be rounded both horizontally and vertically. *(ENGR)*
- 13 44. Grading or other work on adjacent properties shall require written approval from the affected
14 property owners. *(ENGR)*
- 15 45. On-site finish grading work shall require drainage to be directed away from all building
16 foundations at a minimum slope of 2 percent and a maximum slope of 20 percent toward
17 approved drainage facilities or swales. Non-paved drainage swales shall have a minimum
18 slope of 1 percent. *(ENGR)*
- 19 46. The project engineer shall inspect the finished grading and certify that it conforms to the
20 compaction and elevations shown on the Grading Plan and Soils Report. *(ENGR) CMC*
- 21 47. At all times seasonally appropriate erosion control measures shall be implemented per plans
22 approved by the City Engineer for all grading work at all times. Wet season measures shall be
23 in place October through April at a minimum and within 48 hours prior to any likely
24 precipitation event. At the time of approval of the Improvement and/or Grading Plans, an
25 approved Erosion Control Plan prepared by a registered Civil Engineer shall be filed with the
26 City Engineer. *(ENGR)*
- 27 48. All graded slopes and stockpiles of loose soil shall be hydromulched/hydroseeded by October
28 of any given year. During grading work, if rain is forecast, stop all grading work two days
before the rain forecast and implement BMPs to insure that the site is protected from erosion.
Area of construction activity that are not active and those that have been active and are not
scheduled to be disturbed for at least 14 days shall be hydromulch / hydroseeded. *(ENGR)*
49. Submit Grading, Erosion Control, Improvement State WDID verifying submittal of
Stormwater Pollution Prevention Plan (SWPPP) to the State and Stormwater Control Plans to
Engineering Services for review and approval prior to the issuance of Grading, Encroachment,
and Building Permits. Where applicable, evidence of compliance with the State General
Construction Permit shall be provided. *(ENGR) CMC*
50. Comply with the applicable provisions of the Grading Ordinance and the Storm Water
Management and Discharge Control Ordinance. *(ENGR) CMC*

1 **UTILITIES**

- 2 51. New electrical transformers shall be placed underground or screened from view. *(PLNG,*
3 *ENGR)*
- 4 52. No above ground utility facilities/structures shall be located in the public right-of-way.
5 *(ENGR)*
- 6 53. Dedicate to the City a 15 foot wide sanitary sewer easement (along all main sewer lines
7 outside of the public street right-of-way) for construction and maintenance purposes prior to
8 recording of the Parcel Map or Building occupancy approval whichever comes first. The City
9 will not accept maintenance of building laterals. *(ENGR)*
- 10 54. All new utilities shall be constructed underground prior occupancy approval. *(ENGR)*
- 11 55. Comply with the City of Concord sewer design flow criteria and sewer construction
12 requirements of the Central Contra Costa Sanitary District. *(ENGR)*
- 13 56. Coordinate all facility adjustments, relocations, or additions to utility services with the
14 appropriate utility companies. *(ENGR)*
- 15 57. Utility areas, electrical and gas meters shall be architecturally screened from view. *(PLNG)*
- 16 58. The location of all outdoor, above-ground and/or at-grade pad mounted transformers, utility
17 equipment, electrical and gas meters, vaults, irrigation control boxes, back flow prevention
18 devices, and the like shall be subject to approval by Planning and Engineering Services prior
19 to the issuance of the Grading or Building Permit, whichever comes first. All such equipment
20 shall be screened from view either architecturally or with landscaping and painted forest green
21 or other approved color as approved by the Planning Division. Any changes to the approved
22 Utility Plans, including location or screening details shall be reviewed and approved by the
23 Planning Division. *(PLNG, ENGR)*
- 24 59. Provide cable companies a set of approved site diagrams in electronic format showing the joint
25 trench layout for dry utilities for cable service to be provided to the site. *(ENGR)*
- 26 60. Connect all buildings to the sanitary sewer collection facilities of the City, and pay all current
27 sewer connection and service fees prior to occupancy approval. *(ENGR) CMC*
- 28 61. Submit proof acceptable to Engineering Services that all work within the existing (new)
private waterline easement(s) are reviewed and approved by the easement owner of record.
(ENGR)

26 **DRAINAGE/STORMWATER C.3 REQUIREMENTS**

- 27 62. Submit a Stormwater Control Plan (SWCP) prepared in accordance with the current Contra
28 Costa Clean Water Program Stormwater C.3 Guidebook for review and approval by

1 Engineering Services prior to issuance of any permit. The SWCP shall be prepared and
2 certified by a Civil Engineer, registered in the State of California, demonstrating an
3 understanding of the design of treatment measures for water quality and groundwater
4 protection principles applicable to the project site. *(ENGR)*

5 63. Prior to issuance of permits for building, site improvements, or landscaping, applicant shall
6 submit a permit application consistent with the applicant's approved Stormwater Control Plan
7 (SWCP), and include drawings and specifications necessary for construction of site design
8 features, measures to limit directly connected impervious area, pervious pavements, self-
9 retaining areas, treatment BMP's, permanent source control BMP's, and other features that
10 control stormwater flow and potential stormwater pollutants. The Contra Costa Clean Water
11 Program permit application shall include a completed "Construction Plan C.3 Checklist" as
12 described in the Stormwater C.3 Guidebook, and a detailed draft Stormwater BMP Operation
13 and Maintenance Plan consistent with the general O&M plan included in the applicant's
14 approved Stormwater Control Plan. Guidelines for the preparation of Stormwater BMP
15 Operation and Maintenance Plans are in the Stormwater C.3 Guidebook. *(ENGR)*

16 64. Construct stormwater treatment measures per the approved SWCP prior to occupancy
17 approval. *(ENGR)*

18 65. Submit a final Stormwater BMP Operation and Maintenance Plan (O&M Plan) in accordance
19 with City of Concord Guidelines, for review and approval by Engineering Services, prior to
20 occupancy approval. This O&M Plan shall incorporate City comments on the draft O&M Plan
21 and any revisions resulting from changes made during construction. The implementation of
22 the O&M Plan shall be the responsibility of the property owner or the HOA where one exists.
23 *(ENGR)*

24 66. Execute any agreements identified in the SWCP which pertain to the transfer of ownership,
25 right-of-entry for inspection or abatement, and/or long-term maintenance of stormwater
26 treatment or hydrograph modification BMPs, prior to occupancy approval. *(ENGR)*

27 67. Prevent site drainage from draining across sidewalks and driveways in a concentrated manner.
28 *(ENGR)*

68. Install City of Concord "No Dumping, Drains to Creek" curb marker (English and Spanish
version) on all catch basins. *(ENGR)*

69. Submit a Construction Best Management Practice (BMP) Program for review and approval by
the Engineering Development Services Department prior to issuance of a Building and/or
Grading Permit. The general contractor and all subcontractors and suppliers of materials and
equipment shall implement these BMPs. Construction site cleanup and control of construction
debris shall also be addressed in this program. Failure to comply with the approved
construction BMP may result in the issuance of correction notices, citations, or a project stop
work order. *(ENGR)*

70. Ensure that the area surrounding the project such as the streets stay free and clear of
construction debris such as silt, dirt, dust, and tracked mud coming in from or in any way
related to project construction. Areas that are exposed for extended periods shall be watered

1 regularly to reduce wind erosion. Paved areas and access roads shall be swept on a regular
2 basis. All trucks shall be covered. *(ENGR)*

3 **SOLID WASTE/RECYCLING**

4 71. Comply with CMC Chapter 82, Solid Waste, Article V, Construction and Demolition (C&D)
5 Waste Recycling, Sections 82-114 through 82-126, as applicable. *(BLDG)*

6 72. Design and implement City approved Source Reduction/Recycling Plan and demonstrate that
7 interior and exterior refuse enclosures have been sufficiently designed and located for the
8 storage and pick up of recyclable materials in accordance with CMC Section 82-83, Source
9 Reduction and Recycling, prior to issuance of a Building Permit. *(PW)*

10 73. Trash bins and refuse shall be stored within approved trash enclosure and the doors shall be
11 closed at all times except when the bins are being emptied. *(NS)*

12 **AGREEMENTS, FEES, BONDS**

13 74. All fees noted below are the fees currently in effect as of July 1, 2014 per the Resolution of
14 Fees and Charges. The fees and charges are reviewed annually as part of the budget public
15 hearing process. Fee adjustments are based on a number of factors and vary depending on the
16 type of fee:

17 **Service-based fees** are adjusted annually based on the San Francisco-San Jose-
18 Oakland Area Consumer Price Index;

19 **Improvement based fees** (also called impact fees) are adjusted annually based on
20 Engineering News Record Construction Cost Index (San Francisco Bay Area); and the

21 **Parkland Fee** is adjusted per Section 78-95 of the Concord Municipal Code.

22 The fees become effective as of the date set forth in Exhibit A of Resolution No. 78-6042,
23 Fees and Charges for Various Municipal Services, as most recently amended and approved by
24 the City Council. Persons interested in how a particular fee is calculated should contact the
25 City Department administering the fee or the Finance Department. *(ENGR)*

26 75. Provide a **\$2,500** cash deposit to the Planning Division to cover Condition Compliance at the
27 time of submittal of plans and documents to Engineering Services or the Building Division for
28 plan check. Planning staff's time will be charged to this deposit for work performed to
implement the Conditions of Approval, from the time of project approval to occupancy
approval. The deposit will be placed in a refundable account and any unused funds will be
returned upon completion. If the initial deposit is insufficient to cover actual costs, an
additional deposit will be required. *(PLNG)*

76. Pay a Document Imaging fee to reimburse the City for implementation of the Document
Imaging and File Retention programs, prior to issuance of Grading, Improvement, Building or
other permits. *(PLNG)*

1 77. Encroachment Permit Application:

- 2 a. Pay the Filing Fee at the time of submittal of permit application, improvement plans
3 and supporting documents to City Engineering Services for review. The current fee is
4 **\$86**.
- 5 b. Provide a restoration security before issuance of the Encroachment Permit. The
6 security shall be in an amount sufficient to restore existing public improvements to a
7 serviceable condition should development improvement activity cause damage. The
8 amount of the security shall be determined by, and be in a form acceptable to the City
9 Engineer.
- 10 c. Provide a **\$5,000** cash deposit to cover Condition Compliance/Mitigation Monitoring
11 costs at the time of submittal of plans and documents to Engineering Services for
12 review. The deposit will be placed in a refundable account. Condition
13 Compliance/Mitigation Monitoring costs will be charged to this deposit over the life of
14 the project permit and mitigation requirements. Any unused funds will be returned at
15 project completion. If the initial deposit is insufficient to cover actual costs, an
16 additional deposit in an amount determined by the City Engineer will be required.
17 **(ENGR)**

18 78. Grading Permit Application:

- 19 a. Pay Grading Permit Fees at submittal of a Grading Permit application. The current fee
20 is determined based on cubic yardage of cut and fill combined, or at the hourly rate of
21 **\$172** if the hourly rate is used.
- 22 b. Provide a **\$5,000** cash deposit for Erosion Control prior to issuance of Grading Permit.
23 The deposit will be placed in a refundable account. Any unused funds will be returned
24 at project completion. If the initial deposit is insufficient to cover actual costs, an
25 additional deposit in an amount determined by the City Engineer will be required.
- 26 c. Pay Stockpile and Erosion Control Monitoring fee prior to issuance of Grading Permit.
27 The stockpile and erosion control monitoring fee is currently **\$23** per calendar day and
28 is collected for the life of the Grading Permit activity. **(ENGR)**

79. Minor Hillside Development Plan Application:

- a. Pay the Drainage Acreage Fee prior to building permit issuance. The current fee is
\$3,581/acre. (Drainage Area 90)
- d. Pay the Parkland Fee prior to prior to building permit issuance. The current fee is
\$16,691 per living unit for low Density Designation.
- e. Pay applicable fees for review of Storm Water Control O & M agreement and bio
retention facilities inspection.

80. Sewer Connection Permit:

- a. Pay Sanitary Sewer connection fee. The current sewer connection fee is **\$5,043** per
single-family dwelling unit and shall be paid prior to occupancy permit.
- b. Pay the current sewer service fee prior to occupancy permit. The current fee is **\$402** per
year and is pro-rated by the month that connection is made. **(ENGR)**

1 81. Traffic Mitigation Fee:

2 Pay Offsite Street Improvement Program (OSIP) fee less possible fee credit. The OSIP fee
3 shall be the fee in effect at the time of approval of the Minor Hillside Development Plan. The
4 current OSIP Fee is **\$3,251** per single-family dwelling unit and shall be paid prior to
occupancy permit. *(ENGR)*

5 **OTHER/MISCELLANEOUS**

6 82. Contact local postal authorities to get their requirements for mail facilities for the project. The
7 design and location of mail receptacles shall be reviewed and approved by the Planning
8 Division and shown on the Utility, Landscape, and Building Plans, prior to issuance of
Grading or Building Permits, whichever comes first. Mail facilities shall be installed prior to
occupancy approval. *(PLNG)*

9 83. Contact the Geographic Information Systems (GIS) Technician, in the Information
10 Technology Department, (925) 671-3051, for addressing requirements, and coordinate with the
11 Contra Costa County Fire Protection District for their approval, prior to issuance of a Building
Permit. *(PLNG)*

12 84. Comply with the requirements of the Contra Costa County Fire Protection District. Submit
13 complete sets of plans and specifications to the Fire District for review and approval at:

14 Contra Costa County Fire Protection District
15 2010 Geary Road
Pleasant Hill, CA 94523

16 Plan review fees are assessed at that time. The City is not responsible for the collection of fees
17 or enforcement of requirements imposed by the Fire District. *(CCCFIRE)*

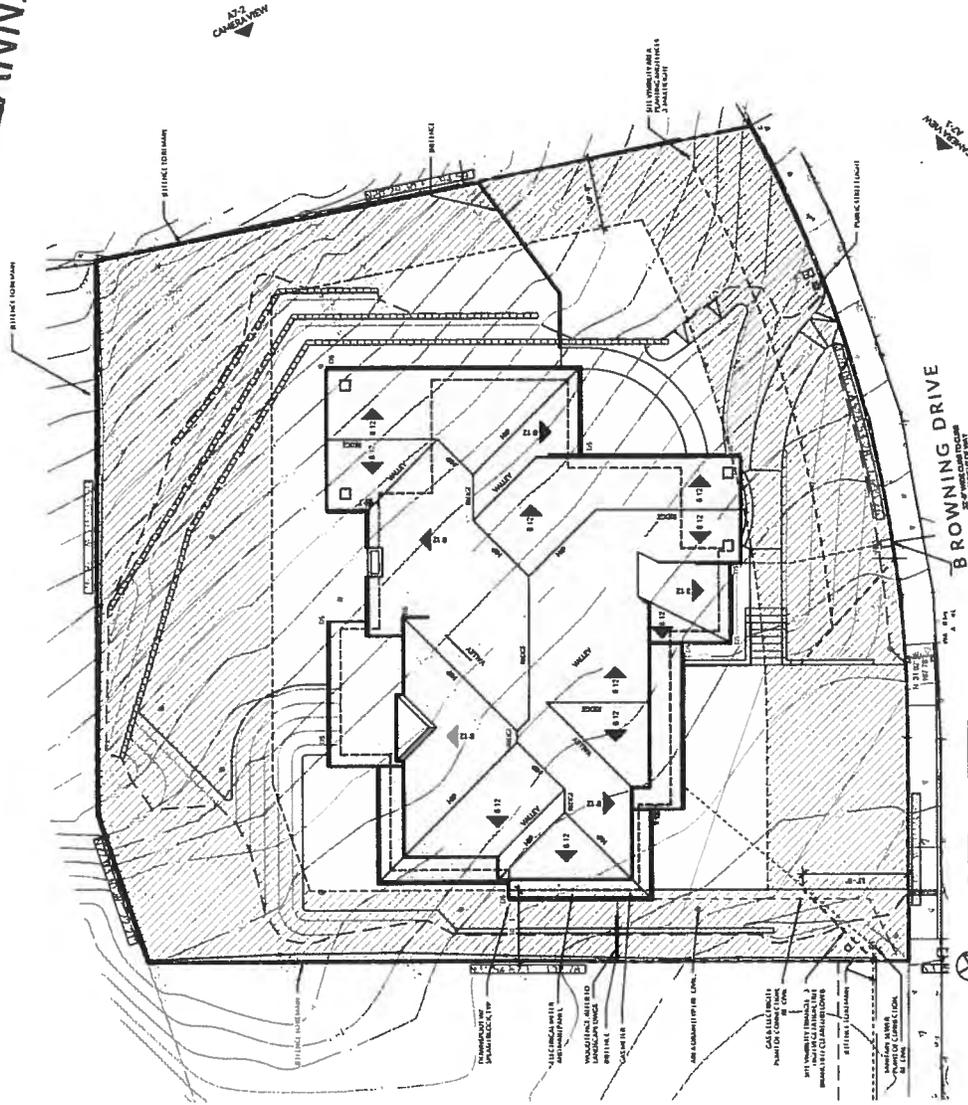
18 85. The applicant shall defend, indemnify and hold harmless the City, its agents, officials, and
19 employees from any claim, action or proceeding brought by a third party to set aside, annul,
attack or otherwise void the permit. *(PLNG)*

20 86. The permit and approval shall expire one year from the date on which they became effective
21 unless construction permits are obtained and work has begun. The effective date of the permit
and approval is **November 25, 2014**. *(PLNG)*

22 87. A request for a time extension from the expiration date of **November 25, 2015** can be
23 considered if an application with required fee is filed at least 10 days before the original
24 expiration date, otherwise a new application is required. A public hearing will be required for
25 all extension applications, except those involving only Design Review. Extensions are not
26 automatically approved. Changes in conditions, City policies, surrounding neighborhood, and
27 other factors permitted to be considered under the law, may require, or permit denial. *(PLNG)*
28

GARAVENTA
NEW SINGLE FAMILY RESIDENCE
4090 BROWNING DRIVE
CONCORD, CA 95518

RECEIVED
SEP 08 2014
PLANNING



INDEX OF DRAWINGS

- A1 SITE PLAN
- A2 LEVEL 1 PARTITION PLAN
- A3 LEVEL 2 PARTITION PLAN
- A4 ELEVATIONS
- A5 ELEVATIONS
- A6 CONCEPTUAL RENDERINGS
- C1 GRADING NOTES
- C2 GRADING, DRAINAGE & UTILITY PLAN
- C3 SITE SECTIONS
- C4 SLOPE DENSITY MAP
- C5 EROSION CONTROL PLAN
- L1 LANDSCAPE PLAN
- L2 LANDSCAPE GROWTH AND DETAILS

PROJECT INFORMATION

PROJECT SUMMARY:
 NEW SINGLE FAMILY RESIDENCE WITH THREE CAR GARAGE AND SITE IMPROVEMENTS

SITE DATA:
 SITE AREA: 12,000
 ZONING: R-2
 OCCUPANCY: R-2
 FIRE SPRINKLER: YES
 NUMBER OF STORES: TWO (2)
 BLOCK HEIGHT: 30' 0"

BUILDING AREA

PROPOSED BUILDING AREA:
 1ST FLOOR: 1,954 SF
 2ND FLOOR: 2,744 SF

COVERED PORCH GARAGE:
 297 SF
 487 SF
 1,024 SF
 3,892 SF

Gravelled LOT COVERAGE RATIO: 3,000 SF / 12,000 SF = 0.25

PAVING AREA CALCULATION

TOTAL FRONT YARD SET BACK AREA: 4,024 SF
 TOTAL FRONT YARD PAVING AREA: 1,375 SF
 RATIO 1,375 SF / 4,024 SF = 0.34 = 30%

PROJECT DIRECTORY

OWNER:
 GARAVENTA HOLDINGS, INC.
 1000 CALIFORNIA STREET, SUITE 100
 CONCORD, CA 94521
 CONTACT: JAMES GARAVENTA
 PHONE: 925-274-1111
 EMAIL: JG@GARAVENTA.COM

ARCHITECT:
 DE JESU AND JANTRE ARCHITECTS
 4113 COLLETT BL., SUITE 200
 CONCORD, CA 94518
 CONTACT: DE JESU ARCHITECTS
 PHONE: 925-301-1111
 EMAIL: INFO@DEJESU.COM

VICINITY MAP

GARAVENTA
SINGLE FAMILY
RESIDENCE

4090 BROWNING DRIVE
 CONCORD, CA 95518
 APN: 130-010-0021



DE JESU AND JANTRE ARCHITECTS
 Commercial | Planning | Residential
 4113 Collett Bl., Suite 200
 Concord, CA 94518
 925-301-1111
 info@dejescu.com
 www.dejesu.com

EXHIBIT B

A1

SITE PLAN

GARAVENTA
SINGLE FAMILY
RESIDENCE

4090 BROWNING DRIVE
CONCORD, CA 95518
APN: 130-410-021



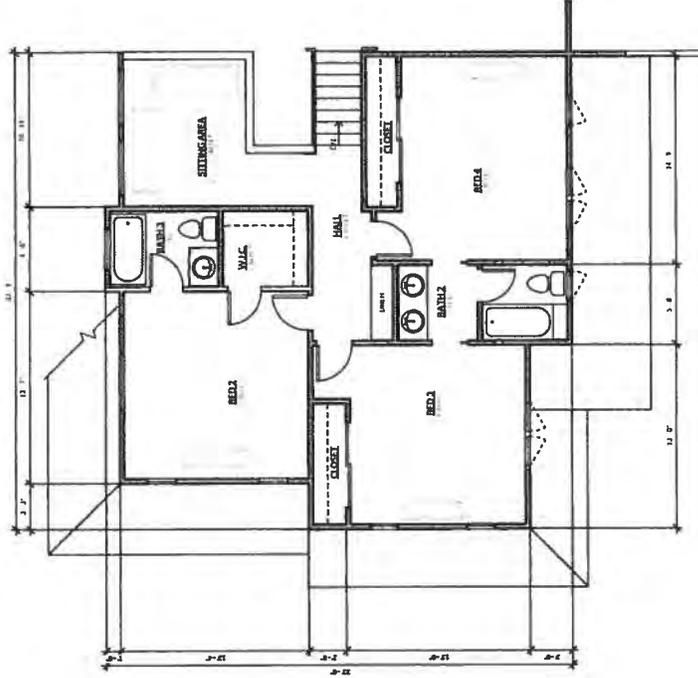
DE BOLS AND NATURE ARCHITECTS
Commercial / Planning / Residential
415 Conwell Rd., Suite 200
Concord, CA 94018
925.302.0271
info@dja-arch.com
www.dja-arch.com

Project No. 130-410-021
Drawing No. 2
Date: 9/2/14
Reviewed By: [Signature]

Project Name: Garaventa Single Family
Site: 4090 Browning Drive
2 9/2/14 Multiple Review

Scale: 1/8" = 1'-0"
This drawing is a preliminary design and is not to be used for construction without the approval of the architect. It is the responsibility of the client to ensure that all necessary permits are obtained and that all applicable codes and regulations are followed.

LEVEL 2 PARTITION
PLAN



1 LEVEL 2 PARTITION PLAN

GARAVENTA
SINGLE FAMILY
RESIDENCE

4090 BROWNING DRIVE
CONCORD, CA 95518
APN: 139-410-021



DE BISH AND ALTON ARCHITECTS
Commercial / Planning / Residential
4115 Concord Avenue, Suite 230
Concord, CA 94520
TEL: 925.302.7271
info@dja-arc.com
www.dja-arc.com

3/20/14

Project No. 2013-006
Project Name: GaraVenta
Project Location: Concord, CA

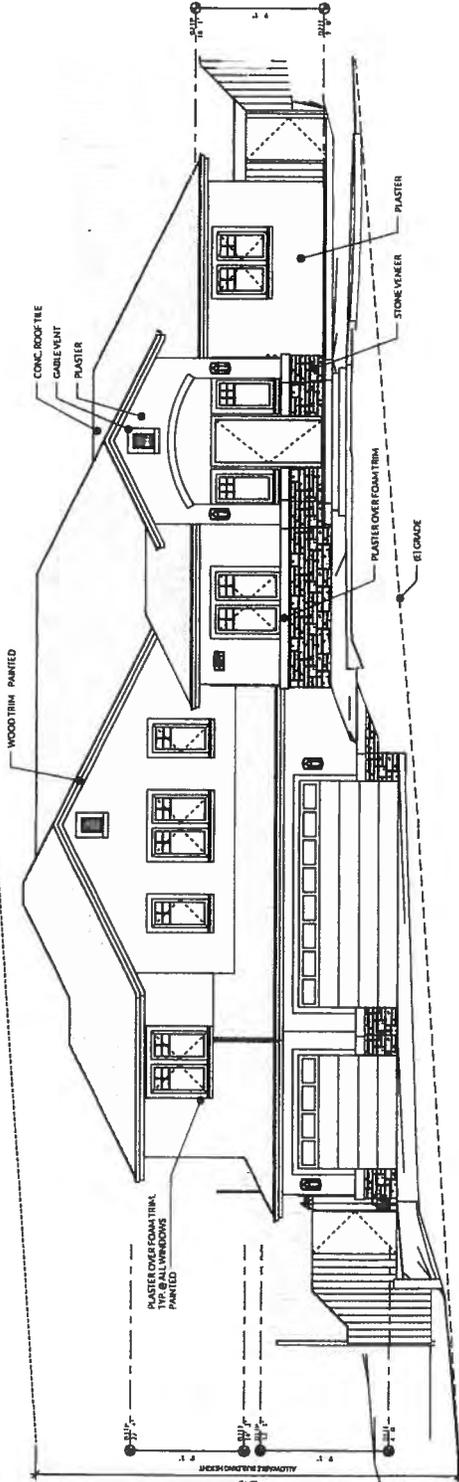
Project Description: Single Family Residence

2 9/10/14 100% Final Review

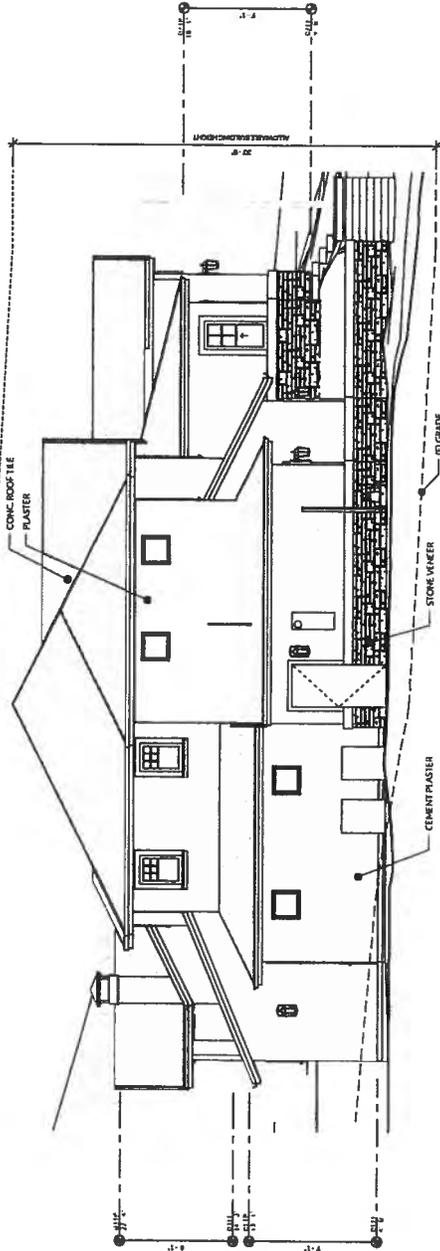
Client: 9/10/14
Architect: De Bish and Alton Architects
Contractor: [Redacted]
This drawing is the property of De Bish and Alton Architects and is not to be used for any other project without the written consent of De Bish and Alton Architects.

ELEVATIONS

A4
11/12/14



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"

GARAVENTA
SINGLE FAMILY
RESIDENCE

4090 BROWNING DRIVE
CONCORD, CA 95518
APN: 130-4-10-021



DE JESU AND ALTORE ARCHITECTS
Commercial | Planning | Residential
415 Convent Blvd., Suite 200
Concord, CA 94518
925.302.2721
www.dja.com

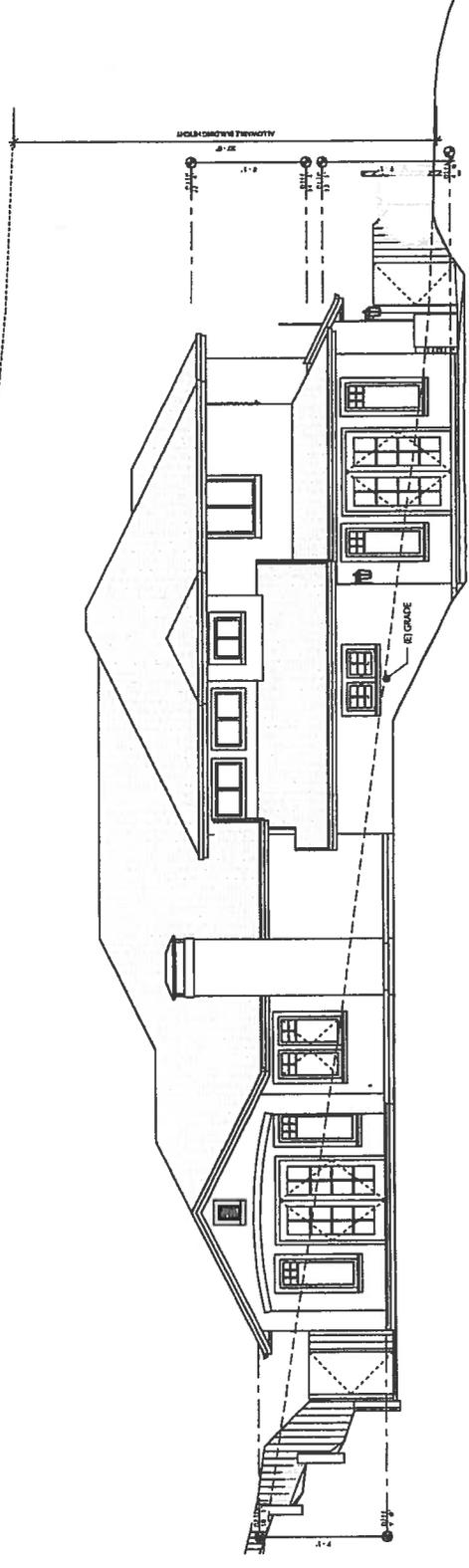
Project: 130-4-10-021
Location: Concord, CA
Revised By: [Redacted]

Drawn: [Redacted]
Checked: [Redacted]
Reviewed: [Redacted]

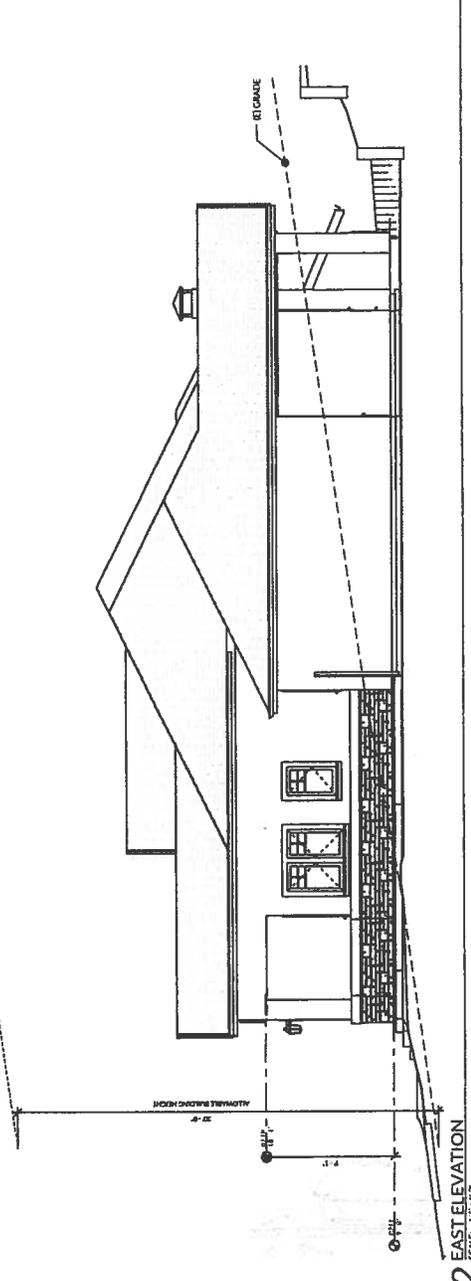
Scale: 1/4" = 1'-0"
Date: 9/14/14
Sheet: 2 of 2

ELEVATIONS

A5
R04/14 12:24 PM



1 SOUTH ELEVATION (FRONT)
SCALE: 1/4" = 1'-0"



2 EAST ELEVATION
SCALE: 1/4" = 1'-0"

GARAVENTA
SINGLE FAMILY
RESIDENCE

4090 BROWNING DRIVE
CONCORD, CA 95518
APN: 130-410-021



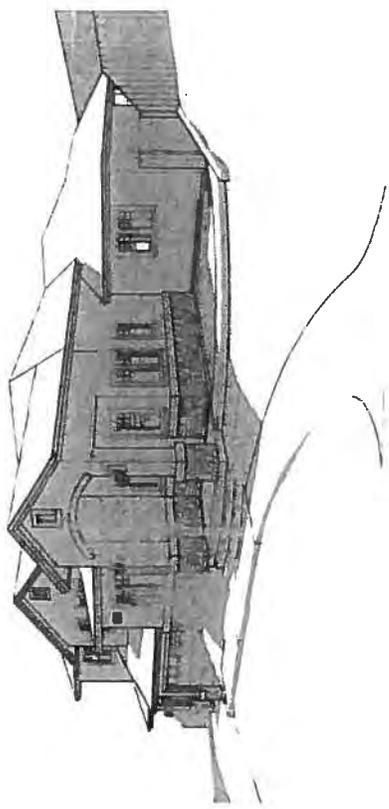
DEBBS AND JORDRE ARCHITECTS
General Planning / Residential
4112 Concord Rd., Suite 210
Concord, CA 95518
925.326.7271
info@dja-arc.com
www.dja-arc.com

1/20/18

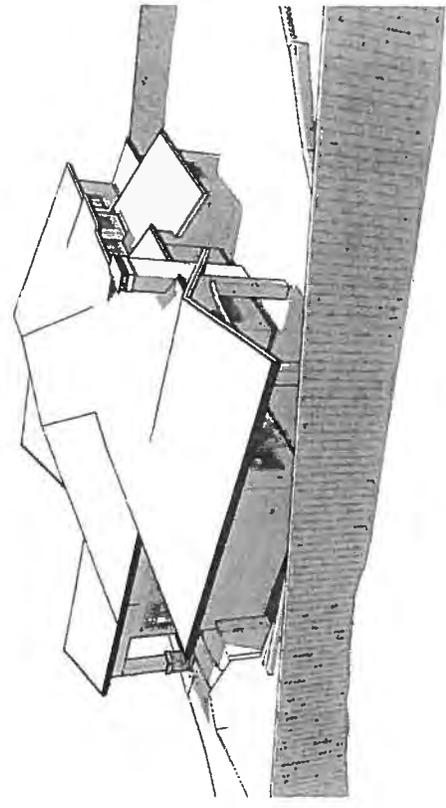
File No: 2017-000
Date: 1/20/18
Project: GaraVentia
Sheet: 2
Title: 1/20/18 - 1/20/18 Renderings

City of Concord
All drawings and information are for the use of the City of Concord only. No part of this drawing may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the City of Concord.

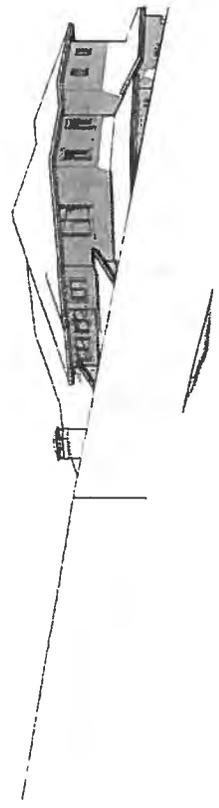
CONCEPTUAL
RENDERINGS



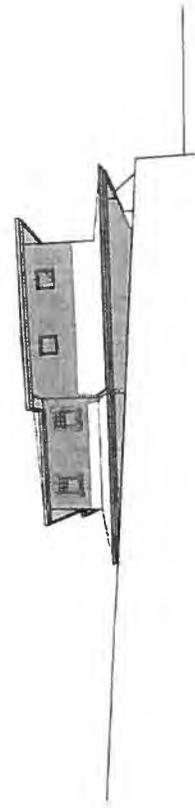
1 VIEW FROM STREET
SCALE



2 VIEW FROM NEIGHBOR DECK
SCALE



3 VIEW FROM REAR NEIGHBOR
SCALE



4 VIEW FROM LEFT NEIGHBOR
SCALE

GRADING, DRAINAGE & UTILITY PLAN

4090 BROWNING DRIVE

CITY OF CONCORD
COUNTY OF CONTRA COSTA
STATE OF CALIFORNIA

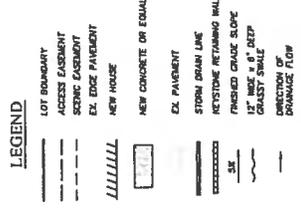
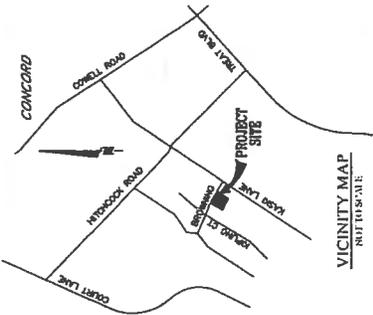


APFX
CONTRACTING & CIVIL ENGINEERS
817 Arnold Drive, Ste. 20
Martinez, CA 94553
PH: 925-976-4879
WWW.APFX.COM

CONCORD, CA
4090 BROWNING DRIVE
TITLE SHEET, NOTES & DETAILS
GRADING, DRAINAGE & UTILITY PLAN

| NO. | REVISIONS | BY | APP. | DATE |
|-----|-----------|----|------|------|
| | | | | |
| | | | | |

| | |
|-------------|------------|
| SHEET | C3 |
| DATE | 08-20-2014 |
| PROJECT NO. | 140027 |
| DATE | 08-20-2014 |



ABBREVIATIONS

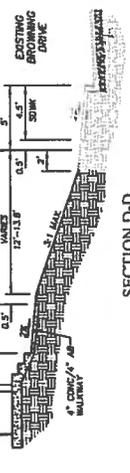
- AB - AGGREGATE BASE
- AD - AREA DRAIN
- BF - BOTTOM OF WALL
- CC - CITY OF CONCORD
- DET - DETAIL
- EX - EXISTING
- FF - FINISH FLOOR
- FG - FINISH GRADE
- HL - HOUSE LIFT ELEVATION
- HP - HIGH POINT
- LF - LINEAR FEET
- P - PAD
- PC - PROPERTY LINE
- PCW - PAVEMENT CHANGE
- ST - STORM DRAIN
- SW - SIDEWALK
- SF - SQUARE FEET
- STD - STANDARD
- TR - TOP OF WALL
- TY - TYPICAL

SHEET INDEX

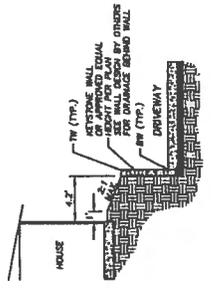
| SHEET NO. | DESCRIPTION |
|-----------|----------------------------------|
| C1 | TITLE SHEET, NOTES & DETAILS |
| C2 | GRADING, DRAINAGE & UTILITY PLAN |
| C3 | TIME & CROSS SECTIONS |
| C4 | SLOPE DENSITY MAP |
| C5 | EXISTING UTILITY PLAN |

GRADING QUANTITIES

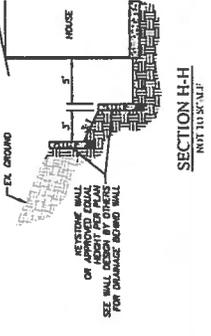
| CUT | 30' CU. YARD |
|------------------------|--------------|
| FILL | 18' CU. YARD |
| TOTAL DISTURBED AREA | 8,885 SF |
| NEW DISTURBED SURFACES | 4,128 SF |



SECTION D-D
NOT TO SCALE



SECTION E-E
NOT TO SCALE



SECTION H-H
NOT TO SCALE



NOTE: ALL EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN OBTAINED FROM THE BEST AVAILABLE RECORDS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND EXTENT OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CONCORD AND THE STATE OF CALIFORNIA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CONCORD AND THE STATE OF CALIFORNIA.

BENCHMARK
COTO BENCHMARK #332, CORNERED T, IN CURB AT INTERSECTION OF CORNELL ROAD AND ST. FRANCIS DR. ELEVATION=128.24 (NVD 29)

BASIS OF BEARINGS
BEARINGS ARE BASED ON MONUMENT LINE OF BROWNING DRIVE AS SHOWN ON THE PARCEL MAP OF USC 7-92 (169 PM 32) TAKEN AS SOUTH 36.00 TO EAST

GENERAL NOTES

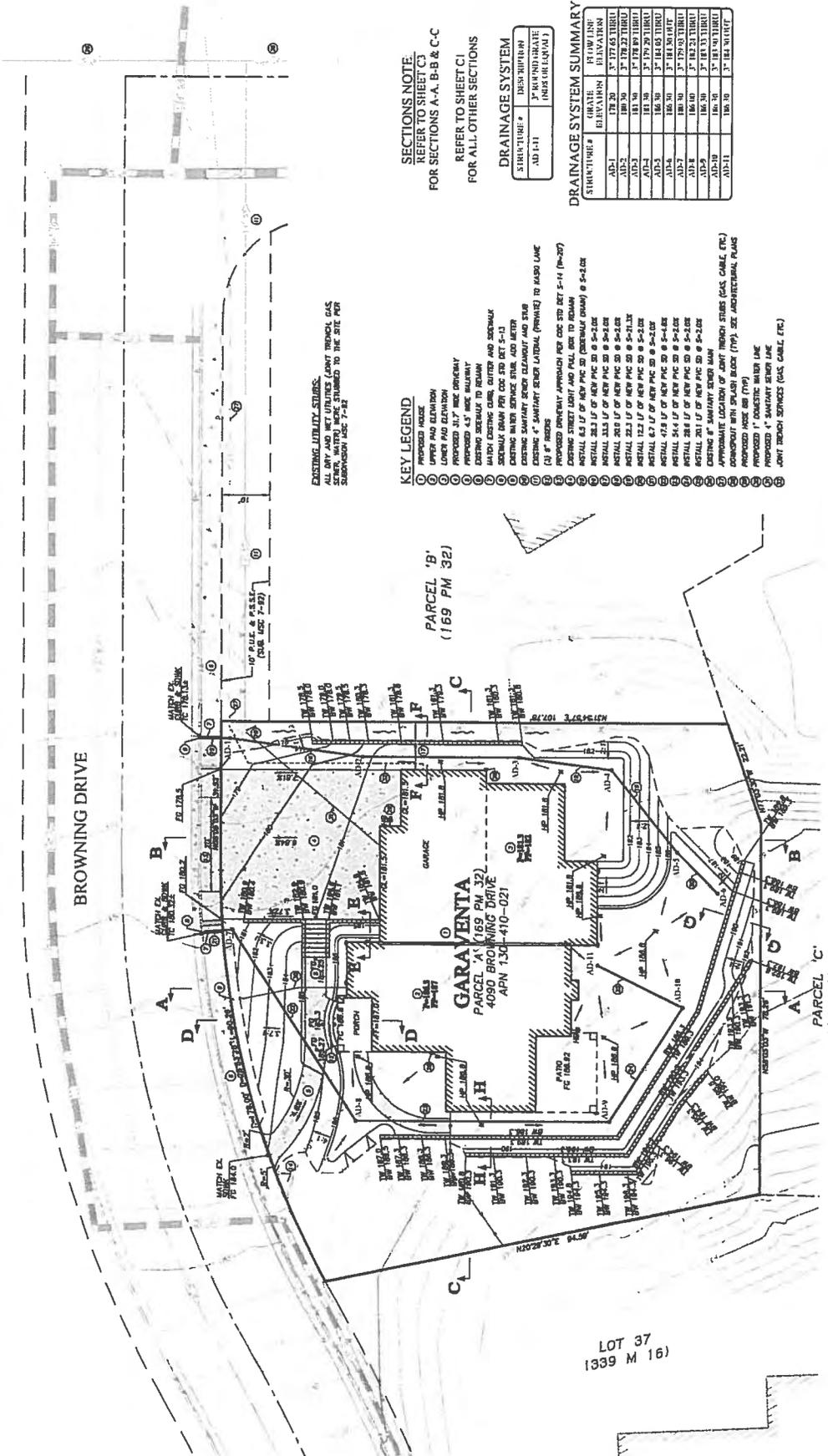
- ALL GRADING, SITE PREPARATION, PLACING AND COMPACTION GRADINGS ARE BASED ON SURROUNDING TOPOGRAPHY. ALL GRADINGS AND BLENDS WITH SURROUNDING TOPOGRAPHY.
- CONTRACTOR TO NOTIFY CITY OF CONCORD 48-HOURS PRIOR TO START OF WORK TO SCHEDULE A PRE-CONSTRUCTION MEETING.
- ALL CUT SLOPES SHALL BE ROUNDED TO MEET EXISTING GRADINGS AND BLENDS WITH SURROUNDING TOPOGRAPHY. ALL GRADINGS AND BLENDS WITH SURROUNDING TOPOGRAPHY. ALL GRADINGS AND BLENDS WITH SURROUNDING TOPOGRAPHY. ALL GRADINGS AND BLENDS WITH SURROUNDING TOPOGRAPHY.
- ANY VARIATION FROM APPROVED PLAN REQUIRES APPROVAL OF THE CITY ENGINEER PRIOR TO ANY CHANGES OCCURRING AT THE PERMITTED SITE.
- DURING GRADING OPERATIONS, CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES ON SITE AND HAUL ROUTES, AND ALL OTHER STORM WATER POLLUTION PREVENTION REGULATIONS DURING DRY SEASONS.
- EROSION AND SEDIMENT CONTROL PLANS ARE REQUIRED AND MUST BE SUBMITTED TO THE CITY ENGINEER PRIOR TO THE START OF CONSTRUCTION. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
- GRADING WORK HOURS ARE 7:00 AM TO 5:00 PM MONDAY THROUGH FRIDAY. ALL GRADING WORK SHALL BE PERFORMED ON OBSERVED NATIONAL HOLIDAYS.
- ALL ROOF DOWNSPOUTS SHALL DISCHARGE TO SPLASH BLOCKS AND SURFACE DRAIN TO LANDSCAPE AREAS.
- ALL STORM DRAIN PIPE SHALL BE 12\"/>

GRADING, DRAINAGE & UTILITY PLAN

4090 BROWNING DRIVE

CITY OF CONCORD
COUNTY OF CONTRA COSTA
STATE OF CALIFORNIA

NOTE:
THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY DATA. THE LOCATION OF ANY EXISTING UTILITIES AND DEPTHS ARE SUBJECT TO VERIFICATION BY THE CONTRACTOR DURING CONSTRUCTION.



EXISTING UTILITY LOCATIONS:
WATER MAIN (10" DIA. @ 10' DEPTH)
SEWER MAIN (12" DIA. @ 10' DEPTH)
GAS MAIN (8" DIA. @ 10' DEPTH)
ELECTRIC MAIN (4" DIA. @ 10' DEPTH)

KEY LEGEND

- 1. PROPOSED 12" DIAMETER WATER MAIN @ 10' DEPTH
- 2. PROPOSED 12" DIAMETER SEWER MAIN @ 10' DEPTH
- 3. PROPOSED 8" DIAMETER GAS MAIN @ 10' DEPTH
- 4. PROPOSED 4" DIAMETER ELECTRIC MAIN @ 10' DEPTH
- 5. EXISTING 12" DIAMETER WATER MAIN @ 10' DEPTH
- 6. EXISTING 12" DIAMETER SEWER MAIN @ 10' DEPTH
- 7. EXISTING 8" DIAMETER GAS MAIN @ 10' DEPTH
- 8. EXISTING 4" DIAMETER ELECTRIC MAIN @ 10' DEPTH
- 9. EXISTING 12" DIAMETER WATER MAIN @ 10' DEPTH
- 10. EXISTING 12" DIAMETER SEWER MAIN @ 10' DEPTH
- 11. EXISTING 8" DIAMETER GAS MAIN @ 10' DEPTH
- 12. EXISTING 4" DIAMETER ELECTRIC MAIN @ 10' DEPTH
- 13. PROPOSED 12" DIAMETER WATER MAIN @ 10' DEPTH
- 14. PROPOSED 12" DIAMETER SEWER MAIN @ 10' DEPTH
- 15. PROPOSED 8" DIAMETER GAS MAIN @ 10' DEPTH
- 16. PROPOSED 4" DIAMETER ELECTRIC MAIN @ 10' DEPTH
- 17. EXISTING 12" DIAMETER WATER MAIN @ 10' DEPTH
- 18. EXISTING 12" DIAMETER SEWER MAIN @ 10' DEPTH
- 19. EXISTING 8" DIAMETER GAS MAIN @ 10' DEPTH
- 20. EXISTING 4" DIAMETER ELECTRIC MAIN @ 10' DEPTH
- 21. APPROXIMATE LOCATION OF JOINT TRENCH STOPS (GAS, CABLE, ETC.)
- 22. CONDUIT WITH SPLASH BLOCK (TYP.) SEE ARCHITECTURAL PLANS
- 23. PROPOSED 1" DOMESTIC WATER LINE
- 24. PROPOSED 1" SANITARY SEWER LINE
- 25. JOINT TRENCH SERVICES (GAS, CABLE, ETC.)

SECTIONS NOTE:
REFER TO SHEET C3
FOR SECTIONS A-A, B-B & C-C

**REFER TO SHEET C1
FOR ALL OTHER SECTIONS**

DRAINAGE SYSTEM

| | |
|---------|-------------------|
| SURFACE | ASPH/FLY |
| AD-1-1 | 3" 15' MIN. SLOPE |

DRAINAGE SYSTEM SUMMARY

| STRUCTURE # | GRAVE | FLOW LINE | PLAN VIEW |
|-------------|--------|-----------------|-----------|
| AD-1 | 178.20 | 3" 177.65 TUBUL | PLAN VIEW |
| AD-2 | 180.50 | 3" 179.27 TUBUL | PLAN VIEW |
| AD-3 | 181.50 | 3" 179.89 TUBUL | PLAN VIEW |
| AD-4 | 184.50 | 3" 184.65 TUBUL | PLAN VIEW |
| AD-5 | 185.50 | 3" 184.30 TUBUL | PLAN VIEW |
| AD-6 | 186.50 | 3" 179.50 TUBUL | PLAN VIEW |
| AD-7 | 186.60 | 3" 182.21 TUBUL | PLAN VIEW |
| AD-8 | 186.50 | 3" 181.33 TUBUL | PLAN VIEW |
| AD-9 | 186.50 | 3" 181.50 TUBUL | PLAN VIEW |
| AD-10 | 186.50 | 3" 181.50 TUBUL | PLAN VIEW |

| NO. | REVISIONS | BY | APP | DATE |
|-----|-----------|----|-----|------|
| | | | | |

LOT 37
1339 M 16)



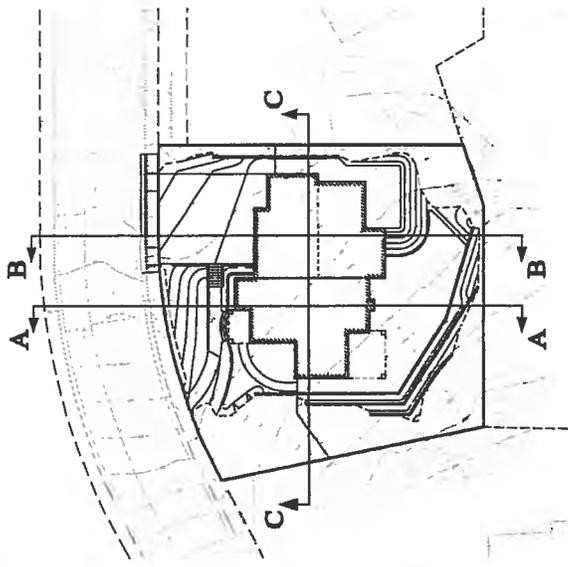
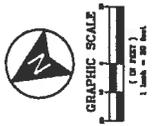
APX
 117 Arnold Drive, Suite 50
 Milpitas, CA 94533
 Tel: (415) 948-4499
 www.apx.com



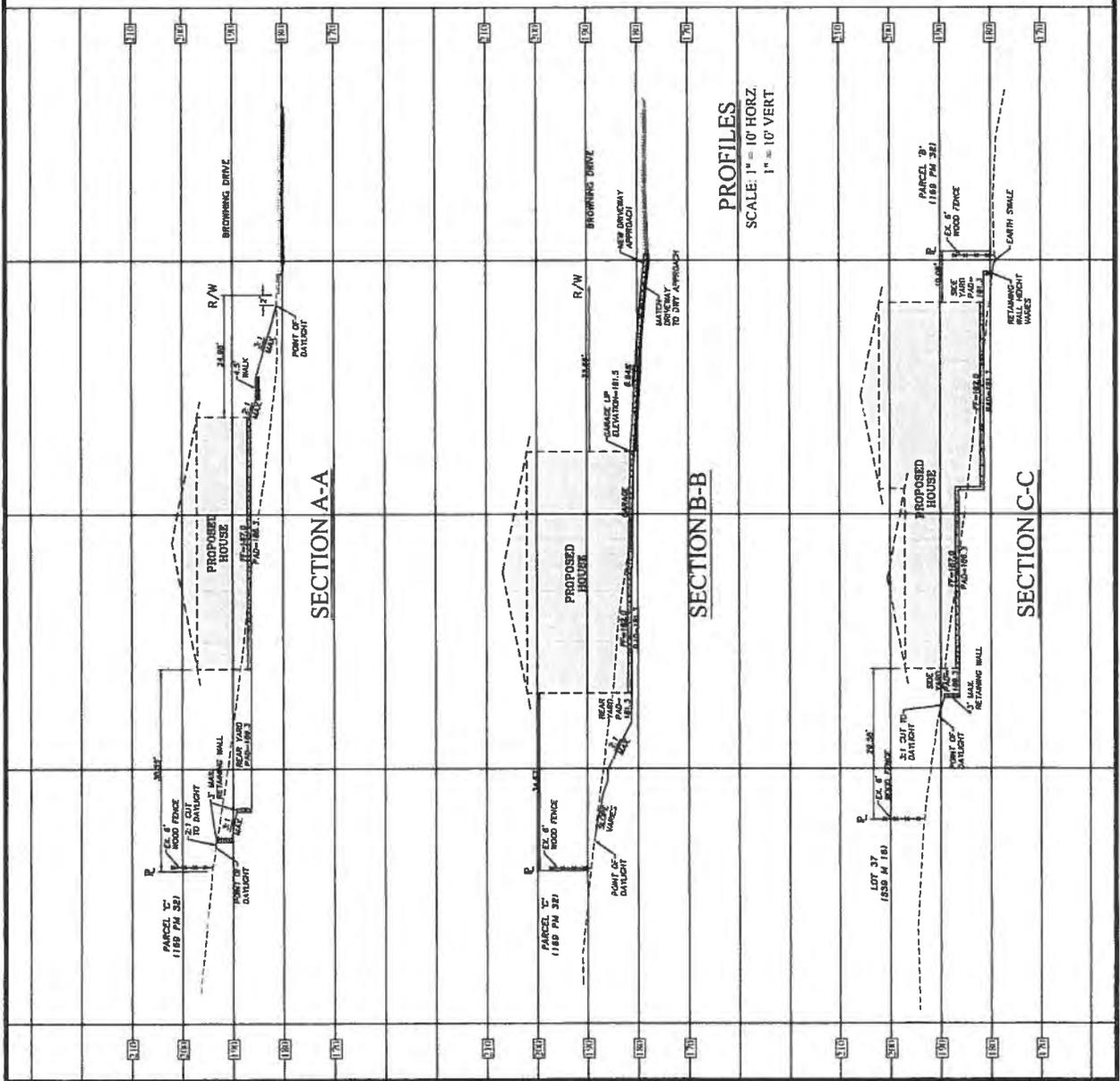
| NO. | REVISIONS | BY | APP. | DATE |
|-----|-----------|----|------|------|
| | | | | |
| | | | | |
| | | | | |

TRUB CROSS SECTIONS
 409 BROWNING DRIVE
 CONCORD, CA

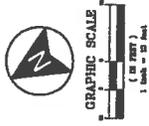
| | |
|---------|------------|
| SUBMIT | C |
| DATE | 08-08-2014 |
| PROJECT | 1004 |



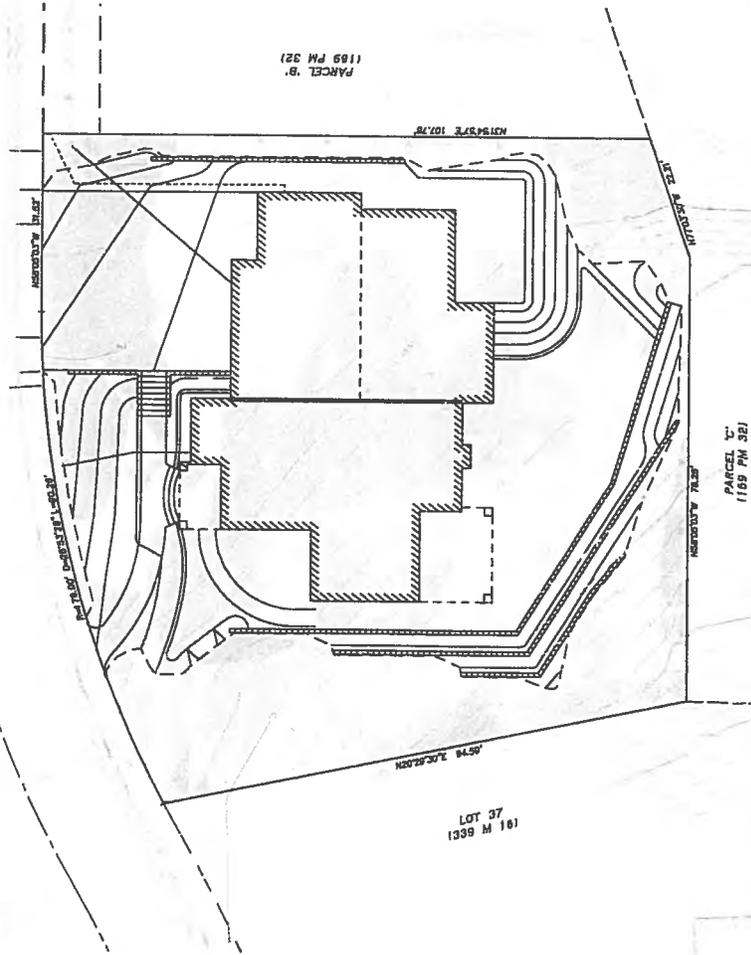
KEY MAP
 SCALE: 1" = 20'



SLOPE DENSITY MAP
4090 BROWNING DRIVE
 CITY OF CONCORD
 COUNTY OF CONTRA COSTA
 STATE OF CALIFORNIA



BROWNING DRIVE



AVERAGE SLOPE CALCULATION

| ELEV. | AREA | AVG. SLOPE |
|-------|--------|------------|
| 182 | 101.1F | 1.1% |
| 183 | 112.1F | 1.2% |
| 184 | 123.1F | 1.3% |
| 185 | 134.1F | 1.4% |
| 186 | 145.1F | 1.5% |
| 187 | 156.1F | 1.6% |
| 188 | 167.1F | 1.7% |
| 189 | 178.1F | 1.8% |
| 190 | 189.1F | 1.9% |
| 191 | 200.1F | 2.0% |
| 192 | 211.1F | 2.1% |
| 193 | 222.1F | 2.2% |
| 194 | 233.1F | 2.3% |
| 195 | 244.1F | 2.4% |
| 196 | 255.1F | 2.5% |
| 197 | 266.1F | 2.6% |
| 198 | 277.1F | 2.7% |
| 199 | 288.1F | 2.8% |
| 200 | 299.1F | 2.9% |
| 201 | 310.1F | 3.0% |
| 202 | 321.1F | 3.1% |

Area: 5

1. CONTOUR INTERVAL (FEET): 1.0
2. CONTOUR LINE NUMBER: 182
3. AREA OF SUBJECT PARCEL (SQ. FT.): 13,300
4. AREA OF SUBJECT PARCEL (SQ. FT.): 13,300
5. AVERAGE SLOPE (PERCENT): 1.7%

SLOPE DENSITY CALCULATIONS

| SLOPE RANGE | SLOPE RANGE | LOT % | APPROX. COVERAGE |
|-------------|-------------|-------|------------------|
| 0.00 | 10.00 | 17.7 | 2362.41 |
| 10.01 | 14.99 | 20.2 | 2687.26 |
| 15.00 | 19.99 | 30.3 | 3983.43 |
| 20.00 | 24.99 | 24.6 | 3247.78 |
| 25.00 | 29.99 | 7.7 | 1018.58 |
| 30.00 | 34.99 | 1.9 | 251.87 |
| 35.00 | 39.99 | 1.1 | 131.40 |
| 40.00 | 49.99 | 1.5 | 194.34 |



APX ENGINEERING, INC.
 817 Arnold Drive, S.C. 50
 Manteca, CA 95331
 PH: (925) 616-4293
 WWW.APXENR.COM

| NO. | REVISIONS | BY | APP | DATE |
|-----|-----------|----|-----|------|
| | | | | |
| | | | | |
| | | | | |
| | | | | |

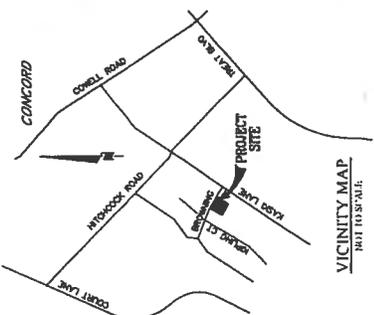
SLOPE DENSITY MAP
4090 BROWNING DRIVE
 CONCORD, CA

| | |
|--------------|------------|
| SHEET | C1 |
| DATE | 08-08-2014 |
| FILE | 14090 |

EROSION CONTROL PLAN

4090 BROWNING DRIVE

CITY OF CONCORD
COUNTY OF CONTRA COSTA
STATE OF CALIFORNIA

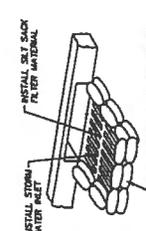
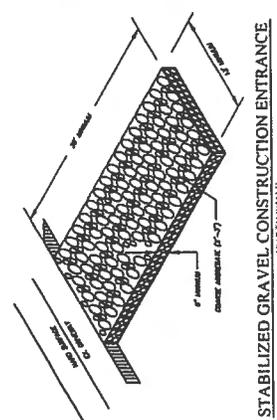
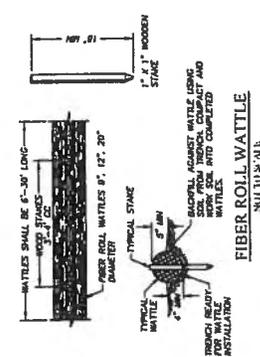
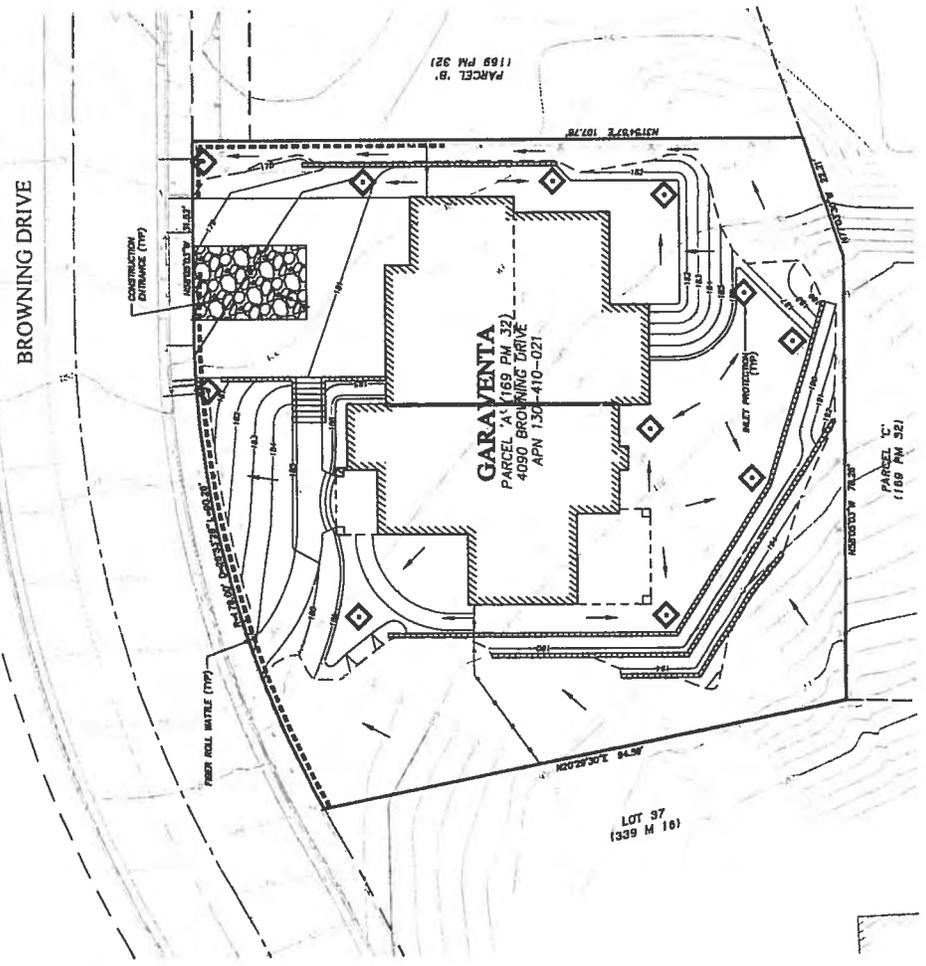
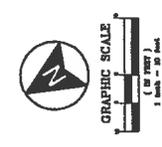


APX
217 Arnold Drive, Ste. 30
Martinez, CA 94553
925-452-8199
www.apxinc.com
CONTRACT NO. 18-0000000000000000

| NO. | REVISION | BY | DATE |
|-----|----------|----|------|
| | | | |
| | | | |

EROSION CONTROL PLAN
4090 BROWNING DRIVE
CONCORD, CA

| | |
|-------------|---------------------|
| SHEET | 03 |
| DATE | 08-20-2018 |
| PROJECT NO. | 18-0000000000000000 |



- LEGEND**
- BOUNDARY
 - ADJ PROPERTY LINE
 - EXISTING EASEMENT LINE
 - NEW HOUSE
 - EX PAVEMENT
 - FIBER ROLL WATTLES
 - INLET PROTECTION
 - CONSTRUCTION CHANEL ENTRANCE
 - DIRECTION OF DRAINAGE FLOW

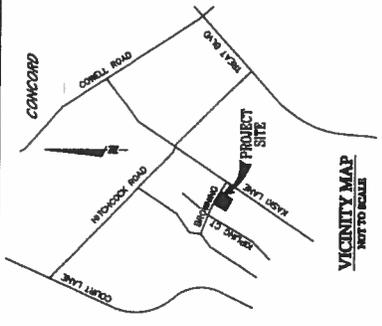
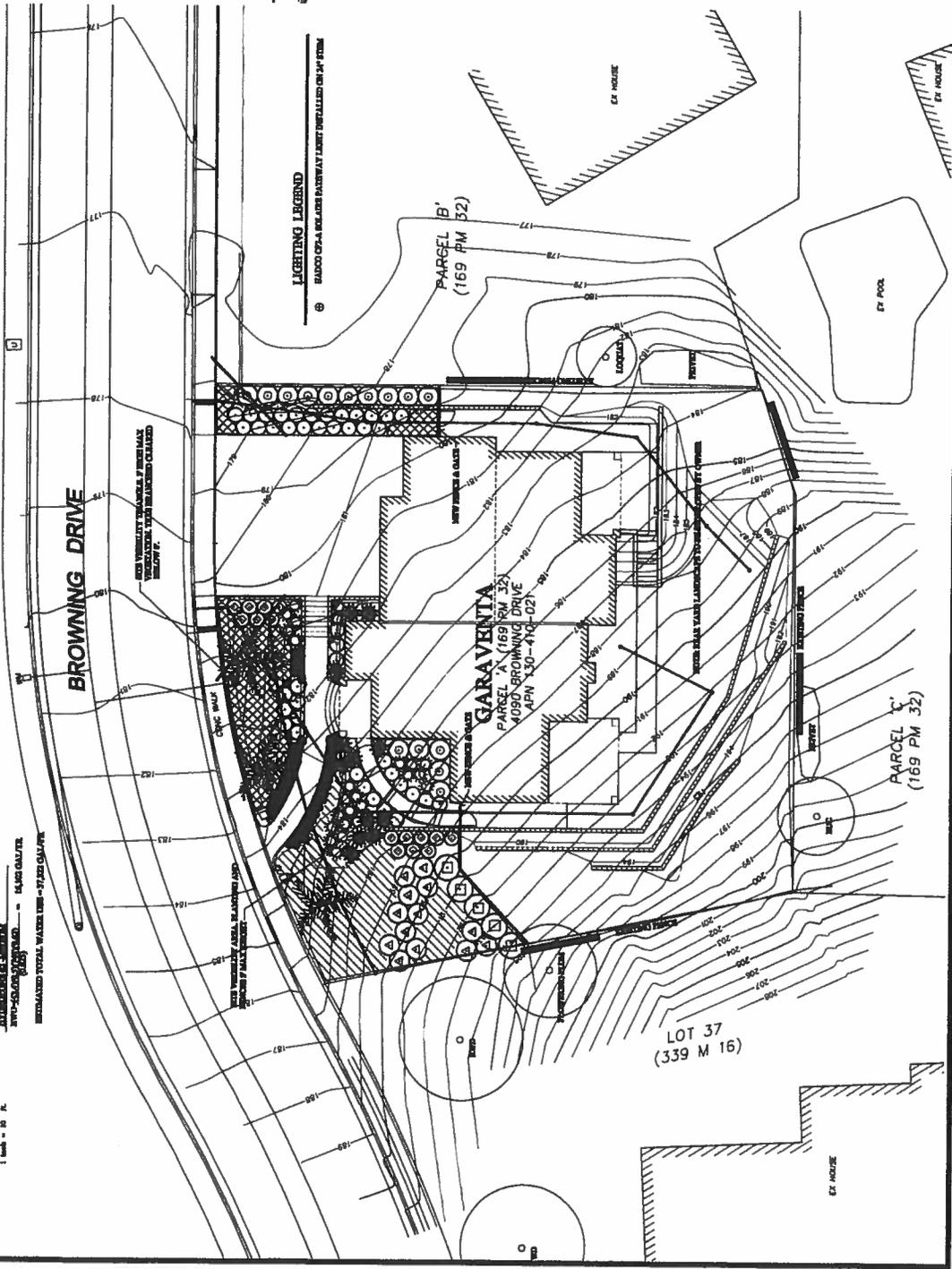
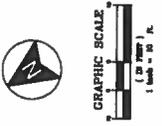
- EROSION CONTROL NOTES**
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE EFFECTIVE FOR THE DURATION OF THE CONSTRUCTION ACTIVITY.
 - ALL NEW SLOPES AND/OR GRADING SHALL BE IMPACTED BY STORM WATER GENERATED BY THE ADJACENT PROPERTIES WHICH ARE OR WOULD BE FROM STORM WATER, WIND, SILT, ETC. ON A DAILY BASIS.
 - ALL SIDEWALKS AND PAVED AREAS SHALL BE MAINTAINED TO PREVENT STORM WATER FROM ENTERING THE SITE. THE SITE SHALL BE MAINTAINED SO AS TO PREVENT SEDIMENT-LADEN RUNOFF FROM ENTERING ANY STORM DRAINAGE SYSTEM.

FINAL LANDSCAPE PLAN

4090 BROWNING DRIVE

CITY OF CONCORD
COUNTY OF CONTRA COSTA
STATE OF CALIFORNIA

WATER USE CALCULATIONS
 FRONT YARD LANDSCAPE AREA 1,300 SF
 MAINTENANCE WATER ALLOWANCE
 0.5 GPM/100 SF (CALIFORNIA)
 MAINTENANCE WATER ALLOWANCE
 0.5 GPM/100 SF (CALIFORNIA)
 IRRIGATED TOTAL WATER USE
 0.5 GPM/100 SF (CALIFORNIA)
 0.5 GPM/100 SF (CALIFORNIA)
 0.5 GPM/100 SF (CALIFORNIA)
 0.5 GPM/100 SF (CALIFORNIA)
 IRRIGATED TOTAL WATER USE = 1,620 GALLONS
 IRRIGATED TOTAL WATER USE = 1,620 GALLONS



PROPOSED PLANT MATERIALS LEGEND

| SYMBOL | PLANT MATERIAL |
|--------|---------------------------------------|
| (A) | AGAVE COMMUNE (10' x 10' GALLON SIZE) |
| (B) | AGAVE COMMUNE (10' x 10' GALLON SIZE) |
| (C) | AGAVE COMMUNE (10' x 10' GALLON SIZE) |
| (D) | AGAVE COMMUNE (10' x 10' GALLON SIZE) |
| (E) | AGAVE COMMUNE (10' x 10' GALLON SIZE) |
| (F) | AGAVE COMMUNE (10' x 10' GALLON SIZE) |
| (G) | AGAVE COMMUNE (10' x 10' GALLON SIZE) |
| (H) | AGAVE COMMUNE (10' x 10' GALLON SIZE) |
| (I) | AGAVE COMMUNE (10' x 10' GALLON SIZE) |
| (J) | AGAVE COMMUNE (10' x 10' GALLON SIZE) |
| (K) | AGAVE COMMUNE (10' x 10' GALLON SIZE) |
| (L) | AGAVE COMMUNE (10' x 10' GALLON SIZE) |
| (M) | AGAVE COMMUNE (10' x 10' GALLON SIZE) |
| (N) | AGAVE COMMUNE (10' x 10' GALLON SIZE) |
| (O) | AGAVE COMMUNE (10' x 10' GALLON SIZE) |
| (P) | AGAVE COMMUNE (10' x 10' GALLON SIZE) |
| (Q) | AGAVE COMMUNE (10' x 10' GALLON SIZE) |
| (R) | AGAVE COMMUNE (10' x 10' GALLON SIZE) |
| (S) | AGAVE COMMUNE (10' x 10' GALLON SIZE) |
| (T) | AGAVE COMMUNE (10' x 10' GALLON SIZE) |
| (U) | AGAVE COMMUNE (10' x 10' GALLON SIZE) |
| (V) | AGAVE COMMUNE (10' x 10' GALLON SIZE) |
| (W) | AGAVE COMMUNE (10' x 10' GALLON SIZE) |
| (X) | AGAVE COMMUNE (10' x 10' GALLON SIZE) |
| (Y) | AGAVE COMMUNE (10' x 10' GALLON SIZE) |
| (Z) | AGAVE COMMUNE (10' x 10' GALLON SIZE) |

NOTE: SEE SHEET 14 FOR PLANT GROWTH RATES & RECOMMENDATIONS



JAMES SWANSON - LANDSCAPE ARCHITECT

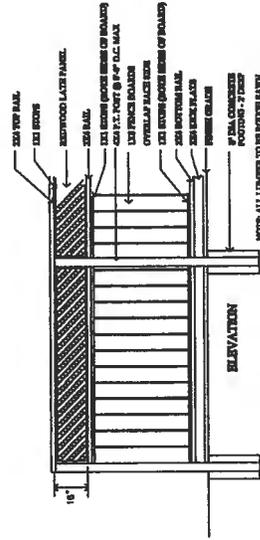
| | | |
|-----|------|-------------|
| NO. | DATE | DESCRIPTION |
| | | |
| | | |
| | | |
| | | |

FINAL LANDSCAPE PLAN
4090 BROWNING DRIVE, CONCORD, CA

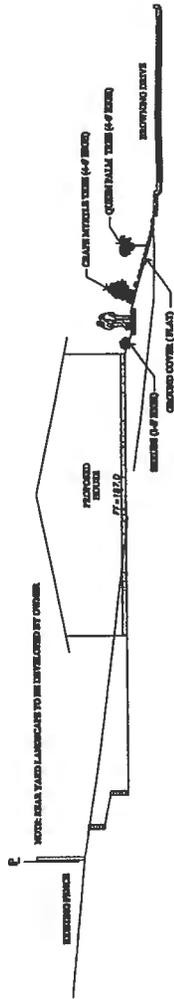
SHEET
L-2 OF 2

DATE
08-14

PROJECT # 1000



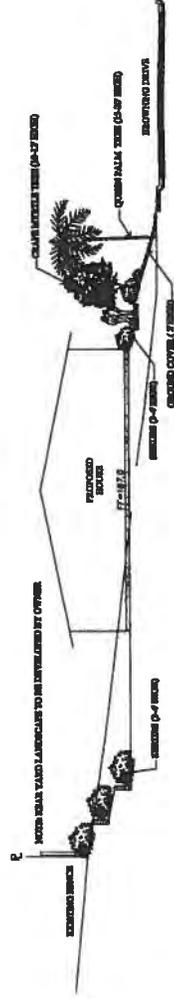
6' HIGH LATH FENCE



LANDSCAPE GROWTH AT SIX MONTHS

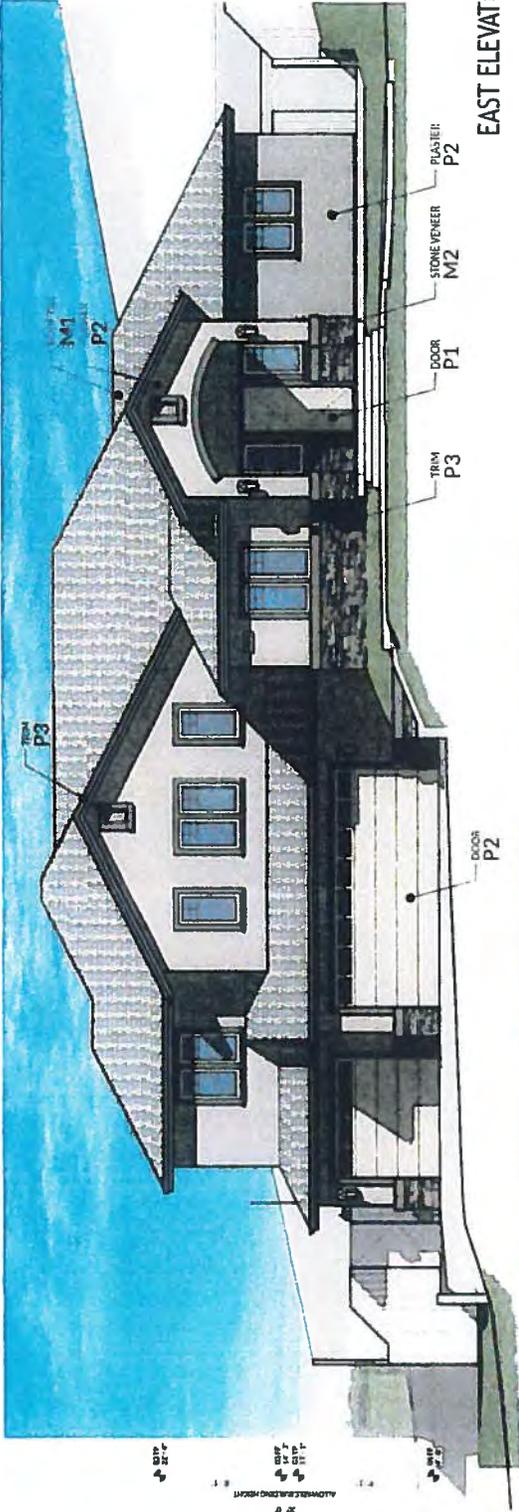


LANDSCAPE GROWTH AT ONE YEAR

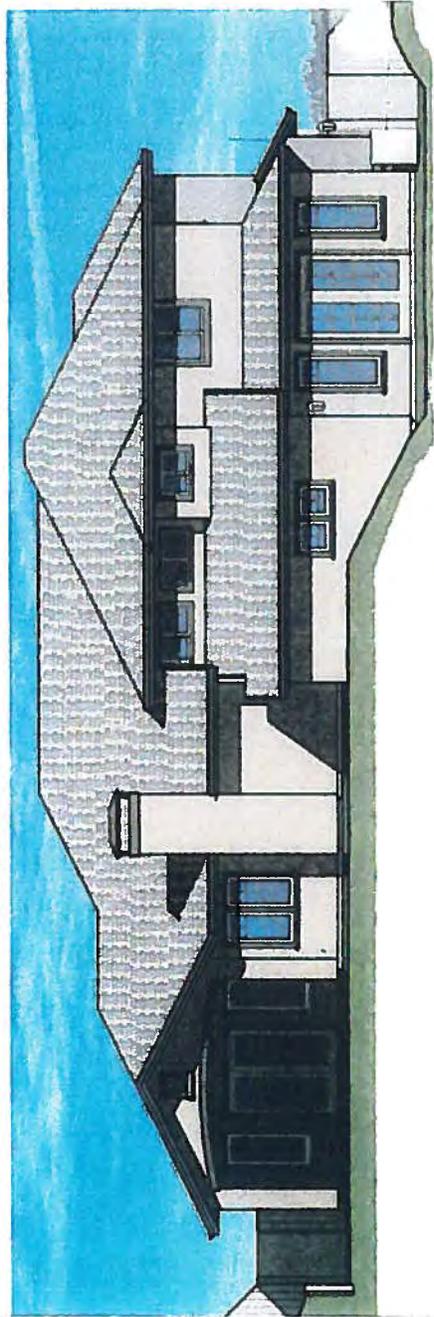


LANDSCAPE GROWTH AT THREE YEARS

RECEIVED
 SEP 08 2014
 PLANNING



EAST ELEVATION



WEST ELEVATION

- | | | | |
|-----------|--|-----------|--|
| M1 | Concrete Tile Eagle Roofing 1699 'Charcoal Range' | P1 | Paint, Dunn Edwards "Ash Gray" DEC751 |
| M2 | Stone Veneer El Dorado Stone "Mesa Verde Mountain Ledge" | P2 | Paint, Dunn Edwards "Bison Beige" DEC750 |
| | | P3 | Paint, Dunn Edwards "Jet" DE6378 |

de Jesus and Alatorre Architects

PROPOSED ELEVATIONS

AE.1

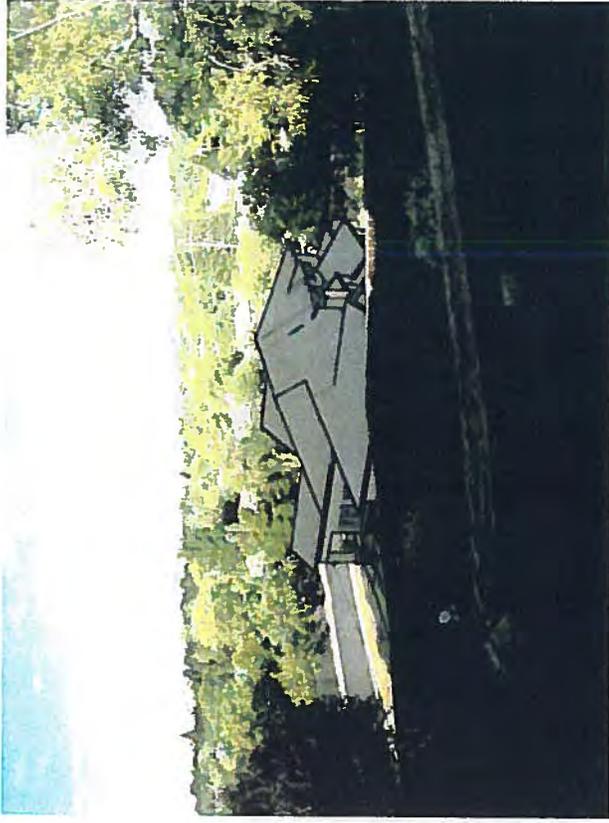


commercial planning residential

8/28/2014

Garaventa Residence 4090 Browning Drive, Concord, CA

EXHIBIT C



VIEW FROM ADJACENT PROPERTY DECK



VIEW FROM LOWER PROPERTY YARD

de Jesus and Alatorre Architects

commercial planning residential



PHOTO SIMULATIONS AE'2

8/28/2014

Garaventa Residence 4090 Browning Drive, Concord, CA