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**REGULAR MEETING OF THE  
CITY OF CONCORD  
PLANNING COMMISSION**

**Wednesday, December 3, 2014  
7:00 p.m. – Council Chamber  
1950 Parkside Drive, Concord**

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Planning Commission Members:

Carlyn Obringer, Chair

John Mercurio, Vice Chair

Ernesto A. Avila, Commissioner

Robert Hoag, Commissioner

Tim McGallian, Commissioner

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**REGULAR MEETING  
7:00 p.m. – Council Chamber**

**I. ROLL CALL**

**II. PLEDGE TO THE FLAG**

**III. PUBLIC COMMENT PERIOD**

**IV. COMMISSION APPOINTMENTS**

1. [Nomination of a Planning Commissioner to serve on the Bicycle, Pedestrian, and Safe Routes to Transit Project Advisory Committee.](#)

**V. ADDITIONS / CONTINUANCES / WITHDRAWALS**

**VI. CONSENT CALENDAR**

1. [11/19/14 Meeting Minutes](#)

**VII. PUBLIC HEARINGS**

1. [Oakmont Senior Living](#) (PL1400211 – UP, DR) – Application for a Use Permit and Design Review to construct an approximately 100,000 square foot, 76 unit, senior assisted living facility on a 2.42-acre site located at 1401 Civic Court (formerly 1401 Enea Circle). The General Plan land use designation is Downtown Mixed Use; Zoning classification is DMX (Downtown Mixed Use); APN 126-300-052. Pursuant to the California Environmental Quality Act (CEQA) of 1970, as amended, the project is Categorically Exempt under Section 15332, Class 32 “In-Fill Development Projects,” and no further environmental review is required. **Project Planner: Frank Abejo @ (925) 671-3128.**

**VIII. COMMISSION CONSIDERATIONS****IX. STAFF REPORTS / ANNOUNCEMENTS****X. COMMISSION REPORTS / ANNOUNCEMENTS****XI. FUTURE PUBLIC HEARING ITEMS****XII. ADJOURNMENT**

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**NOTICE TO PUBLIC**

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**ADA ACCOMMODATION**

In accordance with the Americans With Disabilities Act and California Law, it is the policy of the City of Concord to offer its public programs, services and meetings in a manner that is readily accessible to everyone, including those with disabilities. If you are disabled and require a copy of a public hearing notice, or an agenda and/or agenda packet in an appropriate alternative format; or if you require other accommodation, please contact the ADA Coordinator at (925) 671-3031, at least five (5) days in advance of the hearing. Advance notification within this guideline will enable the City to make reasonable arrangements to ensure accessibility.

**APPEALS**

Decisions of the Planning Commission on use permits, variances, major subdivisions, appeals taken from decisions of the Zoning Administrator or staff interpretations of the Zoning Code may be appealed to the City Council. Appeals and the required filing fee must be filed with the City Clerk within ten (10) days of the decision.

**APPLICANT'S SUBMITTAL OF INFORMATION**

Submittal of information by a project applicant subsequent to the distribution of the agenda packet but prior to the public hearing may result in a continuance of the subject agenda item to the next regularly scheduled Planning Commission meeting, if the Commission determines that such late submittal compromises its ability to fully consider and evaluate the project at the time of the public hearing.

**CONSENT CALENDAR**

All matters listed under CONSENT CALENDAR are considered by the Commission to be routing and will be enacted by one motion. There will be no separate discussion of these items unless requested by a Commissioner prior to the time Commission votes on the motion to adopt.

**CORRESPONDENCE**

Correspondence and writings received within 72 hours of the scheduled Planning Commission meeting that constitute a public record under the Public Records Act concerning any matter on the agenda is available for inspection during normal business hours at the Permit Center located at 1950 Parkside Drive, Concord. For additional information contact the Planning Division at (925) 671-3152.

**HEARINGS**

Persons who wish to speak on hearings listed on the agenda will be heard when the hearing is opened, except on hearing items previously heard and closed to public comment. Each public speaker should limit their comments to three (3) minutes or less. The Chair may grant additional time. The project applicant normally shall be the first person to make a presentation when a hearing is opened for public comment. The project applicant's presentation should not exceed ten (10) minutes unless the Chair grants permission for a longer presentation. After the public has commented, the item is closed to further public comment and brought to the Planning Commission level for discussion and action. Further comment from the audience will not be received unless requested by the Commission. No public hearing or hearing shall commence after 11:00 p.m. unless this rule is waived by majority vote of the Commission.

**MEETING RECORDS**

Planning Commission meetings are available for viewing on the City's website, [www.cityofconcord.org](http://www.cityofconcord.org) and at the Concord Public Library. Copies of DVDs of the Planning Commission Meeting are available for purchase. Contact the Planning Division at (925) 671-3152 for further information.

**NOTICE TO THE HEARING IMPAIRED**

The Council Chamber is equipped with Easy Listener Sound Amplifier units for use by the hearing impaired. The units operate in conjunction with the Chamber's sound system. You may request the Easy Listener Phonic Ear Personal Sound Amplifier from the staff for personal use during Commission meetings.

**ROUTINE AGENDA ITEMS AND CONTINUED ITEMS**

All routine and continued items will be considered by the Planning Commission at the beginning of the meeting. There will not be separate discussions of these items unless a request is made prior to the time the Planning Commission considers the motions.

**SPEAKER'S CARD**

Members of the audience who wish to address the Planning Commission should complete a speaker's card available in the lobby or at the front bench. Submit the completed card to staff before the item is called, preferably before the meeting begins.

**TELEVISED MEETINGS**

All Planning Commission meetings are broadcast live on Astound Broadband channel 29 and Comcast channel 28. The meeting is replayed on the Thursday following the meeting at 8:00 a.m., 2:00 p.m. and 8:00 p.m. Replays are also broadcast on Fridays and Saturdays. Please check the City website, <http://www.cityofconcord.org/about/citynews/tvlistings.pdf> or check the channels for broadcast times.

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**NEXT PLANNING COMMISSION MEETINGS:**

December 17, 2014: 7:00 pm – Council Chambers

January 7, 2015: 7:00 pm – Council Chambers

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## REPORT TO PLANNING COMMISSION

DATE: December 3, 2014

**SUBJECT: NOMINATION OF A PLANNING COMMISSIONER TO SERVE ON THE BICYCLE, PEDESTRIAN, AND SAFE ROUTES TO TRANSIT PROJECT ADVISORY COMMITTEE**

**Recommendation:** Staff recommends that the Planning Commission nominate a Commissioner to serve on the Ad Hoc Bicycle, Pedestrian, and Safe Routes to Transit Project Advisory Committee.

**I. Background and Introduction**

The upcoming Bicycle, Pedestrian, and Safe Routes to Transit Master Plan will be used to develop policies and programs that promote safe alternative modes of transportation and help position the City to receive future funding for bicycle and pedestrian projects and roadway improvements to benefit the entire community.

Pursuant to the requirements of the grant funding, the project team consists of a partnership between the City of Concord's Community and Economic Development Department (CED), Contra Costa County Health Services (CCHS) Community Wellness and Prevention Program, and Monument Impact. Staff from CCHS and Monument Impact will assist City staff and the selected consultant with policy development and the public outreach program for the project. The City of Concord is the primary responsible party for the project and the project lead.

As part of the project, staff has recommended to the City Council that an Ad Hoc Plan Advisory Committee be created to provide direction, feedback and insight throughout the Master Plan development process. At Council's suggestion and consensus, it was determined that the composition of the Plan's Advisory Committee should be considered by the Council's Infrastructure and Franchise Committee and that a recommendation from that Committee be brought back to the Council for its determination.

At their meeting held on November 20, 2014, the Infrastructure and Franchise Committee recommended that the Planning Commission nominate and appoint one of their own members to serve on the project's Ad Hoc Plan Advisory Committee (PAC) for the duration of the project. The PAC will provide direction, feedback and insight throughout the plan's development process and is expected to meet on a monthly basis over the course of a 12 to 14 month period. At that meeting, the Committee also recommended that Councilmember Laura Hoffmeister serve as the chair of the PAC and that all meetings be advertised and open to the public.

**II. Discussion**

The planning process is expected to be an open and focused work effort on the part of the Plan Advisory Committee (PAC). The primary role of the PAC will be providing consensus and guidance

on various policy topics related to the plan's development. Meetings will be advertised and open for comment and attendance by members of the public.

Part of the deliberations of the PAC and the development of the Master Plan will be policy recommendations regarding the creation of a permanent Bike and Pedestrian Advisory Committee or similar group, as well as its composition and expectations about its role and function. The City of Concord previously relied upon Contra Costa County's Bicycle and Pedestrian Advisory Committee for this role; however the City is no longer able to do so due to the lack of a Concord resident seated on that Committee. This Plan Advisory Committee may provide this temporary role if needed until a permanent committee is formed at a later date.

The Council Infrastructure and Franchise Committee recommended that the PAC be comprised of one member from the Planning Commission and the Parks, Recreation and Open Space Commission (PROSC) with previous experience and background in City projects and resources. In addition, the Committee also recommended the participation of two "at large" members and two alternates from the community who are particularly interested in advancing bicycle and pedestrian policies, programs and improvements within the City. Recruitment for the "at-large" positions will begin upon final Council determination anticipated on December 9<sup>th</sup>, 2014 and run through January 9<sup>th</sup>, 2015.

The City Council is anticipated to support the recommendation of the Infrastructure and Franchise Committee and finalize the composition of the PAC at their December 9, 2014 meeting. However, due to scheduling conflicts between meeting dates and the upcoming holiday season, staff is requesting that the Planning Commission provide their nomination for the PAC representative prior to the Council meeting on December 9<sup>th</sup>, so as to not delay the formation of the PAC an additional month. By providing a nomination tonight, the PAC could begin meeting as soon as January.

### *Project Consultant*

Alta Planning + Design, Inc. has been recommended as the preferred consultant to assist with the preparation of the plan. The City Council is scheduled to review and award their contract at the City Council meeting on December 9, 2014. Alta completes the project team identified in the work program and grant proposal by providing the necessary technical expertise on transportation planning for bicycle and pedestrian infrastructure. The firm has an excellent reputation in the industry and was one of the first to specialize in bicycle and pedestrian transportation planning.

### *Project Timeline*

With Council approval of a professional services contract with Alta Planning + Design, Inc., work on the preparation of the Bicycle and Pedestrian Master Plan will commence in January. The following is an anticipated timeline for the project:

December 9, 2014:	City Council finalizes the PAC composition and approves a professional services agreement with the preferred consultant, Alta Planning + Design. At-large recruitment effort begins and will run through January 9 <sup>th</sup> , 2015.
First Quarter, 2015:	PAC meetings and public outreach program to continue throughout the year and into 2016.

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- Second Quarter, 2016: Estimated release of final draft Master Plan and CEQA analysis for public comment.
- Summer, 2016: Estimated Planning Commission and Council consideration of Master Plan adoption.

The project's Regional Measure 2 (RM-2) and Transportation Development Act (TDA) grant funds have a limited timeframe, necessitating the timely completion of the project. All of the previously accepted TDA grant funding must be incurred prior to June 30, 2016 and the RM-2 grant requires the project to be completed no later than February 28, 2017.

Staff and the Planning Commission's PAC appointee will be bringing regular updates and presentations regarding the Bicycle, Pedestrian, and Safe Routes to Transit Master Plan to the Planning Commission for future participation and consideration.

### **III. Fiscal Impact**

The Bicycle and Pedestrian Master Plan project is funded by previously allocated grants. The nomination of a Planning Commissioner to serve on the Plan Advisory Committee will have no fiscal impact, as the position is voluntary and will not receive a stipend.

### **IV. Public Contact**

All appropriate public notices of this agenda item have been posted.

### **V. Recommendation**

Staff requests that the Planning Commission nominate one of their members to serve on the Bicycle, Pedestrian, and Safe Routes to Transit Plan Advisory Committee.

Prepared by:



Andrew J. Mogensen, AICP

Principal Planner

[andrew.mogensen@cityofconcord.org](mailto:andrew.mogensen@cityofconcord.org)

REGULAR MEETING OF THE  
CITY OF CONCORD PLANNING COMMISSION  
COUNCIL CHAMBER, 1950 PARKSIDE DRIVE  
CONCORD, CALIFORNIA

**Wednesday, November 19, 2014**

A regular meeting of the Planning Commission, City of Concord, was called to order by Vice Chair Mercurio at 7:03 P.M., Wednesday, November 19, 2014, in the City Council Chamber.

**I. ROLL CALL**

COMMISSIONERS PRESENT: Vice Chair John Mercurio  
Commissioner Ernie Avila  
Commissioner Robert Hoag  
Commissioner Tim McGallian

COMMISSIONER ABSENT: Chair Carlyn Obringer

STAFF PRESENT: Andrew Mogensen, Interim Planning Manager  
Susanne Brown, Senior Assistant City Attorney  
Laura Simpson, Planning Manager  
Joan Ryan, Senior Planner

**II. PLEDGE TO THE FLAG**

Commissioner Avila led the pledge.

**III. PUBLIC COMMENT PERIOD**

No public comment was heard.

**IV. ADDITIONS / CONTINUANCES / WITHDRAWALS**

Staff reported the City of Concord Housing Element Update 2014-2022 public hearing will be moved to the last item on the agenda.

**V. CONSENT CALENDAR**

**APPROVAL OF MINUTES**

Motion was made by Commissioner Avila, and seconded by Commissioner Mercurio to approve the meeting minutes of October 15, 2014. The motion was passed by the following vote:

AYES: Avila, Mercurio, Hoag, McGallian  
 NOES: None  
 ABSTAIN: None  
 ABSENT: Obringer

**VI. COMMISSON CONSIDERATIONS**

None were announced.

**VII. STAFF REPORTS / ANNOUNCEMENTS**

Interim Planning Manager Andrew Mogensen introduced new Planning Manager, Laura Simpson. He also announced the Detroit Avenue Streetscape public workshop was very successful.

**VIII. COMMISSION REPORTS/ANNOUNCEMENTS**

Commissioner Avila mentioned he attended a San Francisco Planning and Urban Research Association lunch.

**IX. FUTURE PUBLIC HEARING ITEMS**

Interim Planning Manager Andrew Mogensen announced the December 3, 2014 meeting will include a senior living facility project.

**X. PUBLIC HEARINGS**

The notice of this public hearing was published in the Contra Costa Times and posted in the City's posting cabinet on November 14, 2014.

**City of Concord Housing Element Update 2014-2022 (PL1400339 - GP) –** City-initiated General Plan Amendment for the City of Concord Housing Element Update 2014-2022. The Housing Element is a required element of the General Plan that includes goals, programs and policies to address the housing needs of the City. The City's existing Housing Element covers the current period of July 1, 2007 to June 30, 2014 and was adopted on November 16, 2010. The Housing Element Update (Update), proposed for adoption covers the next eight (8) year period of 2014 to 2022. The Update identifies and analyzes the existing and projected housing needs for the City based on a Regional Housing Needs Allocation (RHNA) issued by the Association of Bay Area Governments. The Update provides goals, policies and programs and documents programs for the preservation, improvement and development of housing. The Housing Element is mandated under California Government Code Section 65580 and is subject to the review and certification for compliance with State housing element law by the California Department of Housing and Community Development. Pursuant to the

California Environmental Quality Act, an Initial Study was prepared to determine the appropriate environmental document for this project and a Negative Declaration of Environmental Significance has been issued for this project and will be considered concurrently with the review and adoption of the Housing Element Update. **Project Planner: Joan Ryan @ (925) 671-3370.**

Project Planner Joan Ryan presented the staff report.

Public Comment

Woody Karp spoke in favor of the project.

Motion was made by Commissioner Avila and seconded by Commissioner Hoag to approve Planning Commission Resolution No. 14-21PC, recommending City Council adoption of a Negative Declaration and adoption of the Housing Element Update 2014-2022 General Plan Amendment (PL140339-GP) to the Housing Element as Volume V of the 2030 Concord General Plan. The motion passed by the following vote:

AYES: Avila, Hoag, McGallian, Mercurio  
NOES: None  
ABSTAIN: None  
ABSENT: Obringer

***XI. ADJOURNMENT***

Commissioner Hoag moved to adjourn at 7:35 P.M. Commissioner McGallian seconded the motion. Motion to adjourn was passed by unanimous vote of the Commissioners present.

APPROVED:

Andrew J. Mogensen, AICP  
Planning Commission Secretary  
Interim Planning Manager

Transcribed by Grant Spilman,  
Administrative Coordinator



**REPORT TO PLANNING COMMISSION**

DATE: December 3, 2014

**SUBJECT:** Oakmont Senior Living (PL1400211 – UP, DR)

**Recommendation:** Adopt Resolution No. 14-19PC, approving the Oakmont Senior Living Use Permit and Design Review (PL1400211 – UP, DR).

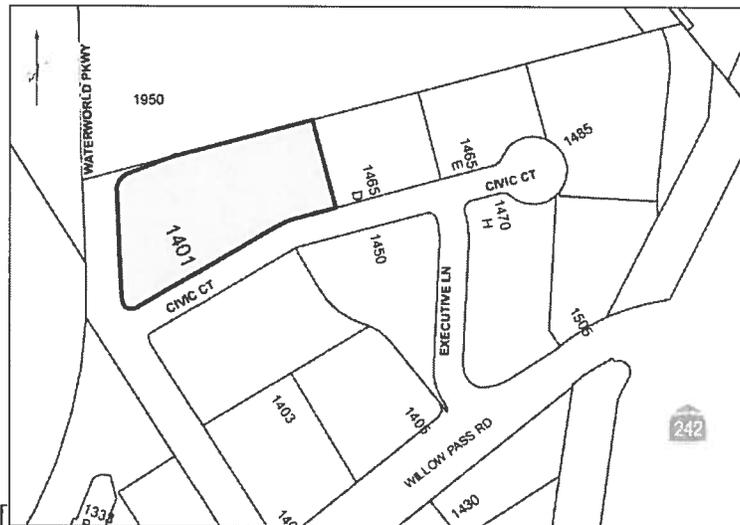
**I. Introduction**

**A. Application Request**

Application for a Use Permit and Design review to construct a 76-unit senior assisted living facility.

**B. Location**

The project site is located at 1401 Civic Court; APN 126-300-052



**C. Applicant**  
William Mabry  
Oakmont Senior Living  
220 Concourse Blvd.  
Santa Rosa, CA 95403

**Owner(s)**  
Carlo Zocchi  
Bay Area Investors  
4080 Port Chicago Highway  
Concord, CA 94520

## **II. Background**

In 2006, the City approved an application by Enea Square Partners and Allied Investments (now “Bay Area Investors”) to develop the 224-unit Palmero Condominiums at 1401 and 1465 Enea Circle (Enea Circle was renamed “Civic Court”). The condominium approval is valid through March 15, 2015, however Enea Square Partners has since sold their property at 1465 Civic Circle and the new property owner and Bay Area Investors have decided not to develop the project.

On May 29, 2014, Oakmont Senior Living submitted a Use Permit and Design Review application to construct an approximately 100,000 square foot, 76-unit senior assisted living facility at 1401 Civic Court. The application was reviewed by the Development Advisory Committee on June 10 and August 19, and deemed complete on October 14, 2014.

The Design Review Board held three design review meetings for the project and recommended Planning Commission approval on July 24, 2014.

A neighborhood meeting was held for the project on June 23, 2014; no neighbors attended the meeting.

## **III. General Information**

### **A. General Plan**

The General Plan designation is Downtown Mixed Use.

### **B. Zoning and Use Classification**

The site is zoned DMX (Downtown Mixed Use). The proposed use is classified as “Residential Facility for Seniors, Assisted Living.” The proposed use allowed in the DMX District with a conditional use permit.

### **C. CEQA Status**

Pursuant to the California Environmental Quality Act (CEQA) of 1970, as amended, the project is Categorically Exempt under Section 15332, Class 32 “In-Fill Development Projects,” and no further environmental review is required.

### **D. Site Description and Surrounding Uses**

The 2.42-acre site is located at the northeast corner of Waterworld Parkway and Civic Court. The site was previously developed with a telephone switching station that was demolished in 2005. Site topography is flat and vegetation consists of ruderal shrubs and weeds. The site is roughly rectangular in shape with its longer sides abutting Waterworld to the north and fronting Civic Court to the south. The site also fronts Waterworld Parkway to the west and abuts an office development to the east.

	Land Use	General Plan Designation	Zoning
North	Waterworld	Downtown Mixed Use	DMX
South	Civic Circle/Offices	Downtown Mixed Use	DMX
East	Offices	Downtown Mixed Use	DMX
West	Waterworld Pkwy./Offices	Downtown Mixed Use	DMX

#### IV. Project Description

The project proposes to construct an approximately 100,000 square foot, 76-unit senior assisted living facility. The facility will offer both individual rooms and apartment-style suites with full kitchens to accommodate seniors in various stages of assisted care. Proposed project amenities and services include private and formal dining rooms, café, entertainment and activity rooms, beauty salon, library, in-house wellness and fitness center, on-call car service, and specialized memory care. The 24-hour facility will have approximately 38 employees consisting of 30 non-administrative staff on morning, afternoon, or evening shift schedules, and eight administrative staff on standard 8 a.m. – 5 p.m. schedules.

##### A. **Development Regulations**

The property is zoned DMX (Downtown Mixed Use). Project conformity to the applicable DMX and general development standards is noted in the following table.

Standards	Proposed	Required
Floor Area Ratio	1.0	1.0 min. – 6.0 max.
Setbacks (minimum)		
Front yard (Waterworld Pkwy.)	50 ft.	10 ft.
Exterior side yards (Civic Ct. and Commerce Ave.)	12 ft.	10 ft.
Rear yard (east)	10 ft.	None
Building Height	36 ft.	30 ft. min./200 ft. max
Parking Spaces	31	N/A*
Bicycle Parking	4	5
Landscaping	43.9% of site	20% of site

\*To be determined through use permit; see Section V-C of this report.

##### B. **Site Planning/Circulation/Parking**

A rectangular building is proposed to fit the shape of the lot. The building is sited away from Waterworld Parkway in order to use the westerly portions of the site for vehicle access and surface parking. A new driveway will be constructed off Waterworld Parkway to access the building's entrance and drop-off/pick up area located at the northwest corner of the site, and

parking areas adjacent to Waterworld Parkway and Civic Court. The driveway transitions into a one-way driveway that exits out to Civic Court.

The site will front Commerce Avenue to the north when the City's Commerce Avenue Extension Project is completed.<sup>1</sup> The applicant will pay for the cost of installation and inspection of Commerce Avenue improvements along the project's frontage, including a 10-foot wide multi-use trail/sidewalk segment of the Mokelumne Aqueduct Trail, in accordance with the Concord Trails Master Plan. Two temporary walkways will be constructed to provide access to Civic Court and Commerce Avenue from two exit doors located on the north side of the building. The walkways will be removed when the Commerce Avenue trail is completed. Two permanent walkways will be constructed to access the building's main entrance from Commerce Avenue and Civic Circle.

The project will provide 31 on-site parking spaces consisting of two handicap spaces, 23 standard parking spaces, and six compact spaces. Street parking is prohibited along the project's frontage, except for a short segment of Civic Court that can accommodate approximately nine on-street parking spaces in front of the project.

#### **C. Building Architecture**

A two-story Mission style building is proposed that the applicant describes as "*residential in character, with architectural elements of sloped roofs covered with mission style clay roof tiles and a stucco body, with visual interest added by the use of shutter and balcony/railing features and stucco capped foam and trim elements.*" Hip roofs are the predominant roof form with gabled pop-outs used to emphasize vertical elements along longer horizontal facades. Building colors consist of dark brown, beige, and an olive-like color that are alternated between body surfaces and trim elements.

#### **D. Landscaping**

The proposed landscape plan features a landscaped courtyard and exterior landscaping including perimeter street trees. Landscaped bioretention facilities will be located within both courtyard and perimeter landscaping areas. The planting plan consists of both low and moderate water usage plants. Trees are mostly 24-inch box in size in addition to a few 36-inch box and 15-gallon trees. Chinese pistache, Valley oak, Western redbud, and elm are among the fifteen different tree specimens proposed. Shrubs will be five-gallon and one-gallon size in addition to a few 15-gallon specimens. Over 30 types of shrubs are proposed including India hawthorn, New Zealand flax, Heavenly bamboo, Escallonia and Azalea.

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<sup>1</sup> Engineering is scheduled to present a plan to the City Council in January 2015 that sets forth the necessary steps to move forward on the Commerce Avenue Extension Project. The plan will be used to apply for Contra Costa Transportation Authority (CCTA) funding for that roadway extension project. The timeline for project construction and completion will be set once the funding request has been sent to CCTA and approved.

**E. Trees**

The project will require removing four on-site trees located along the north property line. The trees are between 3” – 10” in diameter and do not qualify for protected tree status.

**F. Signs**

A ground sign is proposed at the corner of Waterworld Parkway and Civic Circle. The approximately 5’ x 6’ sign will be framed by decorative columns and a trellis that increase the overall dimensions to 6.5’ x 10’. The sign columns and “frame” will have a stucco finish and the sign face consists of brass lettering on a recessed granite tile background. The sign will be illuminated indirectly with ground-mounted lights.

**G. Drainage/Stormwater Plan**

Eleven bio-retention areas located around the building perimeter and interior courtyard are proposed to treat stormwater prior to entering the public storm drain system. The stormwater control/C.3 plan has been reviewed and found to be in substantial conformance with the applicable stormwater/C.3 standards.

**V. Analysis****A. General Plan**

The General Plan’s land use designation for the project site is Downtown Mixed Use. This designation encourages a mix of residential, commercial, and office development that balances jobs and housing opportunities. The project provides special housing needs in an area predominated by office uses, and is thus consistent with the intent of the Downtown Mixed Use designation to establish a mix of uses for the area. Additionally, the project is consistent with General Plan policies encouraging a variety of housing types on infill sites (Policy LU-1.3.1) and locating senior housing developments near shopping and other services, including public transit (Housing Element Program H-3.1.2).

**B. Development Regulations**

As noted in Section IV-A, the project complies with general development standards and DMX District standards that apply to the project with the exception of bicycle parking. Bicycle parking must be provided equal to 15% of automobile parking spaces. Based on the 31 parking spaces proposed, the project must provide at least five bicycle parking spaces where four spaces are proposed. The project will be conditioned to ensure final plans satisfy the bicycle parking requirement.

**C. Site Planning/Circulation/Parking**

The Development Code does not contain a parking standard for assisted living facilities. The required parking is established by use permit on a case-by-case basis. A parking study was

prepared for the project that finds the 31 on-site parking spaces proposed by the project are adequate. The study finds employees and visitors are the main factors in the project's parking demand. Project residents are primarily care dependent seniors who do not drive, however resident parking will be provided if necessary. The facility will have an on-call car service for those residents who do not drive.

Employees include approximately 30 non-administrative staff on morning, afternoon, and evening shift work, and eight administrative staff on a standard 8 a.m. – 5 p.m. schedule. The study estimates 22 staff members during the 2:30 p.m. – 5:00 p.m. maximum work shift. The study surveyed other Oakmont facilities and found that as much as 33% of employees utilized other modes of travel to work other than a single-occupant vehicle. The modes of travel observed include walking, biking, public transit, and rideshare. In this case, the study conservatively applies a 20% reduction in parking demand for employees using alternative modes of transportation. This results in an estimate of 19 parking spaces needed for employees. The study observed an average of two visitors, including health professionals, between one-hour sample periods during morning, afternoon, and evening times at other Oakmont facilities.

The study concludes that approximately 22 spaces are needed to meet the parking demand generated by employees (19 spaces), visitors (two spaces), and Oakmont's on-call car service (one space). The project would provide nine parking spaces in excess of the anticipated employee and visitor parking need, which may be used for resident parking if necessary. The study further notes that the 31 spaces proposed would comply with a parking standard for residential care facilities that is used in cities like Alameda, Corta Madera, Danville, Novato and San Francisco. These cities require three parking spaces for every three beds, or 25 parking spaces for a 76-unit (i.e., 76 bed) facility.

#### **D. Design Review**

The Design Review Board recommended approval of the building architecture, landscape plan and signage on July 24, 2014. The design review process resulted in a number of design enhancements including roof and color changes to emphasize the building's vertical elements and massing, main entry and tower element detailing, and a smaller ground sign. Staff finds the projects meets the required design review findings as set forth in Resolution No. 14-19 PC.

#### **E. Conditions of Approval**

If approved, the project would be subject to the Conditions of Approval (COA) set forth in Attachment 1 of Exhibit A, or as amended by the Planning Commission. As discussed in this report, the project is conditioned to pay its contribution of the construction costs and inspections of Commerce Avenue improvements along the project's frontage (COA #36) and to comply with bicycle parking requirements (COA #32).

The COA lists the applicable permit and impact fees for the project. Condition of Approval #111 requires a Child Care Program fee equal to 0.5 percent of the development cost of a project to be paid prior to occupancy. The fee is used to fund the activities of the Concord

Child Care Program. As the review authority for this project, the Planning Commission may waive, reduce, or allow a fee credit if the applicant demonstrates their project will not have a child care impact, or that their employees are provided a child care benefit program that eliminates, subsidizes, or reduces the need for local child care facilities and programs.

The applicant is requesting a waiver or reduction of the child care fee due to the flexible spending account (FSA) program they offer to their employees. The benefit allows employees to use their own pre-tax dollars to pay for dependent care costs including child care and babysitting.

Staff finds the project does not meet the criteria for a fee waiver or reduction and has included the child care fee as a Condition of Approval. Although the FSA program helps reduce Oakmont employees' childcare costs, it does not eliminate, subsidize, or reduce the need for local child care facilities and programs funded by the Concord Child Care Program.

**VI. Fiscal Impact**

The proposed would have a negligible fiscal impact on the City.

**VII. Public Contact**

Notification was mailed to all owners and occupants of property within three-hundred (300) feet of the subject parcel, and has been published in the Contra Costa Times, as required by the Concord Municipal Code. This item has also been posted at the Civic Center and at the subject site at least 10 days prior to the public hearing.

**VIII. Summary and Recommendations**

Staff finds the project is consistent with the General Plan and complies with the DMX District and development standards that apply to the project. The project will establish a use that promotes the General Plan's vision for a mix of uses for the area, and enhances the site and area with an attractively designed development that was recommended for approval by the Design Review Board. Therefore, staff recommends that the Planning Commission adopt Resolution No. 14-19PC, approving the Oakmont Senior Living Use Permit and Design Review (PL1400211 – UP, DR).

**IX. Motion**

**Project Approvals**

I (Comm. \_\_\_\_\_) hereby move that the Planning Commission adopt Resolution No 14-19PC approving the Oakmont Senior Living Use Permit and Design Review (PL1400211 – UP, DR)., subject to the Conditions of Approval set forth in Attachment 1 to Resolution No. 14-19PC. (Seconded by Comm. \_\_\_\_\_.)

Prepared by: Frank Abejo  
Frank Abejo  
Senior Planner  
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Reviewed by: Laura Simpson  
Laura Simpson  
Planning Manager  
(925) 671-3369  
[laura.simpson@cityofconcord.org](mailto:laura.simpson@cityofconcord.org)

Exhibits:

- A - Resolution No. 14-19PC with Draft Conditions of Approval (Attachment 1)
- B - Applicant's Project Description
- C - Trip Generation and Parking Study
- D - Project plans date-stamped received September 23, 2014



BEFORE THE PLANNING COMMISSION  
OF THE CITY OF CONCORD,  
COUNTY OF CONTRA COSTA, STATE OF CALIFORNIA

A RESOLUTION APPROVING THE OAKMONT  
SENIOR LIVING USE PERMIT AND DESIGN  
REVIEW (PL1400211 – UP, DR)

Resolution No. 14-19 PC

WHEREAS, on May 29, 2014, Oakmont Senior Living LLC, submitted a Use Permit and Design Review application (PL1400211 – UP, DR) to construct a 76-unit senior assisted living facility at 1401 Civic Court, APN 126-300-052; and

WHEREAS, on October 14, 2014, the application was deemed complete for processing; and

WHEREAS, the Planning Commission, after giving all public notices required by State law and the Concord Municipal Code, held a duly noticed public hearing on December 3, 2014 on the subject proposal; and

WHEREAS, the Planning Commission considered all oral and written information, testimony and comments received during the public review process, including information received at the public hearing and the oral and written reports from City staff dated December 3, 2014, as well as other documents contained in the record of proceedings relating to the proposed project, which are maintained at the offices of the City of Concord Planning Division (collectively, “Project Information”); and

WHEREAS, on December 3, 2014, the Planning Commission, after consideration of all Project Information, declared their intent to approve the subject proposal subject to the Conditions of Approval contained herein as Attachment 1.

**NOW, THEREFORE, BE IT RESOLVED AS FOLLOWS:**

CEQA

1. The project is Categorical Exempt pursuant to the California Environmental Quality Act (CEQA) of 1970, Section 15332, Class 32 “In-Fill Development Projects,” because:

- a. The project is consistent with the Concord 2030 Urban Area General Plan and Concord Development Code, as further explained in the Use Permit Findings below;

- b. There is no specific plan applicable to the project site;
- b. The project is located within City limits on a site less than five acres and surrounded by urban uses;
- c. The project site has no value as habitat for endangered, rare, or threatened species;
- d. The project will not result in any significant effects relating to traffic, noise, air quality, or water quality; and
- e. The site can be adequately served by all required public utilities and public services.

2. The project does not present unusual circumstances.

3. There is no reasonable possibility that the proposed project will have a significant effect on the environment due to unusual circumstances.

4. The determination that a categorical exemption applies to the project reflects the independent judgment and analysis of the City as the lead agency.

Use Permit

5. *The proposed use is allowed within the applicable zoning district and complies with all other applicable provisions of the development code and the CMC.* The proposed use is a Residential Facility for Seniors, Assisted Living, which is an allowed use within the DMX (Downtown Mixed Use) Zoning District. The project meets standards for lot area, floor area ratio, setbacks, and building height of DMX zoning, satisfies applicable requirements under Development Code, Division IV, General Development Standards, and complies with all other applicable provisions of the Development Code and Concord Municipal Code.

6. *The proposed use is consistent with the general plan and any applicable specific plan.* The project provides a special housing need in an area predominated by office uses and is thus consistent with the intent of the Downtown Mixed Use designation to establish a mix of residential, commercial, and offices uses for the area. Additionally, the project is consistent with General Plan policies encouraging a variety of housing types on infill sites (Policy LU-1.3.1) and locating senior housing developments near shopping and other services, including

1 public transit (Housing Element Program H-3.1.2).

2 7. *The design, location, size and operating characteristics of the project are compatible*  
3 *with existing and future uses in the vicinity.* The project's design, location, size, and operating  
4 characteristics comply with the applicable standards related to circulation, access, parking,  
5 landscaping, drainage, building design, etc., to ensure compatibility with existing and future  
6 uses in the vicinity.

7 8. *The site is physically suitable for the type, density and intensity of the proposed use,*  
8 *including access, utilities, and absence of physical constraint.* The 2.42-acre site is not  
9 physically constrained and can accommodate up to four times the project's proposed floor area  
10 ratio, and is thus physically suitable for the proposed development. The project will provide  
11 sufficient parking, landscaping, access, utilities (including stormwater treatment areas), and  
12 frontage improvements as required by the applicable codes and regulations to serve the project  
13 site and surrounding area.

14 9. *Granting the permit will not be detrimental to the public health, safety, or welfare of*  
15 *the persons residing or working in the subject neighborhood or materially detrimental or*  
16 *injurious to property or improvements in the vicinity and zoning district where the property is*  
17 *located.* The proposed assisted living facility for seniors is allowed by the DMX (Downtown  
18 Mixed Use) zoning that applies to the property and surrounding areas. The project will not be  
19 detrimental to the public health, safety, or welfare of persons residing or working in the  
20 neighborhood because it will meet or exceed the applicable development standards to ensure  
21 setbacks, landscaping, parking, and other project features are appropriate for the area.

#### 22 Design and Site Development Review

23 10. The project is consistent with the General Plan as explained in finding 6 above.

24 11. The project meets the following criteria in Section 18.415.080 (Design Criteria):

25 a. *The building design and landscaping supports public safety and security by*  
26 *allowing for surveillance of the street by people inside buildings and elsewhere on the*  
27 *site.* The project will have a single point of entry that will be monitored and secured  
28

1 24-hours a day. Building windows will face the streets to allow for surveillance by  
2 people inside the building.

3 *b. The design is compatible with the historical or visual character of any area*  
4 *recognized by the City as having such character. The area is not recognized as a*  
5 *historical, architectural, or scenic area by the City.*

6 *c. The project design preserves major view and vistas along major streets and open*  
7 *spaces and trails and enhances them by providing project amenities. The site and*  
8 *surrounding area is flat and has no topographically significant features, such as valleys,*  
9 *hillsides, and ridgelines that provide scenic views or vistas. The proposed two-story*  
10 *building will not impact existing views from the Walnut Creek Channel Trail.*  
11 *Additionally, the project will construct a portion of the Mokelumne Aqueduct Trail as*  
12 *part of the future Commerce Avenue extension.*

13 *d. The proposed lighting and fixtures are designed to complement on-site buildings,*  
14 *are of an appropriate scale for the development, and provide adequate light for safety*  
15 *and security while minimizing glare. Building-mounted light fixtures are designed to*  
16 *complement the architecture and will include ground-mounted light fixtures to*  
17 *illuminate paths of travel while minimizing glare.*

18 *e. All mechanical, electrical, and utility equipment is located, screened, or*  
19 *incorporated into the design of the buildings so as not to be visible from off-site, and*  
20 *screening devices are consistent with the exterior colors and materials of the buildings.*  
21 *Mechanical and rooftop equipment will be screened by parapets that match the*  
22 *buildings' architecture.*

23 *f. The overall design of the project, including its scale, massing, site plan, exterior*  
24 *design, and landscaping, enhances the appearance and features of the project site and*  
25 *surrounding natural and built environment. The project will enhance the vacant site*  
26 *and surrounding area with a quality-designed building and by constructing*  
27 *improvements such as landscaping, stormwater treatment areas, and new frontage*  
28

1 improvements at Waterworld Parkway and Commerce Avenue.

2 *g. The project design is appropriate to the function of the project and will provide an*  
3 *attractive and comfortable environment for occupants, visitors, and the general*  
4 *community.* The project will provide an attractive and comfortable environment for its  
5 residents, employees, visitors, and the general community with amenities and services  
6 that include private and formal dining rooms, café, entertainment and activity rooms,  
7 beauty salon, library, in-house wellness and fitness center, on-site parking,  
8 landscaping, stormwater treatment areas, and new frontage improvements including  
9 public sidewalks at Waterworld Parkway and Commerce Avenue.

10 *h. The architectural details, colors, materials, and landscaping are internally*  
11 *consistent, fully integrated with one another, and used in a manner that is visually*  
12 *consistent with the proposed architectural design.* Exterior colors and materials  
13 include earth tone browns and green, tile roof, wood shutters, and stone veneer that are  
14 internally consistent and appropriate for the proposed Mission-style building.

15 *i. The project is compatible with neighboring development in the same Zoning*  
16 *District by avoiding large differences in building scale and character and provides a*  
17 *harmonious transition between the proposed project and surrounding development.*  
18 The project is compatible with neighboring development which include low rise, two-  
19 story office buildings similar in scale and character to the project.

20 *j. The project creates an attractive and visually interesting built environment with a*  
21 *variety of building styles and designs, well-articulated structures that present varied*  
22 *building facades, rooflines, and building heights within a unifying context.* Design  
23 changes were made to the building to articulate key elements, vary building mass, and  
24 provide visual interest in a unifying context by adding gable-end pop-outs, widening  
25 hip roof elements, and applying colors and materials to contrast wall surfaces and  
26 varying wall planes.

27 *k. The landscaping is compatible with and enhances the architectural character of the*  
28

1 *buildings and site features, and blends with the surrounding landscape. Landscape*  
2 *elements complement the buildings and rooflines through color, texture, density, and*  
3 *form. Landscaping is in scale with on-site and off-site buildings, and plantings have*  
4 *been selected and located to avoid conflicts with views, lighting, infrastructure,*  
5 *utilities, and signage. The Design Review Board has reviewed the landscape plan and*  
6 *determined that it is compatible with the building architecture.*

7 1. *Stormwater treatment areas have been integrated into the landscape design. The*  
8 *project includes bio-retention areas integrated into the landscape design.*

9 m. *New construction does not need to match existing surrounding development or*  
10 *buildings; however, the design shall complement or enhance existing development.*

11 The proposed building complements existing buildings including adjacent two-story  
12 offices that are similar in scale and mass to the project, and use similar stucco and roof  
13 tile materials.

14 12. *The project complies with the design standards for signs set forth in Development Code*  
15 *Section 18.180.140. The proposed ground sign includes an attractive wood trellis element,*  
16 *stucco body, and colors that are compatible with the building's architecture and exterior*  
17 *materials. Additionally, indirect lighting for the sign will be directed and shielded away from*  
18 *other structures and properties.*

19 13. *The project is consistent with all applicable Design Guidelines adopted by the City*  
20 *Council that are in effect at the time of approval. The project is consistent with the Concord*  
21 *Community Design Guidelines because:*

22 a. The building is designed to minimize its height from distant views with an  
23 attractive four-sided design that includes quality finishes and details.

24 b. The building will screen mechanical equipment with architectural elements that  
25 seamlessly blend with the overall design.

26 c. The building is designed to reflect the rhythm of vertical and horizontal patterns  
27 expressed by existing office buildings in the area, many of which are two-story office  
28

1 buildings.

2 d. Exterior building details provide visually interesting facades by using quality  
3 finishes of varying textures including brick, tile, and stucco, and by providing strong  
4 horizontal and vertical relief with towers, reveals, recesses, and pop-outs.

5 e. The building is sited to maintain the streetscape geometry of buildings parallel to  
6 Civic Court and the future Commerce Avenue extension, and avoids creating  
7 conflicting or arbitrary spaces and building forms.

8 f. The project will provide at least five bicycle parking spaces as required by the  
9 Development Code.

10 g. New lighting will consist of building mounted fixtures that will be screened by  
11 landscaping or are placed a considerable distance from neighboring properties to avoid  
12 light trespass. All new light fixtures will be glare-shielded and directed downward to  
13 further minimize lighting impacts.

14 h. Proposed buildings are articulated to minimize bulk with building off-sets and pop-  
15 outs that break up facades, by tower and gable roof elements to avoid a boxy look, and  
16 by balancing vertical and horizontal architectural elements to create visual interest.

17 i. The building is articulated to minimize mass by drawing attention to smaller-scaled  
18 elements of the building, varying roof heights, and by visually breaking up major  
19 surface planes with architectural elements and different materials.

20 j. Building colors are also used to highlight smaller building elements and transitions  
21 in materials to further minimize building mass.

22 k. Architectural elements such as tower pop-outs create a rhythm that provides visual  
23 interest and variety, and elements that create shadow such as overhangs add visual  
24 relief.

25 l. Durable materials such as stone, tile and stucco are used as appropriate for the  
26 function of the building.

27 m. Tree and shrub plantings are clustered to soften building edges, create strong accent  
28

1 points, and to compliment the function of landscaped stormwater treatment areas.

2 Project Approval

3 14. The Planning Commission finds that the above recitals are accurate and constitute  
4 findings in this matter and, together with the Project Information, serve as an adequate and  
5 appropriate evidentiary basis for the findings and actions set forth in this resolution, and  
6 further makes the following findings:

7 15. The Planning Commission does hereby approve the Oakmont Senior Living Use  
8 Permit and Design Review (PL1400211 – UP, DR) subject to the Conditions of Approval.

9 Effective Date

10 16. In accordance with City of Concord Municipal Code Section 18.500.080, approvals or  
11 other decisions of the Planning Commission shall become effective on the 11th calendar day  
12 following the date the decision is rendered, if no appeal is filed (“Date of Decision”).

13 **PASSED AND ADOPTED** this December 3, 2014, by the following vote:

14 **AYES:** Commissioner -

15 **NOES:** Commissioner -

16 **ABSTAIN:** Commissioner -

17 **ABSENT:** Commissioner -

18  
19 \_\_\_\_\_  
Laura Simpson  
Secretary to the Planning Commission

20 **Attachments:**

21 1 – Draft Conditions of Approval

22 cc: Robert Ovadia, City Engineer  
23 Robert Woods, Building Division  
24 Captain Robert Marshall, Contra Costa County Fire Protection District

**DRAFT CONDITIONS OF APPROVAL  
OAKMONT SENIOR LIVING  
PL1400211 – UP, DR  
1401 CIVIC COURT  
APN: 126-300-052**

**NOTE: Changes and additions to Standard Conditions are highlighted in bold.**

**PERMIT DESCRIPTION**

1. These Conditions apply to and constitute the approval of a **Use Permit** to establish a “Residential Facility for Seniors, Assisted Living” in the DMX (Downtown Mixed Use) district.
2. These Conditions apply to and constitute approval of **Design Review** for building architecture, landscaping, and related site improvements. Exterior building materials and colors shall be in substantial conformance with the approved plans as follows:

<b>Approved and Materials</b>	<b>Manufacturer/Material</b>	<b>Color/Sample No.</b>
Body 1	Stucco 20/30 sand finish	Kelly Moore Sand Pebble #171
Body 2	Stucco 20/30 sand finish	Kelly Moore Villita #136
Trim 1	Stucco	Kelly Moore Navajo White #36
Trim 2	Stucco	Kelly Moore African Plain KM3975-3
Trim 3	Stucco	Kelly Moore Vermeer’s Fields AC 251-5
Shutters	Atlantic Premium wood shutters	041 Walnut
Window Frame	Vinyl	Almond
Roof Material	US Tile “S” type Mission Style Clay Roof Tile	Old World Blend

3. The following Exhibits, date stamped received by the City of Concord, on September 23, 2014, are approved and shall be incorporated as Conditions of Approval.

<b>Plan</b>	<b>Date Prepared</b>	<b>Prepared by</b>	<b>Sheet</b>
Title Sheet	July 1, 2014	Ali Iqbal	A0.1
Building Elevations	July 1, 2014	Ali Iqbal	A1.1
Floor Plan	July 1, 2014	Ali Iqbal	A2.1-A2.2
Roof Plan	July 1, 2014	Ali Iqbal	A2.3
Building Sections	July 1, 2014	Ali Iqbal	A3.3-A3.4
Site Sections	July 1, 2014	Ali Iqbal	A3.5
Landscape Plan	Sept. 19, 2014	Landesign Group	L1-L2
Photometric	Sept. 19, 2014	Landesign Group	L3
Dimensional Site Plan	Sept. 2014	Brelje & Race	C1A-C1B
Preliminary Grading Plan	Sept. 2014	Brelje & Race	C2

Preliminary Utility Plan	Sept. 2014	Brelje & Race	C3
Stormwater Control Plan	Sept. 2014	Brelje & Race	C4

**GENERAL CONDITIONS**

4. The Conditions are the responsibility of the applicant and all contractors. Compliance shall occur as specified in the Conditions or at one of the following project milestones:
  - (a) With the submittal of Grading, Improvement, Landscape, or Building Plans.
  - (b) Prior to issuance of Encroachment, Grading, or Building Permits, whichever comes first.
  - (c) Prior to Construction.
  - (d) On going during Construction.
  - (e) Prior to approval of the Final Map.
  - (f) Prior to occupancy approval.

If timing for compliance is not specified, it shall be determined by the Divisions listed after the Condition. **(PLNG, BLDG, ENGR)**
5. Where a plan or further information is required, it is subject to review and approval by the applicable City Department/Division, as noted at the end of each Condition. The Division listed first shall be the primary contact for implementation of that Condition. **(PLNG, BLDG, ENGR)**
6. The project shall comply with all applicable Federal and State laws and Concord Municipal Code (CMC) requirements. **(PLNG, BLDG, ENGR)**
7. Minor modifications that are found to be in substantial conformance with the approved plans such as colors, plant materials, or minor lot line adjustments, may be approved administratively. Major modifications shall be approved by the applicable decision making body. **All plan modifications shall be listed, described, and Summary of Plan Modifications shall be submitted as part of the Improvement, Landscape, Grading, and Building Permit Plans describing the modification and the reason for the modification. (PLNG, ENGR)**
8. The Conditions of Approval shall be listed on a plan sheet that is included in the construction plan set (Grading, Utility, Landscape and Building Plans). **(PLNG, ENGR)**
9. Two annotated copies of the Conditions of Approval specifying how each applicable condition has been satisfied, shall be submitted as follows:
  - a. At the time Grading, Utility, Landscape, and/or Building Plans are submitted for plan check, whichever comes first.
  - b. Prior to occupancy approval. **(PLNG, ENGR)**
10. Submit three signed copies, one notarized, of the City’s “Property Maintenance Agreement”, to ensure on-going repair, replacement and maintenance of all exterior improvements including buildings, parking areas, private roads, walkways, landscaping, irrigation, signs, fences, walls, and other improvements, prior to issuance of Grading or Building permits, whichever comes first. **(PLNG)**
11. The project site and area surrounding the site shall be fenced and maintained in a weed and litter free condition for the period prior to construction. **(BLDG, PLNG)**

**ARCHITECTURAL**

12. **Final building color scheme shall return to the Design Review Board for approval as a staff report item prior to issuance of Building Permit. (PLNG)**
13. Rooftop equipment (HVAC, meters, refrigeration equipment, plumbing lines, ductwork and transformers), shall not extend above the building parapet and shall be screened from view on all sides with materials architecturally compatible with the main structure. Screening details shall be shown on the Building Plans and submitted for review and approval by the Planning Division, prior to the issuance of Building Permits and installed prior to occupancy approval. *(PLNG)*
14. Vents, gutters, downspouts, flashing, electrical conduits, etc., shall be painted to match the color of the adjacent surface, unless otherwise approved by the Planning Division. *(PLNG)*

**LANDSCAPING**

15. Submit Final Landscape Plans prepared by a Landscape Architect, registered by the State of California, for review and approval with the Grading, Improvement, or Building Plans, whichever comes first. The Plan shall be drawn on or consistent with the Grading, Improvement, Utility, and Stormwater Plans prepared by the Civil Engineer, with the following information:
  - a. A legend that lists all plant species (Latin and common name), including size, quantities, spacing, and ultimate height and width.
  - b. Specifications and details for planting, including staking of trees and planting in bio-retention or other stormwater treatment areas. Plants for bio-retention facilities should be compatible with temporarily flooded conditions.
  - c. Utility and Grading information on the base map, screened back.
  - d. Trees (minimum size 24-inch box) and shrubs (minimum 5-gallon; accent or sub-shrubs may be 1-gallon).
  - e. Root control barriers and four-inch perforated pipes for parking lot trees, street trees, and trees within 6 inch of any paved area or curb.
  - f. Six-inch vertical concrete curbs around landscaped areas.
  - g. A soils and plant laboratory analysis with recommendations for fertilization and mulching to be incorporated into the planting specifications.
  - h. A Layout/Hardscape Plan showing the location and details of all non-plant improvements, with dimensions and call outs, showing finished grades, hardscape/paving treatment, planter details, arbors, trellis', fences, walls, trash enclosures, and other features.
  - i. Details for street trees in accordance with City Standard Plan S-38, "Street Tree Planting Detail". *(PLNG/ENGR)*
16. Submit a Project Landscape Application (PLA) prepared by a Landscape Architect, registered by the State of California, for review and approval with the Grading, Improvement, or Building Plans, whichever comes first. The PLA shall be prepared in accordance with the requirements under Section 18.170.040 of the Concord Development Code. *(PLNG)*
17. All landscaping shall be installed prior to occupancy approval. Contact the Planning Division at least two weeks prior to Occupancy, to request a site inspection of all exterior improvements

including buildings, driveways, parking lots, landscaping, irrigation, signs, lighting, walls, fences, and trash enclosures. *(PLNG)*

18. Prior to occupancy approval, the licensed Landscape Architect shall:
  - a. Conduct a final field observation and an open trench examination of the irrigation system.
  - b. Provide written certification that:
    - i) The landscaping and irrigation system were installed in conformance with the approved Landscape and Irrigation Plans.
    - ii) The landscaping has been installed in accordance with the CCWD Water Conservation Guidelines or the State of California Model Efficiency Water in Landscaping Ordinance.
    - iii) An irrigation audit was performed and deficiencies were listed which will be corrected within 30 days.
    - iv) There will be a minimum 60-day maintenance period for all landscape improvements.
  - c. Provide a signed letter of compliance with the final construction documents stating that the Landscape Architect has met all State and City requirements. *(PLNG)*
  
19. Fences and walls shall be a maximum height of three feet in required front yards and sight visibility triangles, and a maximum height of six feet on side and rear property lines. Fences off-set twenty four inches or greater from retaining walls shall be considered as separate structures. *(PLNG) CMC*

### **LIGHTING**

20. Show all exterior lighting including: building fixtures, walkway lighting, parking lot lighting, and street lights on the Site, Utility, Landscape, and Building Plans, prior to the issuance of any permits. The height and style of fixtures shall be shown. Energy-saving fixtures shall be used and noted on the plans. *(PLNG, ENGR, BLDG)*
  
21. All exterior building and parking lot lighting shall provide illumination for safety and shall be installed in a manner that is glare shielded and directed away from adjacent properties and right-of-ways. *(PLNG)*
  
22. Submit a Photometric Plan for review and approval, showing the location of all light sources, streetlight spacing, intensity of luminance, and uniformity ratio, in accordance with the City's specifications, with the Improvement, Utility, or Building Plans, whichever comes first. The photometric analysis shall be reviewed by Engineering Services for the determination of streetlight spacing. *(ENGR, TRANS, BLDG, PD)*

### **SIGNAGE**

23. A 30 sq. ft. ground sign is approved at the corner of Civic Court and Waterworld Parkway. Construction plans showing details for installation, dimensions, font, logos, materials and colors, including a sample of all materials and colors shall be submitted for review and approval prior to the issuance of a Sign Permit. *(PLNG)*

24. Internally illuminated signs shall have an opaque background, with only individual letters or logos illuminated. **(PLNG)**
25. Pennants, banners, streamers, or flags in connection with special promotions and business openings shall be permitted for a period not to exceed 30 days. The same, different, or similar pennants, banners, streamers, and flags shall not be permitted within 150 calendar days after such removal. No pennants, banners, streamers, balloons, inflatable devices, flags, or any other advertising devices shall be mounted on or above any roof or mansard, or otherwise extend above a parapet wall or ridge of a structure. **(PLNG) CMC**
26. The street address shall be incorporated on the ground sign. **(PLNG, BLDG)**
27. One sign denoting the architect, engineer, or contractor associated with the project may be permitted on site. The maximum sign area shall be 12 sq. ft. within single family districts and 40 sq. ft. for other districts, of which 32 sq.ft. may be for the general contractor. These signs shall be removed upon occupancy approval. **(PLNG) CMC**

#### **PARKING**

28. All parking spaces shall be striped; full-size spaces shall be 9 ft. by 19 ft; compact spaces shall be 8 ft. by 16 ft. Parking spaces abutting a concrete curb for a landscaped planter may overhang into the planter area by two feet. **(PLNG, ENGR) CMC**
29. A screen wall or hedgerow shall be provided at the front end of unenclosed parking stalls, to minimize impacts to neighboring properties. **(PLNG)**
30. A maximum 25% of the required parking spaces may be compact. Compact stalls shall be clearly identified. **(PLNG, ENGR) CMC**
31. Parking shall comply with CMC §122-843, “Off-Street Parking Facilities” including motorcycle and bicycle parking spaces, drive aisle and parking space dimensions, turning radii, back-out dimensions, driveway clearances, landscape median dimensions, and other relevant information. **(ENGR, PLNG) CMC**
32. Provide a minimum five bicycle parking spaces. Facilities may be a freestanding bicycle rack or a wall-mounted bracket, with a stationary object to secure both wheels and the frame of a bicycle with a 6-foot cable and lock. Facilities shall be located in lighted, secure areas, and protected from the weather. The location of bicycle parking facilities shall be shown on the Civil Site, Landscape, and Building Plans as approved by the Planning and Transportation Divisions, prior to issuance of a Grading or Building permit, whichever comes first. **(PLNG, ENGR, TRANS)**
33. Handicapped parking spaces shall comply with Chapter 11 “Site Development Requirements for Handicapped Accessibility” of Title 24 of the California Code of Regulations, and be located as close as possible to the primary entrance. **(BLDG)**

**STREET IMPROVEMENTS**

34. **Construct all improvements along the frontage on Civic Court including but not limited to: driveway removal, ADA compliant frontage including sidewalk, driveway approaches and installation of landscaping and other improvements if required. Striping at the intersection of Waterworld Parkway and Civic Court and other frontage improvements shall conform to the proposed improvement plans by HDR for Commerce Avenue extension and Bridge at Pine Creek project, dated April 2013. Repair/replacement of deficient frontage improvements as determined by the City engineer, prior to occupancy approval or Acceptance of improvements. (ENGR)**
35. **Construct improvements along the frontage on Water World Parkway as indicated in the HDR improvement plans for Commerce Avenue extension and Bridge at Pine Creek project, dated April 2013, including but not limited to: curb, gutter, sidewalk, ADA compliant concrete driveway approach, street lights, landscaping; storm drain system and conform to the existing improvements. Install temporary landscaping between existing curb and proposed curb. The frontage improvement starts from the intersection of Civil Court and Water World Parkway and stops on the south side of the proposed ADA ramp at intersection of Water World Parkway and Commerce Ave. (ENGR)**
36. **The developer shall pay for the cost of installation and inspection of the frontage improvements along Commerce Avenue as shown in HDR plans prior to issuance of any permits. (ENGR)**
37. Any trenching for underground utilities shall comply with the modified City Standard Detail S-17 for pavement repair and possible slurry placement. (ENGR)
38. Construct all public facilities in accordance with the current Americans with Disabilities Act (ADA), including driveways and curb ramps. (ENGR)

**NOISE**

39. Noise producing site preparation and construction activities shall be limited to the days and hours as set forth below:

**Monday through Friday .....7:30 a.m. to 6:00 p.m.**

Construction on Saturdays may be allowed only upon prior approval by the Building, Engineering, and Planning Divisions. No changes to these construction hours shall be allowed without the prior written consent of the City. A contact person shall be available during all construction activities in the evening and on weekends to respond to complaints and take actions necessary to reduce noise. (BLDG, ENGR, PLNG)

**CONSTRUCTION ACTIVITIES**

40. Contact Engineering Services to arrange for a Pre-Construction Meeting prior to issuance of Grading or Building Permits, whichever comes first. (ENGR)

41. Implement a dust and construction noise control plan. Submit the plan to Engineering Services for review and approval prior to issuance of the Grading Permit. **(ENGR)**
42. Construction equipment shall not be serviced at the site at any time. During construction no deliveries shall be made to the site and no delivery vehicles (including gasoline tanker trucks) shall enter the site between 6:00 p.m. and 7:30 a.m. on weekdays, and between 5:00 p.m. and 8:00 a.m. on weekends and federal holidays. Delivery vehicles shall have their engines turned off during unloading. **(BLDG, ENGR, PLNG)**
43. Employ the quietest construction equipment available, to muffle noise from construction equipment and keep all mufflers in good working order in accordance with State law. **(BLDG, ENGR, PLNG)**
44. Implement the following measures during construction:
  - a. Gather all construction debris on a regular basis and place them in a dumpster or other container that is emptied or removed on a weekly basis. When appropriate, use tarps on the ground to collect fallen debris or splatters that could contribute to storm water pollution.
  - b. Remove all dirt, gravel, rubbish, refuse, and green waste from the street pavement, and storm drains adjoining the project site. During wet weather, avoid driving vehicles off paved areas.
  - c. Broom sweep the public street pavement adjoining the project site on a daily basis. Caked-on mud or dirt shall be scraped from these areas before sweeping.
  - d. Install filter materials (e.g., sandbags and filter fabric) at the storm drain inlet nearest the downstream side of the site in order to preclude any debris or dirt from flowing into the City storm drain system. Filter materials shall be maintained and/or replaced as necessary to ensure effectiveness and to prevent street flooding. Dispose of filter particles in an approved trash receptacle.
  - e. Create a contained and covered area on the site for the storage of bags, cement, paints, flammable, oils, fertilizers, pesticides, or any other materials used on the site that have the potential for being discharged to the storm drain system by being windblown or in the event of a material spill.
  - f. Never clean items such as machinery, tools, and brushes or rinse containers in a street, gutter, or storm drain.
  - g. Ensure that concrete, gunite, plaster, or similar supply trucks do not discharge wash water into street gutters or drains. **(ENGR, BLDG)**
45. No equipment shall be started or staging area be established on the streets or the site before or after the specified hours of construction. **(ENGR, BLDG)**
46. Ensure that no debris or construction scrap material is placed on any adjoining lot, open space area, or street, and that any such material stored on an adjoining site shall be completely removed and the site cleaned, prior to occupancy approval. **(ENGR, BLDG)**
47. At no time shall campers, trailers, motor homes, or any other vehicle be used as living or sleeping quarters on the construction site unless authorized for site security. **(ENGR, BLDG)**

48. There shall be no parking of construction equipment or construction worker's vehicles on residential streets at any time; all vehicles shall be maintained on-site. **(ENGR, BLDG)**
49. Portable toilets used during construction shall be kept as far as possible from adjacent properties and shall be emptied on a regular basis as necessary to prevent odor. **(ENGR, BLDG)**
50. Identify truck routes for the import or export of cut/fill material and/or construction debris for review and approval by the City Engineer prior to the issuance of permits. Repair any damage to City streets (private and public) caused by activity associated with this project. **(ENGR)**
51. In the event of the encounter of subsurface materials suspected to be of an archaeological or paleontological nature, all grading and/or excavation shall cease, the find shall be left untouched, and the City Planning Division shall be immediately notified. The County Coroner and the Native American Heritage Commission shall also be notified and the procedures required in CEQA §15064.5 shall be followed. This requirement shall be noted on the Grading and Building Plans, prior to issuance of permits. **(PLNG, ENGR, BLDG)**
52. In the above event, retain a qualified professional archaeologist certified by the Register of Professional Archaeologists or paleontologist with a degree(s) in paleontology or geology, to evaluate and make recommendations as to disposition, mitigation and/or salvage. The recommendation shall be implemented before work may proceed. The applicant shall be responsible for all costs associated with the professional investigation and implementation. **(PLNG, ENGR, BLDG)**

#### **CONSTRUCTION PLAN REVIEW/PRE-PERMIT REQUIREMENTS**

53. Submit two copies of Preliminary Title Report, prepared within three months prior to plan submittal. **(ENGR)**
54. The Improvement Plans shall show frontage improvements including but not limited to: drainage improvements, curb, gutter and sidewalk per City Standard Detail S-10, and driveway construction per City Standard Detail S-14 and repair/replacement of deficient frontage improvements as determined by the City Engineer. Any unusable existing driveway shall be replaced with standard curb, gutter, and sidewalk per S-10 above. Any trenching for utility installation shall comply with the modified City Standard Detail S-17 for pavement repair and possible slurry placement. **(ENGR)**
55. The Improvement Plans shall show plan and profile of all proposed street, drainage and sewer improvements and details for curb, gutter, sidewalk, and driveway construction. **(ENGR)**
56. Design improvements in accordance with the City Standard Plans S-34 and S-36 for sight distance, sidewalk, back up, fencing, geometrics at intersection and corner setback requirements, prior to the Acceptance of Improvements. Plans shall be subject to review and approval by Engineering Services. **(ENGR)**

57. Obtain an Encroachment Permit from the City prior to performing any work within the public right-of-way or public easements. *(ENGR) CMC*

**GRADING/EROSION CONTROL/GEOLOGIC**

58. Submit a geologic investigation to demonstrate that proposed buildings will not be constructed across active faults. A licensed geologist must prepare an evaluation and written report. If an active fault is found, a structure for human occupancy cannot be placed over the trace of the fault and must be set back from the fault (generally 50 feet). *(ENGR)*
59. All grading shall require a Grading and Drainage Plan prepared by a registered Civil Engineer, a Soils Report prepared by a registered Geotechnical Engineer and receipt of a Grading Permit approved by the City Engineer. The Grading Plans and Soils Report shall require review by the City's Geotechnical consultant with all costs to be borne by the applicant. *(ENGR)*
60. Contour grading techniques shall be employed throughout the project to achieve a more natural appearance, even where this will increase the amount of grading. Tops of cuts or toes of fills adjacent to existing public rights-of-way or easements shall be set back two feet minimum from said rights-of-way and easements. All cut-and-fill slopes in excess of five feet in height shall be rounded both horizontally and vertically. *(ENGR)*
61. Grading on adjacent properties shall require written approval from the affected property owners. *(ENGR)*
62. On-site finish grading work shall require drainage to be directed away from all building foundations at a minimum slope of 2 percent and a maximum slope of 20 percent toward approved drainage facilities or swales. Non-paved drainage swales shall have a minimum slope of 1 percent. *(ENGR)*
63. The project engineer shall inspect the finished grading and certify that it conforms to the compaction and elevations shown on the Grading Plan and Soils Report. *(ENGR) CMC*
64. At all times seasonally appropriate erosion control measures shall be implemented per plans approved by the City Engineer for all grading work at all times. Wet season measures shall be in place October through April at a minimum and when rain is otherwise predicted. At the time of approval of the Improvement and/or Grading Plans, an approved Erosion Control Plan prepared by a registered Civil Engineer shall be filed with the City Engineer. *(ENGR)*
65. All graded slopes and stockpiles of loose soil shall be hydromulched/hydroseeded by October of any given year. During grading work between October and April, if rain is forecast, stop all grading work two days before the rain forecast and implement BMPs to insure that the site is protected from erosion. *(ENGR)*
66. Submit Grading, Erosion Control, Improvement, Stormwater Pollution Prevention Plan (SWPPP), and Stormwater Control Plans to Engineering Services for review and approval prior to the issuance of Grading, Encroachment, and Building Permits. Where applicable, evidence of compliance with the State General Construction Permit shall be provided. *(ENGR) CMC*

67. Comply with the applicable provisions of the Grading Ordinance and the Storm Water Management and Discharge Control Ordinance. **(ENGR) CMC**
68. Design improvements in accordance with the City Standard Plans S-34 and S-36 for sight distance, sidewalk, back up, fencing, geometrics at intersection, and corner setback requirements, prior to the acceptance of improvements. Plans shall be subject to review and approval by Engineering Services. **(ENGR) CMC**

### **UTILITIES**

69. New electrical transformers shall be placed underground or screened from view. **(PLNG, ENGR)**
70. No above ground utility facilities/structures shall be located between the face of curb and back of sidewalk in the public right-of-way. **(ENGR)**
71. All new utilities shall be constructed underground prior occupancy approval. **(ENGR)**
72. Comply with the City of Concord sewer design flow criteria and sewer construction requirements of the Central Contra Costa Sanitary District. **(ENGR)**
73. Submit to Engineering Services sanitary sewer calculations with the Improvement Plans stamped and signed by a Registered Civil Engineer for review. **(ENGR)**
74. All existing sanitary sewer pipes traversing the site shall be removed. Details for the pipe removal shall be submitted to Engineering Services prior to the issuance of Construction Permits. Any property presently served by this sewer line shall be provided a side sewer connected to the sewer system with no interruption of service. Necessary rights-of-entry shall be obtained from the affected property owners. **(ENGR)**
75. Submit to Engineering Services a sewer fixture count and square footage of the existing buildings for possible fee credit purposes, prior to demolition. **(ENGR)**
76. Coordinate all facility adjustments, relocations, or additions to utility services with the appropriate utility companies. **(ENGR)**
77. Utility areas, electrical and gas meters shall be architecturally screened from view. **(PLNG)**
78. The location of all outdoor, above-ground and/or at-grade pad mounted transformers, utility equipment, electrical and gas meters, vaults, irrigation control boxes, back flow prevention devices, and the like shall be subject to approval by Planning and Engineering Services prior to the issuance of the Grading or Building Permit, whichever comes first. All such equipment shall be screened from view either architecturally or with landscaping and painted forest green or other approved color as approved by the Planning Division. Any changes to the approved Utility Plans, including location or screening details shall be reviewed and approved by the Planning Division. **(PLNG, ENGR)**

79. Provide cable companies a set of approved site diagrams in electronic format showing the joint trench layout for dry utilities for cable service to be provided to the site. **(ENGR)**
80. Connect all buildings to the sanitary sewer collection facilities of the City, and pay all current sewer connection and service fees prior to occupancy approval. **(ENGR) CMC**
81. Submit proof acceptable to Engineering Services that all work within the existing (new) private waterline easement(s) are reviewed and approved by the easement owner of record. **(ENGR)**

**DRAINAGE/STORMWATER C.3 REQUIREMENTS**

82. Submit a Stormwater Control Plan (SWCP) prepared in accordance with the current Contra Costa Clean Water Program Stormwater C.3 Guidebook for review and approval by Engineering Services prior to issuance of any permit. The SWCP shall be prepared and certified by a Civil Engineer, registered in the State of California, demonstrating an understanding of the design of treatment measures for water quality and groundwater protection principles applicable to the project site. **(ENGR)**
83. Prior to issuance of permits for building, site improvements, or landscaping, applicant shall submit a permit application consistent with the applicant's approved Stormwater Control Plan (SWCP), and include drawings and specifications necessary for construction of site design features, measures to limit directly connected impervious area, pervious pavements, self-retaining areas, treatment BMP's, permanent source control BMP's, and other features that control stormwater flow and potential stormwater pollutants. The Contra Costa Clean Water Program permit application shall include a completed "Construction Plan C.3 Checklist" as described in the Stormwater C.3 Guidebook, and a detailed draft Stormwater BMP Operation and Maintenance Plan consistent with the general O&M plan included in the applicant's approved Stormwater Control Plan. Guidelines for the preparation of Stormwater BMP Operation and Maintenance Plans are in Appendix F of the Stormwater C.3 Guidebook. **(ENGR)**
84. Construct stormwater treatment measures per the approved SWCP prior to occupancy approval. **(ENGR)**
85. Submit a final Stormwater BMP Operation and Maintenance Plan (O&M Plan) in accordance with City of Concord Guidelines, for review and approval by Engineering Services, prior to occupancy approval. This O&M Plan shall incorporate City comments on the draft O&M Plan and any revisions resulting from changes made during construction. The implementation of the O&M Plan shall be the responsibility of the property owner or the HOA where one exists. **(ENGR)**
86. Execute any agreements identified in the SWCP which pertain to the transfer of ownership, right-of-entry for inspection or abatement, and/or long-term maintenance of stormwater treatment or hydrograph modification BMPs, prior to occupancy approval. **(ENGR)**
87. Prevent site drainage from draining across sidewalks and driveways in a concentrated manner. **(ENGR)**

88. Collect and convey all stormwater entering and/or originating from the site to an adequate downstream drainage facility. Submit hydrologic and hydraulic calculations for a 10-year storm with the Improvement Plans to Engineering Services for review and approval. **(ENGR)**
89. Install City of Concord “No Dumping, Drains to Creek” curb marker (English and Spanish version) on all catch basins. **(ENGR)**
90. Include erosion control/storm water quality measures on the final Grading Plan that specifically address measures to prevent soil, dirt, and debris from entering the storm drain system. Such measures may include, but are not limited to, hydroseeding, hay bales, sandbags, and siltation fences and are subject to review and approval of the City Engineer and Director of Building Inspection. If no Grading Plan is required, necessary erosion control/storm water quality measures shall be shown on the Site Plan submitted for an on-site permit, subject to review and approval of the Director of Building Inspection. The applicant shall be responsible for ensuring that the contractor is aware of and implements such measures. **(ENGR, BLDG)**
91. Submit a Construction Best Management Practice (BMP) Program for review and approval by the Engineering Development Services Department prior to issuance of a Building and/or Grading Permit. The general contractor and all subcontractors and suppliers of materials and equipment shall implement these BMPs. Construction site cleanup and control of construction debris shall also be addressed in this program. Failure to comply with the approved construction BMP may result in the issuance of correction notices, citations, or a project stop work order. **(ENGR)**
92. Sweep or vacuum the parking lot(s) a minimum of once a month and prevent the accumulation of litter and debris on the site. Corners and hard to reach areas shall be swept manually. If sidewalks and/or the parking lot are pressure washed, debris must be trapped and collected to prevent entry into the storm drain system. No cleaning agent may be discharged into the storm drain. If any cleaning agent or degreaser is used, wash water shall be collected and discharged to the sanitary sewer, subject to the approval of the Central Contra Costa Sanitary District). **(ENGR)**
93. Ensure that the area surrounding the project such as the streets stay free and clear of construction debris such as silt, dirt, dust, and tracked mud coming in from or in any way related to project construction. Areas that are exposed for extended periods shall be watered regularly to reduce wind erosion. Paved areas and access roads shall be swept on a regular basis. All trucks shall be covered. **(ENGR)**
94. Clean all on-site stormdrain facilities a minimum of twice a year, once immediately prior to October 15 and once in January. Additional cleaning may be required if found necessary by the City Engineer/Director of Building Inspection. **(ENGR, BLDG)**

### **SOLID WASTE/RECYCLING**

95. Comply with CMC Chapter 82, Solid Waste, Article V, Construction and Demolition (C&D) Waste Recycling, Sections 82-114 through 82-126, as applicable. **(BLDG)**

96. Design and implement City approved Source Reduction/Recycling Plan and demonstrate that interior and exterior refuse enclosures have been sufficiently designed and located for the storage and pick up of recyclable materials in accordance with CMC Section 82-83, Source Reduction and Recycling, prior to issuance of a Building Permit. *(PW)*
97. Trash bins and refuse shall be stored within approved trash enclosure and the doors shall be closed at all times except when the bins are being emptied. *(NS)*
98. Comply with the provisions of the CMC, Central Contra Costa Sanitary District and the disposal service regarding enclosure design, access requirements, and the number of required individual refuse receptacles based upon waste pickup schedules. Trash enclosures shall incorporate the following features:
  - a. A concrete pad to prevent damage to asphalt paving.
  - b. A roof and sanitary sewer cleanout, designed to prevent rainwater from penetrating the interior of the enclosure and preclude trash from being blown outside of the bins.
  - c. The cleanout shall connect to a sanitary sewer to prevent contaminated water from entering the storm drain system.
  - d. If any cleaning agent or degreaser is used, wash water must be collected and discharged to the sanitary sewer, subject to the approval of the Central Contra Costa Sanitary District. *(CCCS, ENGR)*
99. Trash enclosures shall incorporate the same architectural treatment, and use the same exterior materials and colors as the main building and shall comply with the Community Design Guidelines, including the following:
  - a. A roof or trellis.
  - b. Masonry, steel or heavy timber walls.
  - c. An interior, poured-in-place curb to prevent damage to the screen walls.
  - d. Doors with external hinges to prevent damage from the receptacle.
  - e. Doors of solid metal or with a metal frame with self-closing latch.
  - f. The height of the enclosure walls and door shall be the same height or higher than the bins within the enclosure. *(PLNG)*

### **AGREEMENTS, FEES, BONDS**

100. All fees noted below are the fees currently in effect as of July 1, 2014 per the Resolution of Fees and Charges. The fees and charges are reviewed annually as part of the budget public hearing process. Fee adjustments are based on a number of factors and vary depending on the type of fee:

**Service-based fees** are adjusted annually based on the San Francisco-San Jose-Oakland Area Consumer Price Index;

**Improvement based fees** (also called impact fees) are adjusted annually based on Engineering News Record Construction Cost Index (San Francisco Bay Area); and the

**Parkland Fee** is adjusted per Section 78-95 of the Concord Municipal Code.

The fees become effective as of the date set forth in Exhibit A of Resolution No. 78-6042, Fees and Charges for Various Municipal Services, as most recently amended and approved by the City Council. Persons interested in how a particular fee is calculated should contact the City Department administering the fee or the Finance Department. **(ENGR)**

101. Provide a **\$5,000** cash deposit to the Planning Division to cover Condition Compliance costs at the time of submittal of plans and documents to Engineering Services or the Building Division for plan check. Planning staff's time will be charged to this deposit for work performed to implement the Conditions of Approval, from the time of project approval to occupancy approval. The deposit will be placed in a refundable account and any unused funds will be returned upon completion. If the initial deposit is insufficient to cover actual costs, an additional deposit will be required. **(PLNG)**
102. Pay a Document Imaging fee to reimburse the City for implementation of the Document Imaging and File Retention programs, prior to issuance of Grading or Building Permits. **(PLNG)**
103. Enter into a Maintenance Agreement acceptable to the City prior to the approval of Final Map, agreeing to provide for proper maintenance of the private street, storm drain outside of the public street right of way, street lights and other privately maintained improvements pursuant to CMC Section 94-33. **(ENGR)**
104. All improvement agreements required in connection with said plans shall be submitted to and approved by the City and other agencies having jurisdiction over said project prior to approval of the Final Map or issuance of the Building or Grading Permit, whichever comes first. **(ENGR)**
105. All required faithful performance bonds and labor materials bonds in a penal amount equal to 100 percent of the approved estimates of construction costs of improvements shall be submitted to and approved by the City and other agencies having jurisdiction prior to approval of the Final Map or issuance of the Building or Grading Permit, whichever comes first. **(ENGR)**
106. Encroachment Permit Application:
  - a. Pay the Filing Fee at the time of submittal of permit application, improvement plans and supporting documents to City Engineering Services for review. The current fee is \$\_\_.
  - b. Provide a restoration security before issuance of the Encroachment Permit. The security shall be in an amount sufficient to restore existing public improvements to a serviceable condition should development improvement activity cause damage. The amount of the security shall be determined by, and be in a form acceptable to the City Engineer.
  - c. Provide a \$10,000 cash deposit to cover Condition Compliance/Mitigation Monitoring costs at the time of submittal of plans and documents to Engineering Services for review. The deposit will be placed in a refundable account. Condition Compliance/Mitigation Monitoring costs will be charged to this deposit over the life of the project permit and mitigation requirements. Any unused funds will be returned at project completion. If the initial deposit is insufficient to cover actual costs, an additional deposit in an amount determined by the City Engineer will be required. **(ENGR)**

107. Grading Permit Application:

- a. Pay Grading Permit Fees at submittal of a Grading Permit application. The current fee is determined based on cubic yardage of cut and fill combined, or at the hourly rate of \$ \_\_\_ if the hourly rate is used.
- b. Provide a \$10,000 cash deposit for Erosion Control prior to issuance of Grading Permit. The deposit will be placed in a refundable account. Any unused funds will be returned at project completion. If the initial deposit is insufficient to cover actual costs, an additional deposit in an amount determined by the City Engineer will be required.
- c. Pay Stockpile and Erosion Control Monitoring fee prior to issuance of Grading Permit. The stockpile and erosion control monitoring fee is currently \$ \_\_\_ per calendar day and is collected for the life of the Grading Permit activity. *(ENGR)*

108. Sewer Connection Permit:

- a. Pay Sanitary Sewer connection fee. The current sewer connection fee is \$ \_\_\_ per single-family dwelling unit and shall be paid prior to approval of the Final Map.
- b. Pay the current sewer service fee prior to approval of the Final Map. The current fee is \$ \_\_\_ per year and is pro-rated by the month that connection is made. *(ENGR)*

109. Traffic Mitigation Fee:

Pay Offsite Street Improvement Program (OSIP) fee less possible fee credit. The OSIP fee shall be the fee in effect at the time of approval of the Final Map. The current OSIP Fee is \$ \_\_\_ per single-family dwelling unit and \$ \_\_\_ per dwelling unit for multi-family structures and shall be paid prior to Acceptance of the Final Map. *(ENGR)*

110. **Pay Child Care Program Fee equal to 0.5 percent of the development cost of a project at the time of issuance of the Certificates of Occupancy. *(BLDG/PLNG)***

**OTHER/MISCELLANEOUS**

111. Contact local postal authorities to get their requirements for mail facilities for the project. The design and location of mail receptacles shall be reviewed and approved by the Planning Division and shown on the Utility, Landscape, and Building Plans, prior to issuance of Grading or Building Permits, whichever comes first. Mail facilities shall be installed prior to occupancy approval. *(PLNG)*
112. **Contact County Connection at (925) 680-2085 for required bus stop improvements along the project frontage(s). Any required bus stop improvements shall be incorporated into the Improvement Plans for review and approval by Current Development – Engineering. *(PLNG/ENGR)***
113. Contact the Geographic Information Systems (GIS) Technician, in the Information Technology Department, (925) 671-3051, for addressing requirements, and coordinate with the Contra Costa Fire Protection District for their approval, prior to issuance of a Building Permit. *(PLNG)*

114. Comply with the requirements of the Contra Costa Fire Protection District. Submit complete sets of plans and specifications to the Fire District for review and approval at:

Contra Costa County Fire Protection District  
2010 Geary Road  
Pleasant Hill, CA 94523

Plan review fees are assessed at that time. The City is not responsible for the collection of fees or enforcement of requirements imposed by the Fire District. **(CCCFIRE)**

115. The applicant shall defend, indemnify and hold harmless the City, its agents, officials, and employees from any claim, action or proceeding brought by a third party to set aside, annul, attack or otherwise void the permit. **(PLNG)**
116. The permit and approval shall expire in *one* year from the date on which they became effective unless construction permits are obtained and work has begun. The effective date of the permit and approval is ***December 15, 2014***. **(PLNG)**
117. A request for a time extension from the expiration date of ***December 15, 2015*** can be considered if an application with required fee is filed at least 45 days before the original expiration date, otherwise a new application is required. A public hearing will be required for all extension applications, except those involving only Design Review. Extensions are not automatically approved. Changes in conditions, City policies, surrounding neighborhood, and other factors permitted to be considered under the law, may require, or permit denial. **(PLNG)**

RECEIVED

MAY 29 2014

PLANNING

OAKMONT of CONCORD  
PROJECT DESCRIPTION

Oakmont Senior Living is submitting an application to expand our assisted living services in Concord. To accomplish this we are proposing to build a new state of the art senior assisted living facility on the vacant parcel located at the northeast corner of Waterworld Parkway and Civic Ct.

The proposed project will operate independently from our Montecito Senior community on Clayton Road. The new facility will offer Seventy Six (76) assisted living units with a wide range of services within a gracious and secure environment. All the units of this senior health care facility will be licensed by the State of California Department of Social Services as a Residential Care Facility for the elderly, classified as "assisted living".

This two story structure will be approximately one hundred and five thousand (105,000) square feet. The building will be designed architecturally from the ground up to provide for the special needs of our seniors. All seventy six rooms will be supplemented with common areas to promote friendships and create a sense of open community.

This community will provide amenities such as private and formal dining rooms, a café, entertainment and activity rooms, beauty salon, library, outside courtyard and more. There will be an in-house wellness and fitness center, and a private Surround-Sound theater. Luxurious comfort will be defined by the fine woodwork, elegant furnishings, artwork, fireplaces, and fresh flowers. Conversation areas are strategically located throughout the building to promote socializing.

In this fully licensed residential care community, residents will receive healthy meals in our dining room, housekeeping, assistance from knowledgeable staff, an emergency response system, programs and health screening. The dining room and exhibition kitchen will be operated like a restaurant directed by a chef. Breakfast is served from 7:00AM to 9:30AM, lunch from 11:30AM to 1:30PM, and dining from 5:00PM to 8:00PM.

Progressive care needs of the residents will be addressed by providing high acuity assisted living in their individual units. This will fulfill our aging-in-place philosophy allowing our residents to stay in their chosen unit. At move-in, the majority of our residents are in their early to late 80's, utilizing a myriad of assisted living services offered within the community. In addition, there will be memory care offered in a specifically designed area for residents with Alzheimer's or Dementia.

Being that our residents do not drive we take care of all their transportation needs by providing small bus and driver along with a to take residents to shops, doctor appointments and community activities. A parking lot consisting of thirty one (31) spaces will accommodate the parking needs for visitor and employees.

Housekeeping services, residential and grounds maintenance, and 24-hour on-site management are among the many amenities that provide peace-of-mind. In addition to our personal service philosophy, we promote intergenerational opportunities and work closely with the community to develop ongoing programs.

Being that this is a licensed facility the property will be operated on a 24-hour basis, seven days a week. The number of employees will fluctuate throughout the day. That being said we anticipate about sixteen employees during the day and evening shifts and three employees for the night shift. All Shifts will not start during the AM/PM peak commute times. The morning shift starts at 6 AM the Afternoon shift will start at 2 PM and the night shift at 10PM. We are proud to say at our existing facility over fifty percent of our employees are residents of Concord. We anticipate the new project will have a similar percentage of employees living in Concord.

Our facility will have little or no impact with regard to:

- Traffic: Low impact, and would not affect the AM/PM peak commute times.
- Schools: All residents are senior citizens; therefore schools are not affected.
- Noise: Probably the least noise of any type of development.

Socially and economically, our proposal provides much needed high quality services for seniors, full time jobs for the local community and will support the local economy.

**ANCILLARY SERVICES**  
**PROVIDED BY THE LOCAL COMMUNITY**

Construction Phase

- Subcontractors, such as
  - Framing
  - Grading
  - Concrete
  - Painters
  - Drywall
  - Roofing
  - Landscaping
  - Masonry
  - Plumbing
  - Electrical
  - HVAC
- Materials suppliers
  - Concrete and gravel
  - Lumber
  - Landscape and nursery
- Industrial equipment rental

Physical Plant

- Landscaping service
- Service companys and supplies
- Pest control
- Window cleaning
- Commercial cleaning services
- Fire sprinkler and alarm maintenance
- Elevator/HVAC maintenance
- Kitchen and culinary supplies

Personal/Business Services

- Food service
- Banking and financial services
- Commercial laundry
- Doctors
- Florist
- Bottled water
- Medical prescriptions
- Massage therapist
- Hairdresser
- Entertainment
- Moving services
- Cable TV
- Auto and van purchase and maintenance
- Chemical and housekeeping supplies
- Exterminator
- Personal care supplies
- Medical equipment purchase and rental
- Newspaper advertising

## EMPLOYMENT NEEDS

We anticipate that the majority of our employees will be hired from within the community.

- Caregivers
- Housekeeping
- Culinary staff
- Nursing staff
- Business Manager
- Office staff
- Marketing
- Maintenance personnel
- Concierge
- Activity Directors

## CRANE TRANSPORTATION GROUP

*Central Valley Office:*  
2621 E. Windrim Court  
Elk Grove, CA 95758  
(916) 647-3406 *phone*  
(916) 647-3408 *fax*

*San Francisco Bay Area Office:*  
6220 Bay View Avenue  
San Pablo, CA 94806  
(510) 236-9375 *phone*  
(510) 236-1091 *fax*

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March 20, 2014 (*Revised 11/24/14*)

Mr. Bill Mabry  
Oakmont Senior Living  
220 Concourse Boulevard  
Santa Rosa, California 95403

**RE: TRIP GENERATION AND PARKING -- PROPOSED OAKMONT ASSISTED LIVING FACILITY – WATERWORLD PARKWAY, CONCORD, CALIFORNIA**

Dear Mr. Mabry:

At your request, Crane Transportation Group has prepared this letter to address weekday vehicle trip generation and parking demand for Oakmont's proposed 76-unit assisted living facility. The facility is proposed to be located in the northeast quadrant of the Waterworld Parkway/Civic Court intersection, a vacant parcel. It would serve individuals in need of a high level of living assistance, and/or memory care. Issues specifically addressed in this letter are as follows:

**Trip Generation:** The proposed assisted care facility would accommodate 76 units; few residents would drive or require automobile storage (parking) on-site.

**Parking Demand:** Parking demand anticipated for the proposed assisted care facility is detailed by the employee shift schedule, projected resident parking and anticipated visitor parking. Parking demand is also addressed in the context of surveys conducted for Oakmont's existing Cardinal Point I and II assisted living facilities in July 2013.

### **I. SETTING**

The project site fronts Waterworld Parkway and Civic Court. The northern site boundary is adjacent the future Commerce Avenue extension.

### **II. SITE PLAN**

The site would be accessed via Waterworld Parkway and Civic Court. The main entrance would be located in the approximate middle of the project's Waterworld Parkway frontage as a right turn only (inbound) driveway. A one-way, outbound driveway would provide access from the site to Civic Court. Thirty-one parking spaces would be provided on-site, accessible via the two driveways. On-site circulation, with front-door, drop-off/pick-up portico, is shown on the site plan. Crosswalks are provided on all legs of the Waterworld Parkway/Civic Court intersection,

and a mid-block crosswalk is provided at the northwestern site boundary, crossing Waterworld Parkway.

### III. TRIP GENERATION

Trip rates utilized in this evaluation are from the traffic engineering profession’s standard source of trip rate data: *Trip Generation – An ITE Informational Report*, 9th Edition, by the Institute of Transportation Engineers, 2012. Table 1 shows expected trip generation.

As shown in Table 1, the proposed 76-unit facility would be expected to generate 202 daily two-way trips (101 inbound and 101 outbound), with 7 inbound and 4 outbound trips during the ambient commute AM peak hour, and 8 inbound and 9 outbound trips during the ambient commute PM peak hour. This type of land use results in very low levels of trip generation.

**Table 1  
TRIP GENERATION**

USE	SIZE OR # UNITS	DAILY 2-WAY TRIPS		AM PEAK HOUR VOLUMES				PM PEAK HOUR VOLUMES			
		RATE	VOL	IN		OUT		IN		OUT	
				RATE	VOL	RATE	VOL	RATE	VOL	RATE	VOL
Assisted Living Facility	76 units	2.66	202	.09	7	.05	4	.10	8	.12	9

Trip Rate Source: *Trip Generation*, 9th Edition, by the Institute of Transportation Engineers 2012  
 Compiled by: Crane Transportation Group

### IV. PARKING DEMAND

The facility would provide assisted living services that are personalized to the individual needs of those who require help with all activities of daily living, such as bathing, dressing, eating, toileting, mobility, and medication management. In assisted living, residents receive three meals a day, housekeeping services, and weekly laundry of linens and personal clothing. Specialized recreational and social programs would be provided.

A typical assisted living resident needs help with at least three or more activities of daily living, and residents who are living in memory care need help with all activities. Also, in a dedicated assisted living and memory care building the social, recreational and dining programs are structured to meet the resident’s needs as residents are less mobile and must make use of more adaptive devices.

Staff comprise the primary parking demand. Table 2 provides a sampling of three weekday time periods when parking demand would likely be greatest.

**Note: the morning and afternoon non-administrative staff shift changes will not coincide with the weekday ambient AM and PM commute peak traffic hours. Shift changes at**

**Oakmont facilities have been observed to occur gradually, with employees arriving and departing over a ½ hour period, rather than in a highly concentrated peak.**

### **Basis of Parking Supply and Demand**

The facility will be in operation on a 24-hour basis, seven days per week. Most residents would require high levels of care, with some requiring memory care assistance. Few of the residents would drive, thus, the demand for parking space for resident car storage would be minimal. The non-administrative staff shift schedule would be 6:00 AM - 2:00 PM (morning shift), 2:00 PM - 10:00 PM (afternoon shift) and 10:00 PM - 6:00 AM (nighttime shift). Non-administrative staff would total 13 for the morning shift, 14 for the afternoon shift, and 3 for the nighttime shift. Eight (8) administrative staff would follow an 8:00 AM - 5:00 PM schedule. Not all staff would be expected to drive to work - some may use nearby transit, and others may combine public transit and walking or bicycle riding. It is expected that many would be dropped off at work (this was observed at Cardinal Point I), and others would rideshare to and from work. July 2013 surveys of the Cardinal Point I facility revealed that 33 percent of morning shift staff used alternative modes of travel to and from work. A bus stop is located near the Willow Pass Road/Waterworld Parkway intersection, a short walk from the site.

The facility would provide car service for its residents, and at any given time, a vehicle would be parked with a driver on call, as needed.

### **Deliveries and Visitors**

- Daily deliveries - produce, bread, milk
- Weekly or monthly deliveries - staples, paper goods, nursing supplies, office supplies, cleaning supplies
- There would be no restrictions on visiting hours. The majority of weekday visits would occur during evenings from 6:00 to 8:00 PM. Although many medical and therapeutic services would be available through the Oakmont staff, a few residents would have in-house visits from aids or therapists, and these would generally occur between 10:00 AM and 2:00 PM. Weekend visits would occur from about 10:00 AM to 6:00 PM.

**Table 2**  
**MAXIMUM WEEKDAY PARKING DEMAND**  
**DURING THREE SAMPLE TIME PERIODS**

<b>STAFF</b>	<b>7:30-8:30 AM</b>	<b>2:30-3:30 PM</b>	<b>5:30-6:30 PM</b>
Administrative	8	8	2
Morning Shift * (6 AM - 2 PM)	10*	0	0
Afternoon Shift * (2 PM – 10 PM)	0	11*	11*
Visitors (including visiting health professionals)	2	2	2
Resident car storage/parking **	3	3	3
Oakmont Service Car (on-call service for all residents)	1	1	1
<b>TOTAL</b>	<b>24</b>	<b>25</b>	<b>19</b>

\* Based upon surveys conducted by Crane Transportation Group in July 2013 for the Cardinal Point I and II Senior and Assisted Living facilities in Alameda, California, 33 percent of employees used modes of travel to work other than a single-occupant vehicle. The modes observed included walking, bicycle, public transit, rideshare and drop-off. To present a conservative analysis, the morning and afternoon shifts are reduced in this table by only 20 percent.

\*\* Demand for resident car storage/parking is anticipated to be minimal, as the majority of residents would not be expected to drive.

Compiled by: Crane Transportation Group, March 2014

## V. PARKING REQUIREMENT

The project would be expected to have sufficient parking with its proposed 31 on-site parking spaces. If parking demand ever exceeds the on-site supply, there are nine nearby on-street spaces, observed to be rarely in use. It is worth noting that there is a 5-story private parking structure serving the nearby office towers located adjacent to the project site, thus, neighboring uses would not be expected to consume the nearby on-street parking. However, the need for supplemental off-site parking is not anticipated.

The City of Concord determines parking space requirements on a case by case basis for this type of land use. For informational purposes, a sampling of parking requirements for residential care facilities and similar land uses for several other Bay Area cities are provided in Table 3.

**Table 3**  
**A SAMPLING OF ASSISTED CARE PARKING REQUIREMENTS**  
**IN BAY AREA CITIES**

<b>Jurisdiction</b>	<b>Facility Type</b>	<b>Parking Requirements</b>
<b>City of Alameda</b>	Residential Care Facility	1 space per 3 beds, plus 1 space per resident manager
	<b>With 76 units (or 76 beds):</b>	<b>26 spaces required</b>
<b>City of Corte Madera</b>	Convalescent hospital or rest home	1 space/3 beds
	<b>With 76 units (or 76 beds):</b>	<b>25 spaces required</b>
<b>City of Danville</b>	Convalescent Home, Rest Home, Nursing Home,	1 space/3 beds
	<b>With 76 units (or 76 beds):</b>	<b>25 spaces required</b>
<b>City of Novato</b>	Residential Care	1 space/3 beds
	<b>With 76 units (or 76 beds):</b>	<b>25 spaces required</b>
<b>City of San Francisco</b>	Group Housing (of any kind)	1 space/3 beds + 1 space for manager
	<b>With 76 units (or 76 beds):</b>	<b>26 spaces required</b>

Compiled by: Crane Transportation Group, October 2013

As can be seen from the above data, the 31 proposed parking spaces would be greater than the number of spaces required by the cities listed above for various types of assisted care (including convalescent and rest home) facilities.

According to the study *Assisted Living Residences: A Study of Traffic and Parking Implications*, prepared by the American Seniors Housing Association, parking demand is low to moderate compared to other housing types. The study cites a parking demand for assisted living facilities as low as 0.22 per unit (the equivalent of 17 spaces for a 76-unit facility). The reason cited for this comparatively low parking requirement is: residents rarely drive, and visitors typically arrive and depart during all hours of the day rather than concentrating during a specific period of the day.

We hope this information is responsive to your needs. Please call if questions arise.

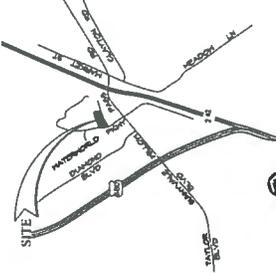
Sincerely,

Carolyn Cole, AICP  
Principal

Mark Crane, P.E.  
Principal

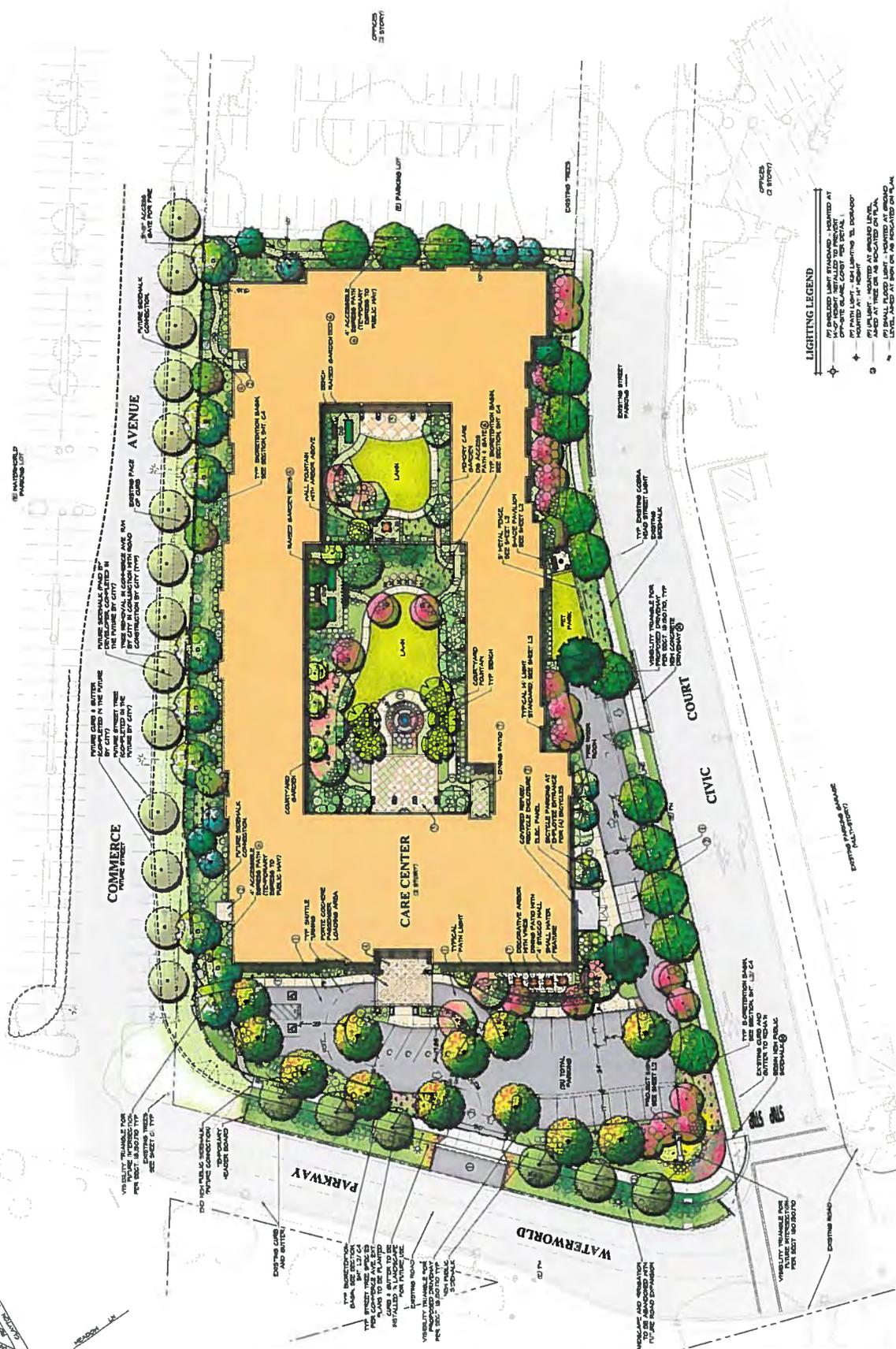
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VICINITY MAP  
NO SCALE

THE LAYOUT AND MATERIALS PLAN FOR THE CARE CENTER AND GARDENS IS SHOWN IN THIS SHEET. THE LAYOUT AND MATERIALS PLAN FOR THE CARE CENTER AND GARDENS IS SHOWN IN THIS SHEET. THE LAYOUT AND MATERIALS PLAN FOR THE CARE CENTER AND GARDENS IS SHOWN IN THIS SHEET.



**SHEET INDEX**

1	LAYOUT & MATERIALS PLAN
2	LANDSCAPE ARCHITECTURE
3	MECHANICAL
4	ELECTRICAL
5	PLUMBING
6	STRUCTURAL
7	FOUNDATION
8	CONCRETE
9	PAVING
10	IRRIGATION
11	LANDSCAPE ARCHITECTURE
12	MECHANICAL
13	ELECTRICAL
14	PLUMBING
15	STRUCTURAL
16	FOUNDATION
17	CONCRETE
18	PAVING
19	IRRIGATION
20	LANDSCAPE ARCHITECTURE

**ABBREVIATIONS**

BT	BOTTOM OF HALL
CH	CHANGING ROOM
CL	CLERK
CO	COFFEE
CP	COMPUTER
CS	COUNSELOR
CT	CENTRAL TREATMENT
CU	CURATOR
DA	DEPARTMENT
DB	DEPARTMENT
DC	DEPARTMENT
DD	DEPARTMENT
DE	DEPARTMENT
DF	DEPARTMENT
DG	DEPARTMENT
DH	DEPARTMENT
DI	DEPARTMENT
DJ	DEPARTMENT
DK	DEPARTMENT
DL	DEPARTMENT
DM	DEPARTMENT
DN	DEPARTMENT
DO	DEPARTMENT
DP	DEPARTMENT
DQ	DEPARTMENT
DR	DEPARTMENT
DS	DEPARTMENT
DT	DEPARTMENT
DU	DEPARTMENT
DV	DEPARTMENT
DW	DEPARTMENT
DX	DEPARTMENT

**SCOPE OF WORK**

PREPARE LAYOUT AND MATERIALS PLAN FOR THE CARE CENTER AND GARDENS. THE LAYOUT AND MATERIALS PLAN FOR THE CARE CENTER AND GARDENS IS SHOWN IN THIS SHEET. THE LAYOUT AND MATERIALS PLAN FOR THE CARE CENTER AND GARDENS IS SHOWN IN THIS SHEET. THE LAYOUT AND MATERIALS PLAN FOR THE CARE CENTER AND GARDENS IS SHOWN IN THIS SHEET.

**PAVING LEGEND**

1	ASPHALT DRIVE AND SIDEWALK
2	CONCRETE DRIVE AND SIDEWALK
3	CONCRETE DRIVE AND SIDEWALK
4	CONCRETE DRIVE AND SIDEWALK
5	CONCRETE DRIVE AND SIDEWALK
6	CONCRETE DRIVE AND SIDEWALK
7	CONCRETE DRIVE AND SIDEWALK
8	CONCRETE DRIVE AND SIDEWALK
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15	CONCRETE DRIVE AND SIDEWALK
16	CONCRETE DRIVE AND SIDEWALK
17	CONCRETE DRIVE AND SIDEWALK
18	CONCRETE DRIVE AND SIDEWALK
19	CONCRETE DRIVE AND SIDEWALK
20	CONCRETE DRIVE AND SIDEWALK

**LIGHTING LEGEND**

1	STREET LIGHT
2	STREET LIGHT
3	STREET LIGHT
4	STREET LIGHT
5	STREET LIGHT
6	STREET LIGHT
7	STREET LIGHT
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15	STREET LIGHT
16	STREET LIGHT
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18	STREET LIGHT
19	STREET LIGHT
20	STREET LIGHT

LAND DESIGN GROUP  
144 GRAVENSTEN HWY, N. SEBASTOPOL, CA  
(707) 829-2300  
BREIJE & RACE CONSULTING ENGINEERS  
475 AVIATION BLVD. SANTA ROSA, CA  
(707) 576-1322

OAKMONT OF CONCORD  
1401 CIVIC COURT  
CONCORD, CALIFORNIA

LAYOUT & MATERIALS PLAN

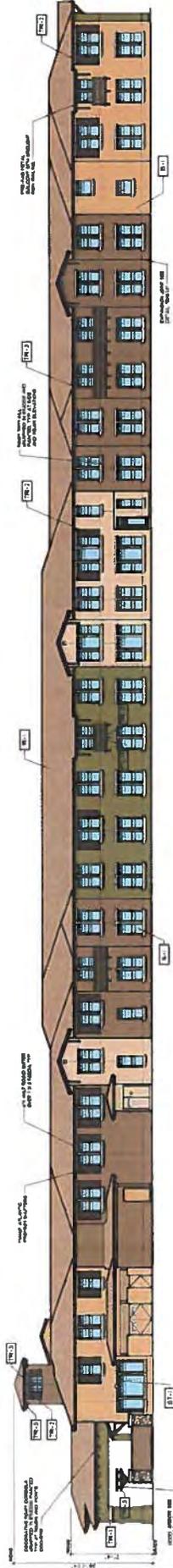
OAKMONT SENIOR LIVING



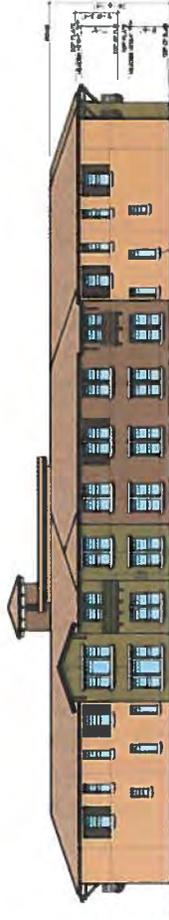




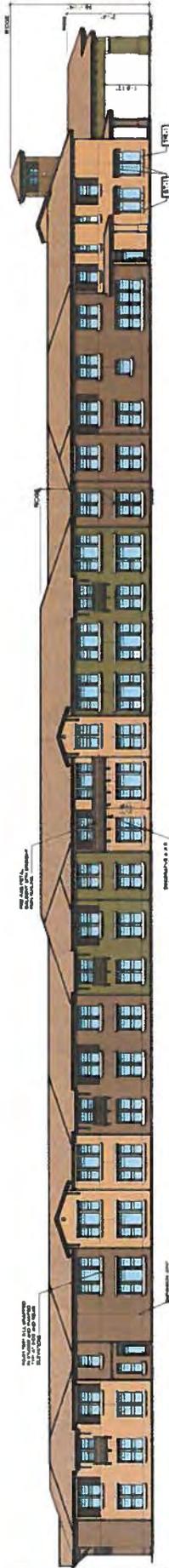
WEST ELEVATION  
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SOUTH ELEVATION  
SCALE: 3/32" = 1'-0"



EAST ELEVATION  
SCALE: 3/32" = 1'-0"

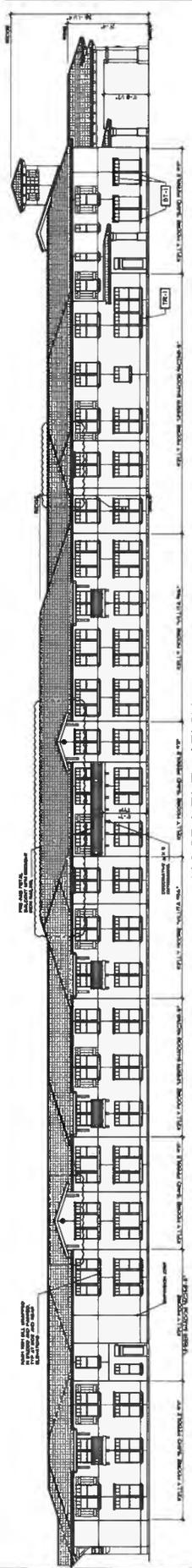
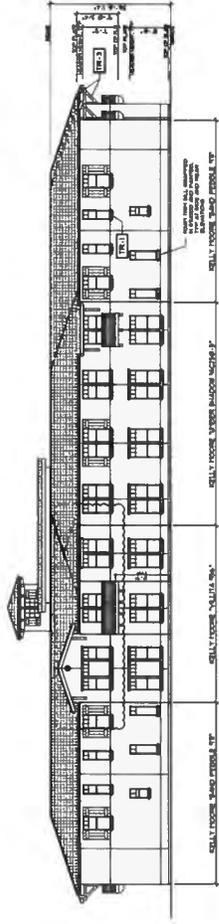
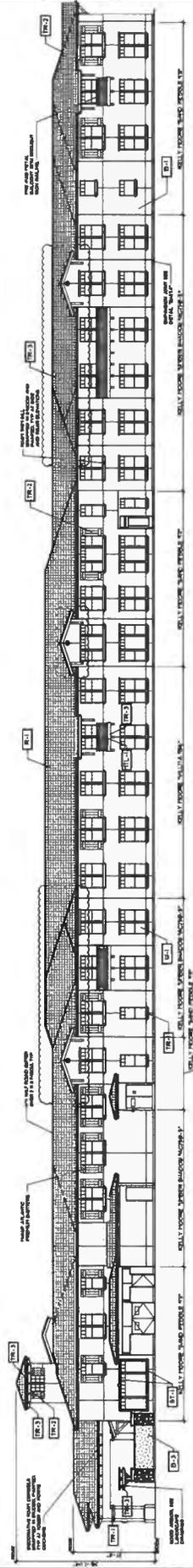
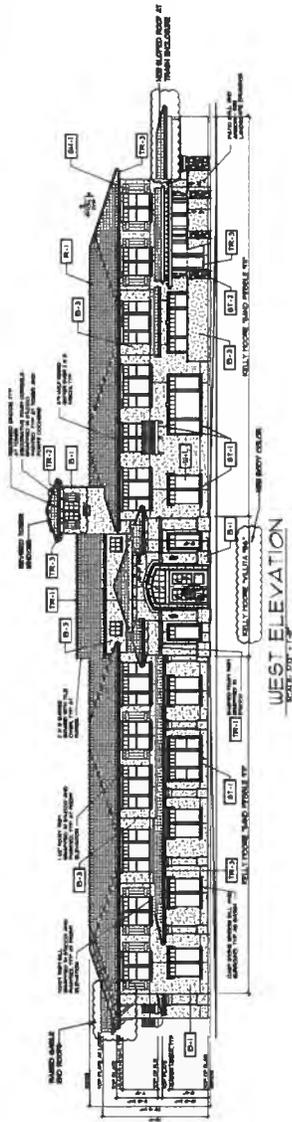


NORTH ELEVATION  
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COLOR AND MATERIAL SCHEDULE

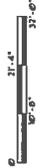
NO.	DESCRIPTION	FINISH
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E-2	WOOD	WOOD
E-3	GLASS	GLASS
E-4	CONCRETE	CONCRETE
E-5	ROOFING	ROOFING
E-6	PAINT	PAINT
E-7	IRON	IRON
E-8	STEEL	STEEL
E-9	ALUMINUM	ALUMINUM
E-10	BRASS	BRASS
E-11	COPPER	COPPER
E-12	LEAD	LEAD
E-13	ZINC	ZINC
E-14	STAINLESS STEEL	STAINLESS STEEL
E-15	GLASS BLOCK	GLASS BLOCK
E-16	GLASS CURTAIN WALL	GLASS CURTAIN WALL
E-17	GLASS DOOR	GLASS DOOR
E-18	GLASS WINDOW	GLASS WINDOW
E-19	GLASS PARTITION	GLASS PARTITION
E-20	GLASS RAILING	GLASS RAILING
E-21	GLASS BALCONY	GLASS BALCONY
E-22	GLASS STAIR	GLASS STAIR
E-23	GLASS ELEVATOR	GLASS ELEVATOR
E-24	GLASS SIGN	GLASS SIGN
E-25	GLASS LETTER	GLASS LETTER
E-26	GLASS MIRROR	GLASS MIRROR
E-27	GLASS DISPLAY	GLASS DISPLAY
E-28	GLASS PARTITION	GLASS PARTITION
E-29	GLASS RAILING	GLASS RAILING
E-30	GLASS BALCONY	GLASS BALCONY
E-31	GLASS STAIR	GLASS STAIR
E-32	GLASS ELEVATOR	GLASS ELEVATOR
E-33	GLASS SIGN	GLASS SIGN
E-34	GLASS LETTER	GLASS LETTER
E-35	GLASS MIRROR	GLASS MIRROR
E-36	GLASS DISPLAY	GLASS DISPLAY
E-37	GLASS PARTITION	GLASS PARTITION
E-38	GLASS RAILING	GLASS RAILING
E-39	GLASS BALCONY	GLASS BALCONY
E-40	GLASS STAIR	GLASS STAIR
E-41	GLASS ELEVATOR	GLASS ELEVATOR
E-42	GLASS SIGN	GLASS SIGN
E-43	GLASS LETTER	GLASS LETTER
E-44	GLASS MIRROR	GLASS MIRROR
E-45	GLASS DISPLAY	GLASS DISPLAY
E-46	GLASS PARTITION	GLASS PARTITION
E-47	GLASS RAILING	GLASS RAILING
E-48	GLASS BALCONY	GLASS BALCONY
E-49	GLASS STAIR	GLASS STAIR
E-50	GLASS ELEVATOR	GLASS ELEVATOR





**COLOR AND MATERIAL SCHEDULE**

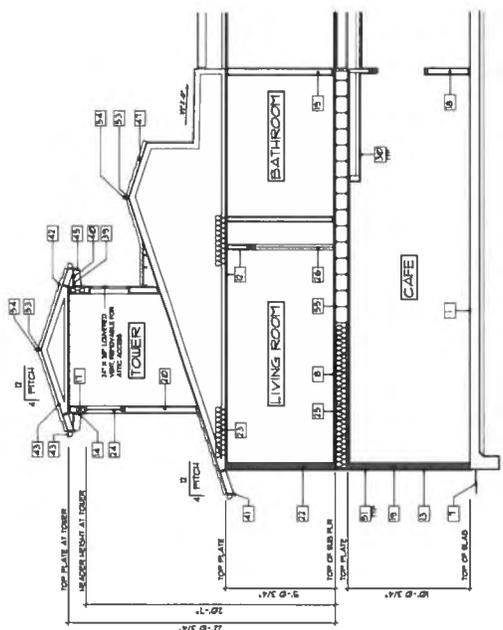
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E-3	WOOD TRIM	WOOD	STAINED
E-4	WOOD TRIM	WOOD	STAINED
E-5	WOOD TRIM	WOOD	STAINED
E-6	WOOD TRIM	WOOD	STAINED
E-7	WOOD TRIM	WOOD	STAINED
E-8	WOOD TRIM	WOOD	STAINED
E-9	WOOD TRIM	WOOD	STAINED
E-10	WOOD TRIM	WOOD	STAINED
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E-100	WOOD TRIM	WOOD	STAINED



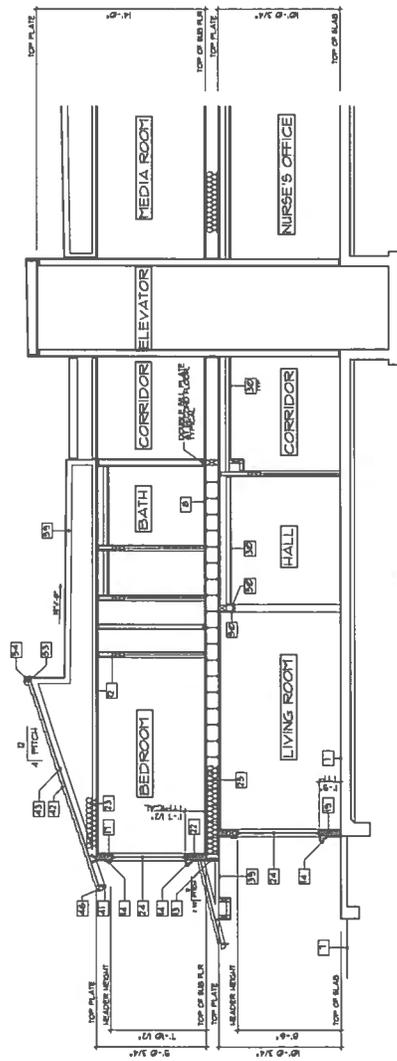








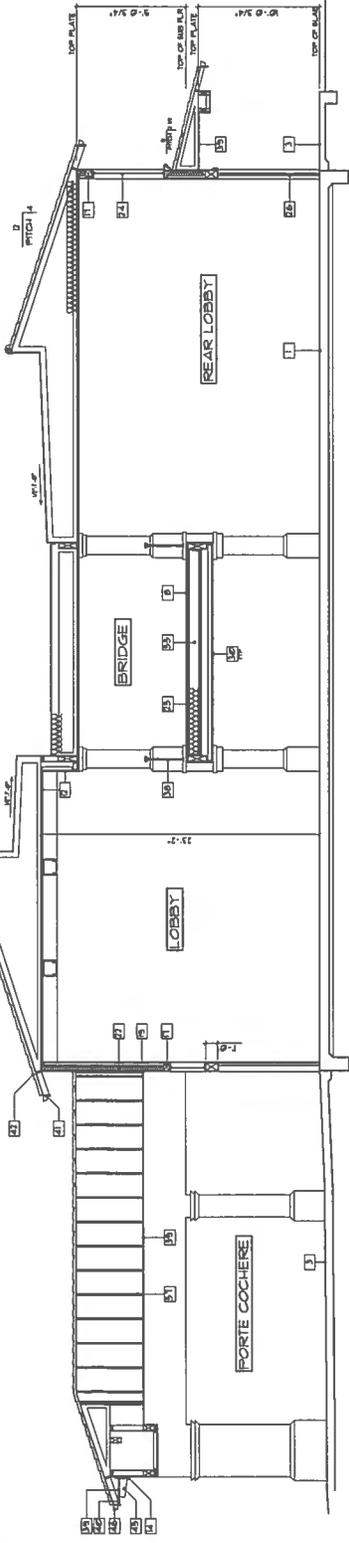
SECTION B-B  
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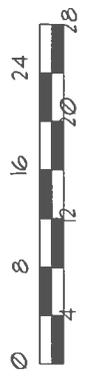
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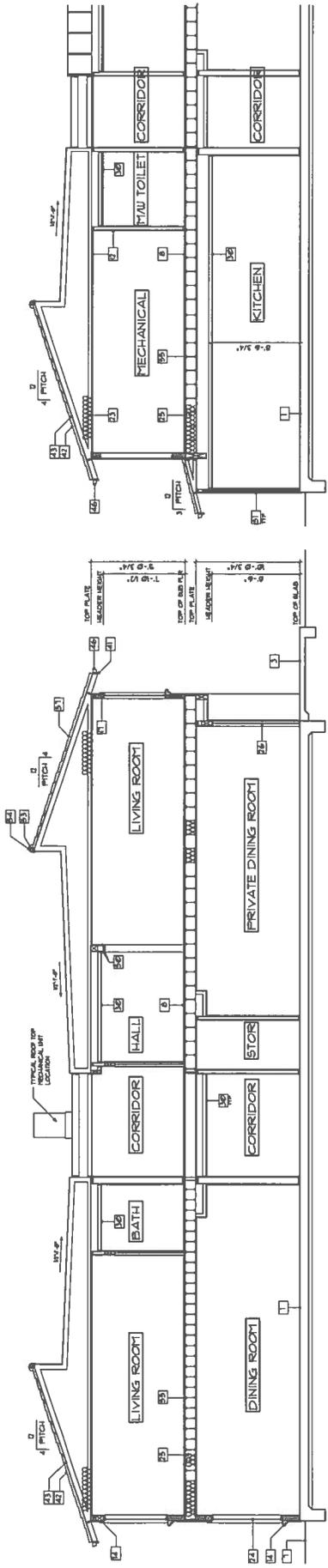
SECTION NOTES:

1. CONCRETE SLAB S.A.D.
2. FINISH GRADE (SLOPE 1/4" PER 1'-0" MIN)
3. FINISH GRADE (SLOPE 1/4" PER 1'-0" AWAY FROM)
4. FLOOR FINISH MATERIAL (PER PLAN)
5. FLOOR FINISH MATERIALS AND CEILING (TYPICAL) SEE GENERAL NOTE #1
6. EXTERIOR GRADE PLASTER (3 COAT 1/2" THICK OVER BARRIER OVER STRUCTURAL BEARINGS (WHERE OCCURS)) (SEE EXTERIOR ELEVATIONS)
7. HEADER S.A.D.
8. 2" x 4" SOUD STUDS @ 16" O.C.
9. 2" x 8" SOUD STUDS @ 16" O.C.
10. 2" x 8" SOUD STUDS @ 16" O.C.
11. WALLS (TYPICAL) BATT INSULATION @ 2" x 8" EXTERIOR
12. R-30 INSULATION OR EQUAL ABOVE CEILING TYPICAL
13. R-15 INSULATION BETWEEN FLOORS (TYPICAL PER ENERGY CODE)
14. 3/8" GYP BOARD @ 1/2" DRYPWALL SUSPENSION
15. 3/8" GYP BOARD @ 1/2" DRYPWALL SUSPENSION
16. 3/8" GYP BOARD @ 1/2" DRYPWALL SUSPENSION
17. 3/8" GYP BOARD @ 1/2" DRYPWALL SUSPENSION
18. UNGRADED (FOR GUARDRAIL PER INTERIOR ELEVATIONS)
19. EXTERIOR GRADE PLASTER AT GORILLA CALCULATIONS
20. 1/2" MASONRY CLAY TILE ROOFING OVER 1 LAYER 3/8" FELT INSTALL PER MANUFACTURERS AND MANUFACTURER
21. ROOF BEATING (S.A.D) WITH FIRE-ATTACHED JOINTANT BARRIER OVER PRE-FAB TRUSSES @ 14" O.C.
22. CORNELL (SEE EXTERIOR ELEVATIONS FOR PLACEMENT)
23. GUTTER (SEE EXTERIOR ELEVATIONS FOR PLACEMENT)
24. 1/2" PL WOOD SHEATHING BOTH SIDES OF 2" x 4" PL WOOD BRACING WHERE OCCURS, S.A.D.
25. 2" RIGID WALKER (MINIMUM WALKER SIZE PRIOR TO ON ROOF SLOPE SEE DRAWING)
26. ROOF TILE SET IN NOTCHES (INSTALL PER MANUFACTURERS)
27. TYPICAL FLOOR FINISH MATERIAL: 1/2" SELF-LEVELING CONCRETE TOPPING SLAB
28. MANUFACTURED ROOF TRUSSES AT 24" O.C. SEE S.A.D.

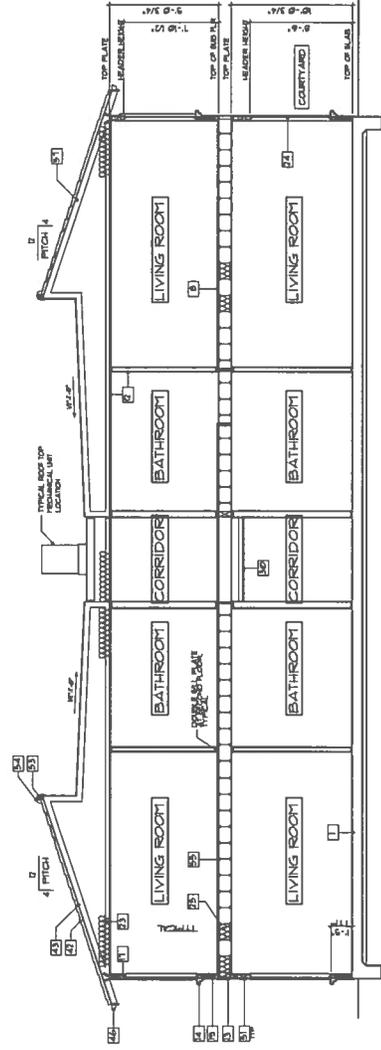


SECTION C-C  
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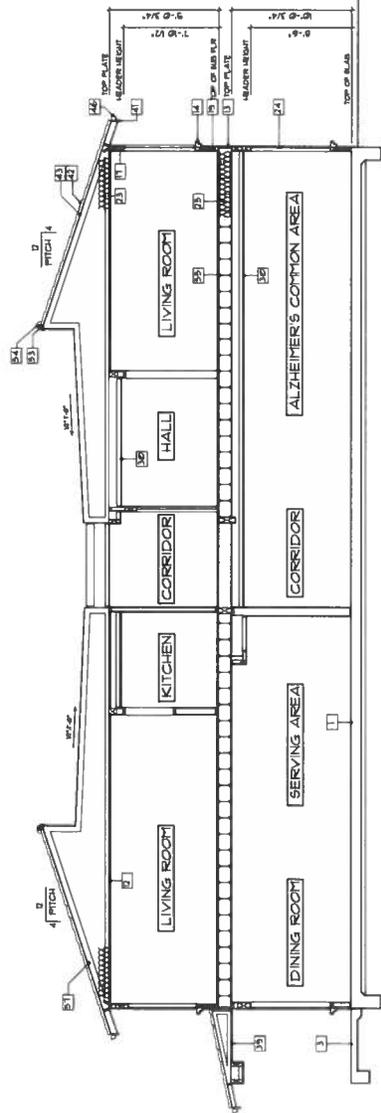
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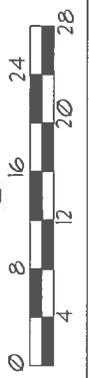
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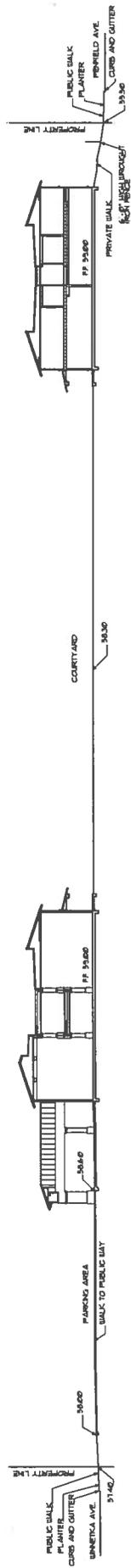
- SECTION NOTES:**
- CONCRETE SLAB, B.S.D.
  - 1" COMPRESSED CONCRETE (PER PLAN)
  - FINISH GRADE (SLOPE 1/4" PER 1'-0" AWAY FROM)
  - FLOOR FINISH MATERIAL (PER PLAN)
  - WALL FINISH MATERIAL (PER PLAN)
  - GENERAL NOTE: WALLS AND CEILING (TYPICAL) SEE EXTERIOR GRADE PLASTER (3 COAT, 1/2" THICK OVER BARRIER OVER STRUCTURAL BREATHING (USING OCCURS) (SEE EXTERIOR ELEVATIONS).
  - HEADER, B.S.D.
  - 2 x 4 WOOD STUDS @ 16" O.C.
  - 2 x 6 WOOD STUDS @ 16" O.C.
  - 2 x 6 WOOD STUDS @ 16" O.C.
  - WALLS (TYPICAL)
  - R-30 INSULATION OR EQUAL ABOVE CEILING TYPICAL
  - R-19 INSULATION BETWEEN FLOORS (TYPICAL PER ENERGY CALC.)
  - 2x6 GYP BOARD ON (80) DIRTWALL SUBSTRON
  - 2x6 GYP BOARD ON (80) DIRTWALL SUBSTRON
  - DRYWALL CEILING, SEE 413 FOR ISO DETAIL.
  - UPROUGHT IRON GUARDRAIL PER INTERIOR ELEVATIONS.
  - EXTERIOR GRADE PLASTER AT SOFFITS.
  - CALCULATIONS.
  - 1/2" FACED CLAY TILE ROOFING OVER 1" LAYER 3/8" FELT, INSTALL PER MANUFACTURER'S AND MANUFACTURER.
  - ROOF BREATHING (B.S.D.) WITH PRE-ATTACHED RADIANT BARRIER OVER PRE-INS TRUSSES @ 24" O.C.
  - CORBEL (SEE EXTERIOR ELEVATION FOR PLACEMENT AND GIRT GITTER) (SEE EXTERIOR ELEVATIONS FOR PAINT AND SPOD ROOF).
  - 17" PLYWOOD SHEATHING, BOTH SIDES @ 2 x 4.
  - PLYWOOD SHEATHING SHEARS OCCURS, B.S.D.
  - 1" RIDGE MAILER N/VERT MAILER SIZE PRIOR TO ON ROOF SLOPE. SEE "W/AT" FOR VERT DETAILING.
  - MANUFACTURE SET FLOORING FINISH PER MANUFACTURER'S INSTRUCTIONS.
  - TYPICAL FLOOR FINISHING ASSEMBLY: 1/2" WOOD 1" GYP BOARD ON (80) DIRTWALL SUBSTRON WITH 1/2" SELF-LEVELING MANUFACTURED ROOF TRUSSES AT 24" O.C. SEE B.S.D.

SECTION F-F  
SCALE: 1/4" = 1'-0"

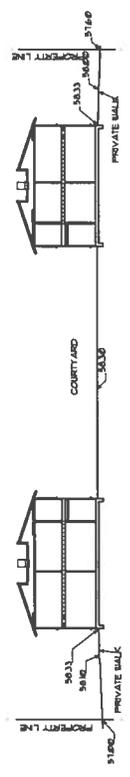


SECTION G-G  
SCALE: 1/4" = 1'-0"





SITE SECTION A-A  
 SCALE: 1/16" = 1'-0"



SITE SECTION B-B  
 SCALE: 1/16" = 1'-0"







NO.	DATE	DESCRIPTION

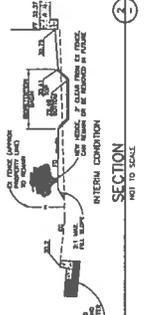
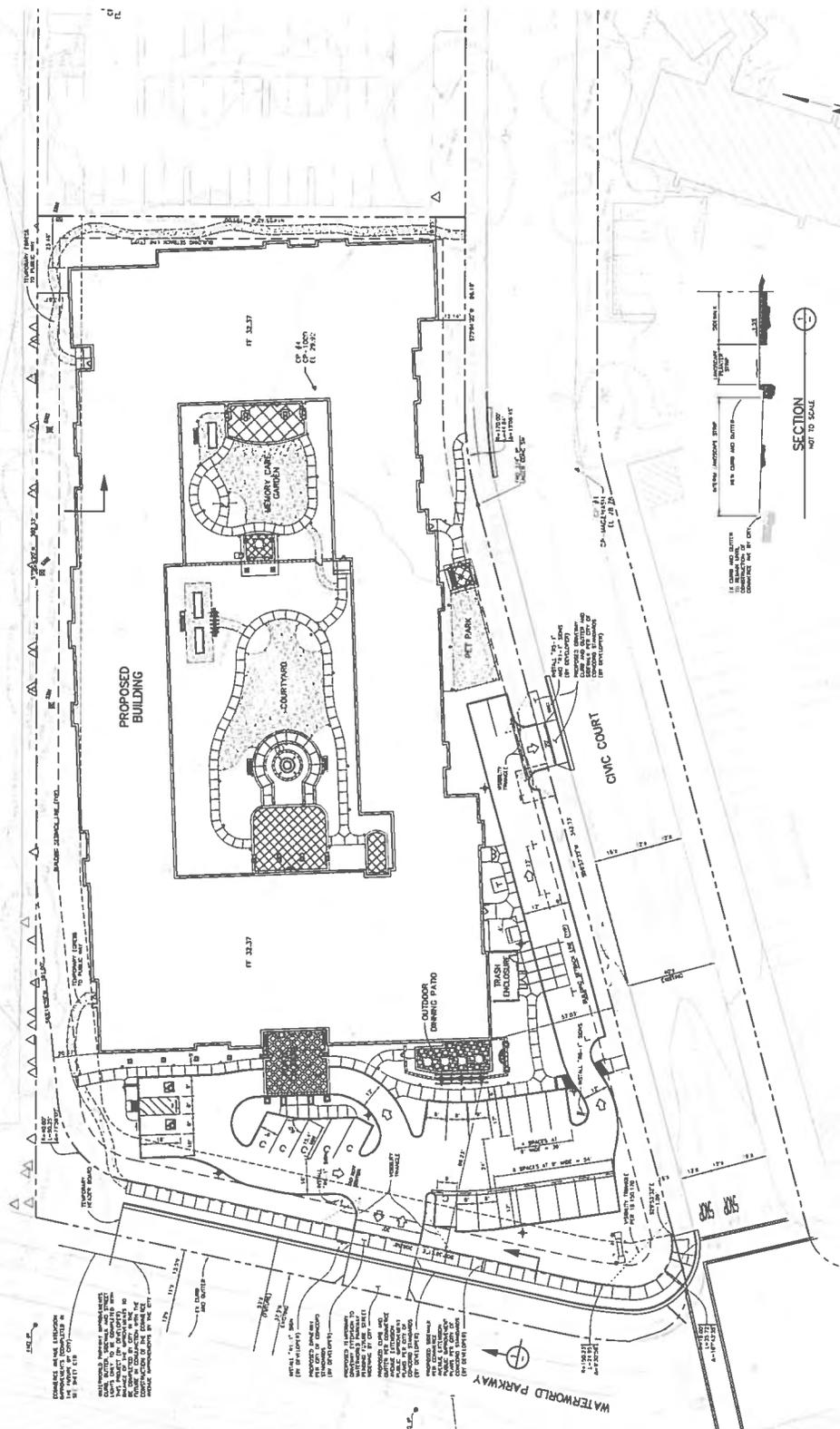
OWNER: OAKMONT OF CONCORD  
 ARCHITECT: [Faded]  
 ENGINEER: [Faded]

PROJECT: CIVIC COURT  
 DATE: OCTOBER 2011  
 DRAWN BY: [Faded]  
 CHECKED BY: [Faded]

DIMENSIONAL  
 SITE PLAN -  
 INTERIM  
 CONDITION

SHEET NO. **C1A** OF **7**

COMMERCE AVENUE  
 (FUTURE BY CITY)



**TREE REMOVAL LIST**

DATE	REASON	REMOVAL METHOD
1/1/11	1" DBH	1" DBH
1/1/11	2" DBH	2" DBH
1/1/11	3" DBH	3" DBH
1/1/11	4" DBH	4" DBH
1/1/11	5" DBH	5" DBH

11. 2011



OAKMONT  
 OF  
 CONCORD  
 CIVIC COURT  
 CONCORD, CALIFORNIA

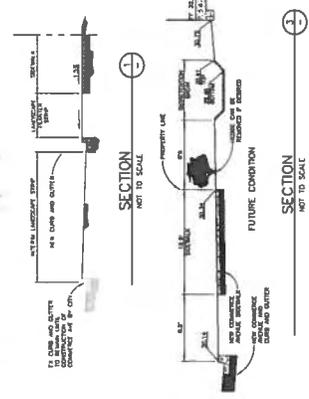
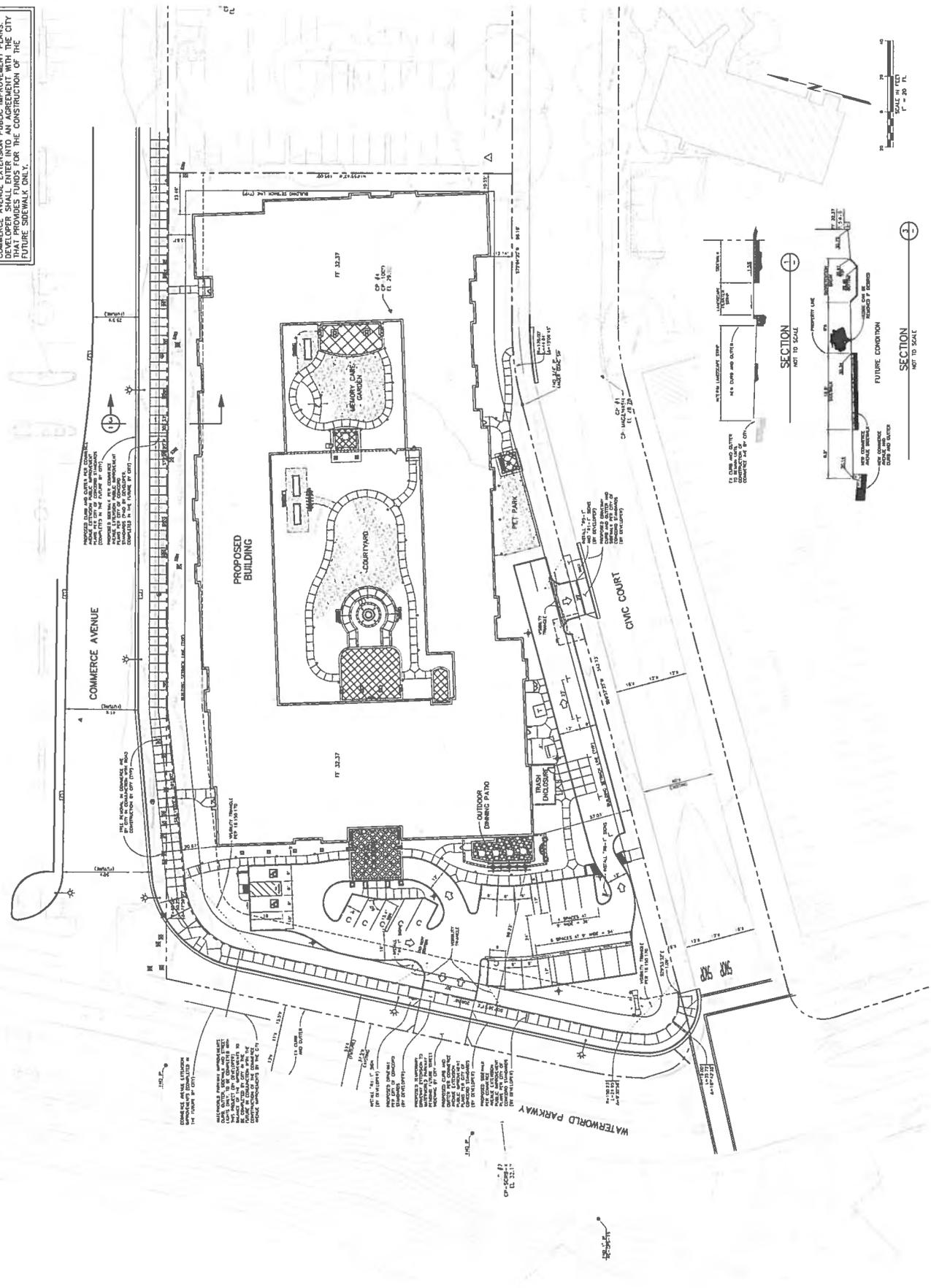
NO.	DATE	DESCRIPTION

PROJECT: OAKMONT OF CONCORD  
 DATE: OCTOBER 2014  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]

DIMENSIONAL  
 SITE PLAN -  
 FUTURE  
 CONDITION

SHEET NO. **C1B of 7**

IMPROVEMENTS SHOWN NORTH OF THE PROPERTY LINE WILL BE THE RESPONSIBILITY OF THE CITY OF CONCORD. THE DEVELOPER SHALL ENTER INTO AN AGREEMENT WITH THE CITY OF CONCORD TO PROVIDE FOR THE CONSTRUCTION OF THE FUTURE SIDEWALK, ONLY.



11. REFS A

ALL WALLS TO BE CONCRETE WITH 4" MIN. THICKNESS AND 12" MIN. HEIGHT. ALL WALLS TO BE FINISHED WITH 1/2" GYPSUM BOARD. ALL WALLS TO BE FINISHED WITH 1/2" GYPSUM BOARD. ALL WALLS TO BE FINISHED WITH 1/2" GYPSUM BOARD.

ALL FLOORING TO BE POLISHED CONCRETE. ALL FLOORING TO BE POLISHED CONCRETE. ALL FLOORING TO BE POLISHED CONCRETE.

ALL CEILING TO BE 12" MIN. THICKNESS. ALL CEILING TO BE 12" MIN. THICKNESS. ALL CEILING TO BE 12" MIN. THICKNESS.

ALL ROOFING TO BE 12" MIN. THICKNESS. ALL ROOFING TO BE 12" MIN. THICKNESS. ALL ROOFING TO BE 12" MIN. THICKNESS.





**OAKMONT  
 OF  
 CONCORD**  
 CIVIC COURT  
 CONCORD, CALIFORNIA

NO.	DATE	DESCRIPTION

ON A DETAILED DRAWING, LINES OF DIMENSION SHALL BE DRAWN TO THE CENTER OF THE LINE UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHALL BE SHOWN ON THIS DRAWING.

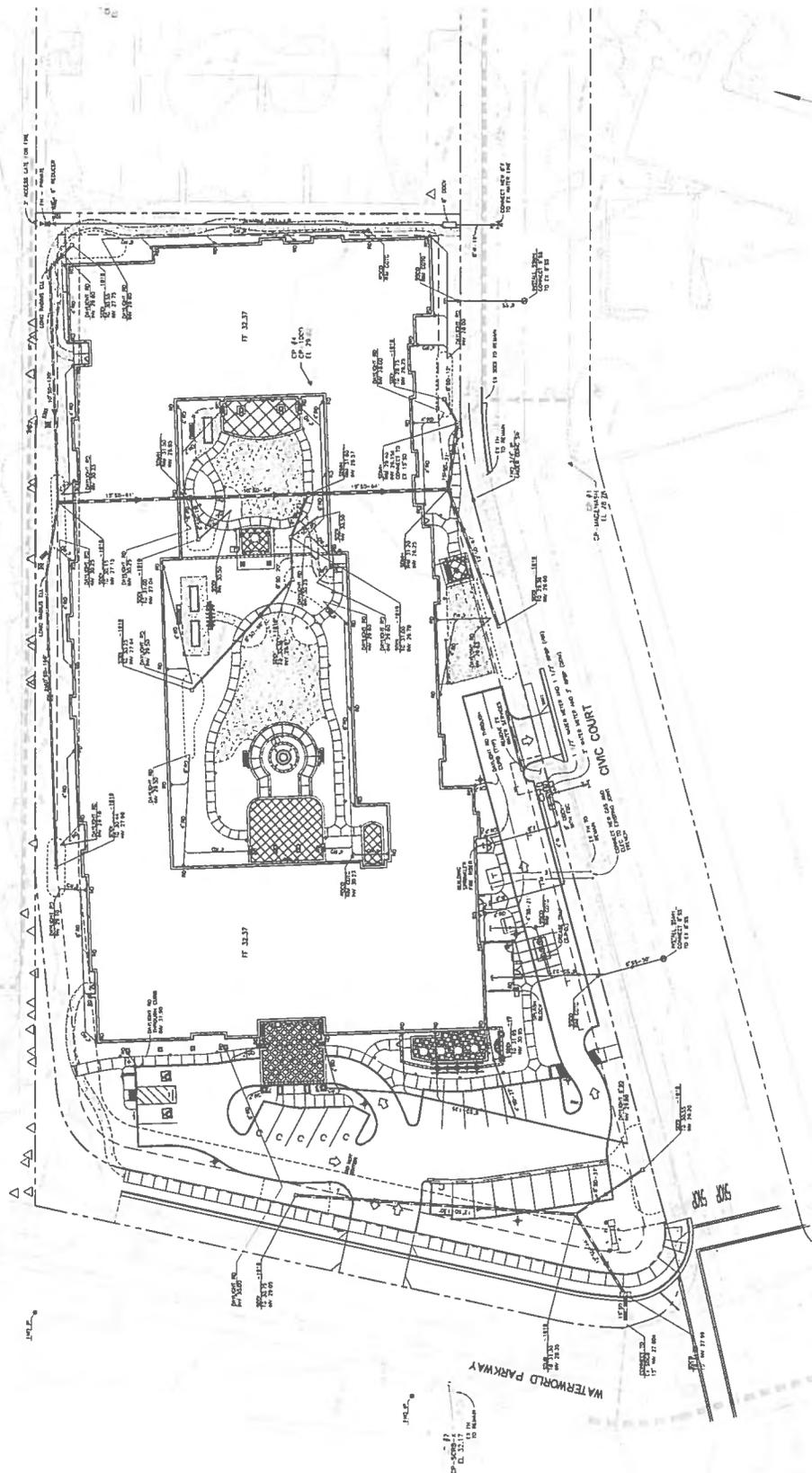
PROJECT	DATE
237433	SEPTEMBER 2014
DESIGNED BY	
CHECKED BY	

**PRELIMINARY  
 UTILITY PLAN**

SHEET NO. **C3** OF **7**

ALL STORM DRAIN DROP INLETS ARE TOP-GRADE TYPE WITH STANDARD 1'-2" OPENING IN LANDSCAPE AREAS WHICH WILL ACT AS TRASH CAPTURE DEVICES. THE MAINTENANCE STAFF SHALL BE INSTALLED WITH A TRASH BAR.

COMMERCE AVENUE  
 (FUTURE BY CITY)



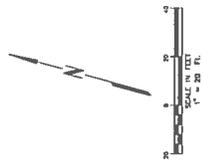
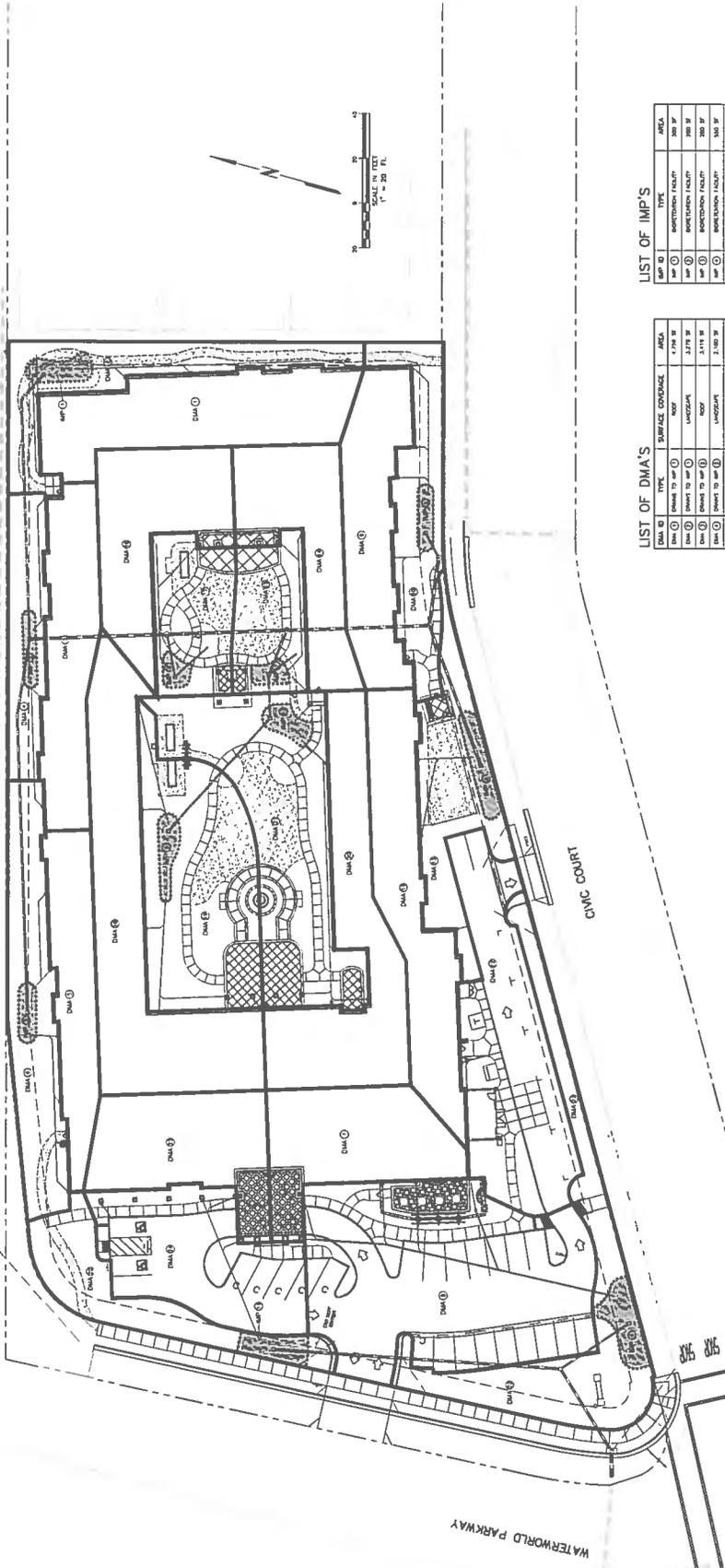


NO.	DATE	DESCRIPTION

DATE: 08/14/14  
 PROJECT: OAKMONT OF CONCORD CIVIC COURT  
 DRAWN BY: J. RACE  
 CHECKED BY: J. RACE  
 DATE: 08/14/14

**STORM WATER  
 CONTROL  
 PLAN**

COMMERCE AVENUE  
 (FUTURE BY CITY)



**LIST OF DMAs**

DMA #	TYPE	Surface Coverage	AREA
DMA 1	Basins to SW	ROOF	4,750 SF
DMA 2	Basins to SW	LANDSCAPE	2,775 SF
DMA 3	Basins to SW	ROOF	3,175 SF
DMA 4	Basins to SW	LANDSCAPE	2,150 SF
DMA 5	Basins to SW	ROOF	2,825 SF
DMA 6	Basins to SW	ROOF	3,175 SF
DMA 7	Basins to SW	APPH/APPROXIMATE	3,825 SF
DMA 8	Basins to SW	ROOF	3,300 SF
DMA 9	Basins to SW	ROOF	2,825 SF
DMA 10	Basins to SW	APPH/APPROXIMATE	3,325 SF
DMA 11	Basins to SW	LANDSCAPE	3,325 SF
DMA 12	Basins to SW	ROOF	3,150 SF
DMA 13	Basins to SW	LANDSCAPE	3,150 SF
DMA 14	Basins to SW	ROOF	2,150 SF
DMA 15	Basins to SW	ROOF	3,825 SF
DMA 16	Basins to SW	LANDSCAPE	3,325 SF
DMA 17	Basins to SW	LANDSCAPE	3,325 SF
DMA 18	Basins to SW	ROOF	2,825 SF
DMA 19	Basins to SW	APPH/APPROXIMATE	4,325 SF

**LIST OF IMP'S**

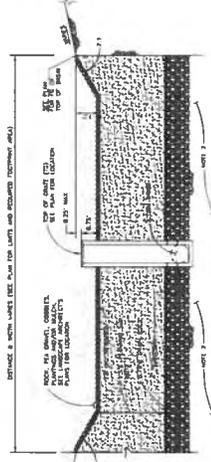
IMP #	TYPE	AREA
IMP 1	INfiltration FACILITY	300 SF
IMP 2	INfiltration FACILITY	300 SF
IMP 3	INfiltration FACILITY	150 SF
IMP 4	INfiltration FACILITY	150 SF
IMP 5	INfiltration FACILITY	150 SF
IMP 6	INfiltration FACILITY	150 SF
IMP 7	INfiltration FACILITY	300 SF
IMP 8	INfiltration FACILITY	300 SF

**NOTES**

1. SEE PLAN FOR DRAINAGE, CONDUIT, AND PAVEMENT LOCATIONS.
2. SEE PLAN FOR CONDUIT AND PAVEMENT LOCATIONS.
3. SEE PLAN FOR CONDUIT AND PAVEMENT LOCATIONS.

**LEGEND**

- IMP LOCATIONS AND IDENTIFICATION
- CONDUIT AND PAVEMENT LOCATIONS
- INfiltration FACILITY
- APPH/APPROXIMATE



**NOTES**

1. INSTALL BIORETENTION BASIN FOR STORM WATER CONTROL.
2. SEE PLAN FOR CONDUIT AND PAVEMENT LOCATIONS.

**BIORETENTION BASIN**  
 NOT TO SCALE



NO.	DATE	DESCRIPTION

ON A PRELIMINARY BASIS, THE LOCATION OF THE PROPOSED PROJECT IS SHOWN ON THIS MAP. THE CLIENT HAS PROVIDED THE DATA AND INFORMATION ON WHICH THIS MAP IS BASED. THE CLIENT HAS REPRESENTED THAT THE DATA AND INFORMATION ARE TRUE AND CORRECT. THE ARCHITECT HAS CONDUCTED VISUAL VERIFICATION OF THE DATA AND INFORMATION PROVIDED BY THE CLIENT. THE ARCHITECT HAS NOT CONDUCTED A FIELD SURVEY OF THE PROJECT SITE. THE ARCHITECT HAS NOT CONDUCTED A FIELD SURVEY OF THE PROJECT SITE. THE ARCHITECT HAS NOT CONDUCTED A FIELD SURVEY OF THE PROJECT SITE.

PROJECT	DATE

CONTEXTUAL  
 PLAN

SHEET NO.  
**C5** of 7

