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**REGULAR MEETING OF THE  
CITY OF CONCORD  
DESIGN REVIEW BOARD**

**Thursday, May 26, 2016  
5:30 p.m., Regular Meeting  
PERMIT CENTER CONFERENCE ROOM  
1950 Parkside Drive, Bldg. D**

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*Design Review Board Members*

Jack Moore, Chair

Kirk Shelby, Vice Chair

Ross Wells

Jason Laub – Planning Commission Liaison

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**AGENDA**

**PUBLIC COMMENT PERIOD**

**ADDITIONS/CONTINUANCES/WITHDRAWALS**

**CONSENT CALENDAR**

**A. [5/12/16 Meeting Minutes](#)**

**STAFF REPORTS**

**HEARINGS**

- 1. [Burger King Restaurant](#) (PL16098 – DR) – Design Review for proposed façade improvements to an existing 3,152 sq. ft. Burger King restaurant with drive-thru on a 3.33-acre site located at 5450 Ygnacio Valley Road. The General Plan designation is Neighborhood Commercial; Zoning classification is NC (Neighborhood Commercial); APN 120-270-066. **Project Planner: Joan Ryan @ (925) 671-3370****
- 2. [Ridge Park Subdivision](#) (PL16155 – DR) – Design Review for four single family homes ranging in size from 3,579 to 4,135 sq. ft. located at 9999 Ridge Park Court. The General Plan designation is Low Density Residential; Zoning classification is RS-10 (Single Family Residential; 10,000 sq. ft. minimum lot size); APNs 130-090-031, -032, -033, and -034. **Project Planner: Joan Ryan @ (925) 671-3370****
- 3. [Cash and Carry](#) (PL16202 – DR) – Design Review for façade and tenant improvements to an existing multi-tenant building formerly occupied by OSH Hardware on a 5.2-acre site located at 2150 Monument Boulevard. The General Plan designation is Regional Commercial; Zoning classification is RC (Regional Commercial); APN 129-170-021. **Project Planner: Jessica Gonzalez @ (925) 603-5821****

4. [Veranda Master Sign Program](#) (PL15466 – DR) – Design Review for a master sign program that includes tenant, identification, directional and freeway-oriented signage for an approximately 375,000 sq. ft. shopping center proposed on a 30-acre site located at 2001-2003 Diamond Boulevard. The General Plan designation is West Concord Mixed Use; Zoning classification is WMX (West Concord Mixed Use); APN 126-44-001. **Project Planner: Frank Abejo @ (925) 671-3128**

## **BOARD CONSIDERATIONS/ANNOUNCEMENTS**

## **STAFF ANNOUNCEMENTS**

## **ADJOURNMENT**

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### **NOTICE TO PUBLIC**

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No item will be considered for hearing after 9 P.M. Items remaining on the agenda will be rescheduled.

At the beginning of the meeting any items to be held over will be announced. The staff may bring up following this, any items on the agenda that are of a routine and non-controversial nature, and the chairperson may call for action on these items without further discussion if there is no opposition present at the meeting. Normal hearings will then proceed for the remainder of the agenda.

Staff will not provide written summaries of the Board's discussions on preliminary review or continued agenda items. Applicants should be prepared to take all necessary notes regarding the Board's comments, suggestions, and directions on projects, or schedule an appointment to review tape recordings of the meetings. For items resulting in a final action by the Board, action letters will be prepared by staff and distributed to the applicant.

Correspondence and writings received that constitutes a public record under the Public Records Act concerning any matter on this agenda are available for inspection during normal business hours by contacting the Planning Division, located at 1950 Parkside Drive, Wing D, Concord, CA. For additional information contact (925) 671-3152.

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### **NEXT DESIGN REVIEW BOARD MEETINGS:**

June 9, 2016

June 23, 2016

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**REGULAR MEETING OF THE  
CITY OF CONCORD  
DESIGN REVIEW BOARD**

**Thursday, May 12, 2016  
5:30 p.m., Regular Meeting  
PERMIT CENTER CONFERENCE ROOM  
1950 Parkside Drive, Bldg. D**

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**Board Members Present:** J. Moore, K. Shelby, J. Laub, R. Wells  
**Staff Present:** R. Lenhardt, A. Hamid, J. Ryan  
**Audience Attendance:** 16 people

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**SUMMARY MINUTES/ANNOTATED AGENDA**

*Chair Moore observed a moment of silence in remembrance of Jim Swanson. Board member Wells announced services will be held at Hillcrest Congregational Church in Pleasant Hill on June 11, 2016 at 2:00 p.m.*

**PUBLIC COMMENT PERIOD – None**

**ADDITIONS/CONTINUANCES/WITHDRAWALS – None**

*The Board took the agenda out of order as follows: Hearing item #3 was heard before hearing item #2.*

**CONSENT CALENDAR**

**A. 4/28/16 Meeting Minutes**

**ACTION:** *Approved, 3-0-1. (Wells motioned, Shelby seconded, Laub abstained.)*

**STAFF REPORTS**

**1. Corridors Plan Update (PL16153 – DR) – Project Planner: Joan Ryan @ (925) 671-3370**

**ACTION:** *The Board provided comments.*

**HEARINGS**

**1. Kamyshin Minor Hillside Development (PL15005 – DR) – Design Review for a 2,750 sq. ft. single-family residence on a 0.42-acre site at 3687 Treat Boulevard. The General Plan designation is Rural Residential; Zoning classification is RS-15 (Single-Family Residential 15,000 square foot minimum lot size); APN 130-230-044. Project Planner: Joan Ryan @ (925) 671-3370**

**ACTION:** *Recommended approval, 4-0 (Shelby motioned, Wells seconded) with the following conditions: 1) Submit elevations for building permit that incorporate defined call outs indicating colors and materials of all architectural elements; 2) Revised elevations specifying the 3/4" reveal treatment; 3) Submit landscape plans that indicate on Sheets C1 and L-3, the treatment of the face of the retaining walls; 4) Submit landscape plan Sheet L-2 to specify location of View Fence – Wood and Wire, as shown on Sheet L-6, rather than Good Neighbor Fence, as indicated on Sheet L-2. In addition, the Board requested two items return as staff report items, the applicant's grading plan and the materials for the driveway.*

2. **Concord Village (PL15438 – DR)** – Design Review for a 230-unit apartment project with 2,966 sq. ft. of amenity space on a 2.3-acre site at 2400 Salvio Street and 2401 and 2471 Willow Pass Road. The General Plan land use designation is Downtown Mixed Use; zoning classification is DMX (Downtown Mixed Use). APN's: 126-083-011, -012, -013. **Project Planner: G. Ryan Lenhardt @ (925) 671-3162**

**ACTION:** *Recommended approval, 4-0 (Wells motioned, Shelby seconded) with the following conditions: 1) submit a final planting plan and plant list prior to the Planning Commission meeting for all trees, shrubs, groundcovers, turf, mulches, and other surfacing materials including a legend showing symbols for all plant materials, with both Latin and common name, including size, spacing, total quantities, ultimate height, and spread of materials, 2) provide a detail and layout of the wall reglets (stucco scoring) with dimensions, 3) consider using "Kurapia," which is available from Delta Bluegrass, 4) consider adding a barrier at the back of the seat wall along Salvio Street to prevent someone from falling into the bioswale area, 5) consider leaving the benches along the perimeter of the property as a public amenity, 6) consider methods of securing the tower elements so birds do not roost, 7) provide a wall sections that illustrate wall offsets, the manner in which materials return around corners, trim details, window dimensions, etc., 8) provide color and materials for all special paving, hardscape treatment, walls, fences, landscape lighting, and site furnishings along with catalog cut sheets, and 9) provide elevations that show the relationship of the landscaping and improvements (fences, walls, landscaping) with the building.*

3. **Multi-Family at 2400 Willow Pass Road (PRE16001)** – Design Review for a 171-unit apartment project on a 1.6-acre site at 2400 Willow Pass Road. The General Plan designation is Downtown Mixed Use; Zoning classification is DMX (Downtown Mixed Use); APN 126-082-008. **Project Planner: Afshan Hamid @ (925) 671-3281**

**ACTION:** *The Board provided the applicant with the following comments: 1) Overall the DRB was supportive and excited about the project. 2) The Board questioned the vehicular entrance off Willow Pass Road and if Port Chicago Hwy would be a better alternative 3) The DRB would like to see detailed blow-ups of all four corners of the building. 4) The Board would like to see special details of how materials come together and interface at windows, reveals, balconies, recesses, and special areas such as entrances, typical units, roof and cornice, trim returns, joinery of materials. 5) Develop and articulate specification sheets for site furnishings and lighting, catalog cuts. The Board would like to see wall sections. 6) The Board would like to see artwork along Willow Pass Road 7) The Board would like to see wall sections developed and profiles. 8) Landscaping plan need to be more comprehensive, with plant sizes, species, list, pot sizes and specifications, screen wall specifications in plan, detail and elevation, as well as irrigation plan.*

**BOARD CONSIDERATIONS/ANNOUNCEMENTS** – *Vice Chair Shelby commented the city should be mindful of approving several similarly designed large-scale residential developments at the same time and the potential for its housing stock to be “dated” at the same time. Mr. Shelby felt Concord Village and Multi-Family at 2400 Willow Pass Road should include ground floor retail uses.*

**STAFF ANNOUNCEMENTS** – *Staff will provide the Board with an update on the recruitment for Mr. Harmon’s position. Board member Wells noted his preference for someone that understands how to read plans such as a licensed architect or civil engineer.*

**ADJOURNMENT** – *8:45 p.m. (4-0, Shelby motioned, Laub seconded.)*

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**NEXT DESIGN REVIEW BOARD MEETINGS:**

May 26, 2016

June 9, 2016

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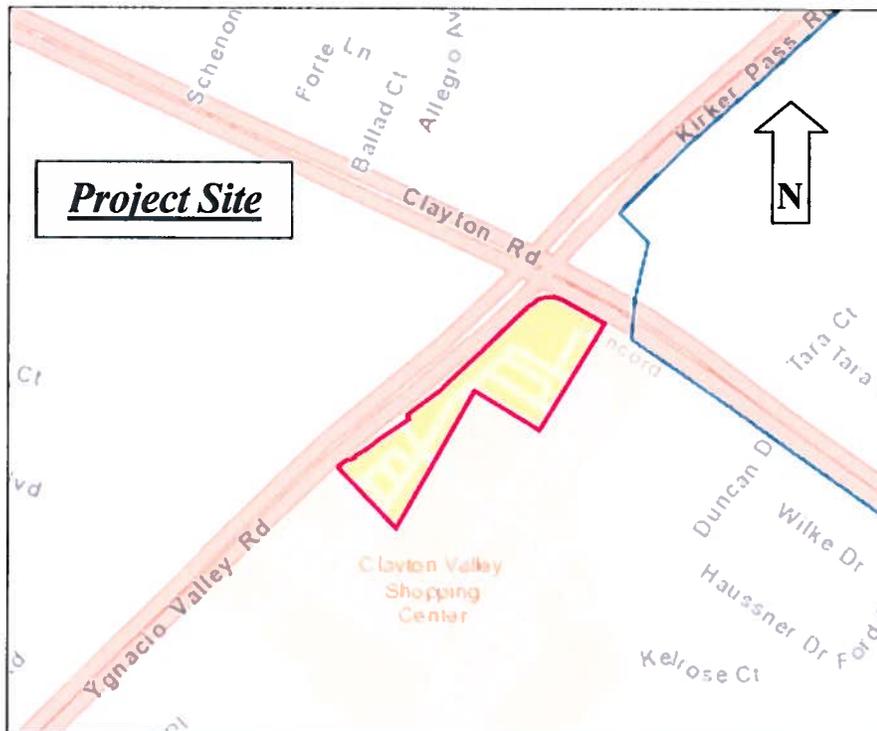
**REPORT TO DESIGN REVIEW BOARD**

DATE: May 26, 2016

**I. GENERAL INFORMATION**

**Project Name:** Burger King Restaurant (PL 16098 DR)  
**Review Status:** Final Design Review  
**Location:** 5450 Ygnacio Valley Road  
**Parcel Number:** APN 120-270-066  
**General Plan:** Neighborhood Commercial  
**Zoning:** NC (Neighborhood Commercial)  
**Applicant:** Amir Sahebalzamany  
2821 Crow Canyon Road, Suite 202  
San Ramon, CA 94583  
(925) 552-9377

**Vicinity Map:**



## II. PROJECT BACKGROUND

On April 28, 2016, the Design Review Board conducted preliminary design review of plans for façade upgrades and landscaping to the Burger King within the Clayton Valley Shopping Center. The Board indicated support for the project but requested the applicant consider a more four-sided design approach or examine how to treat the transition points at the corners of the building where the awning was proposed to remain.

On May 6, 2016, Scott Gibson, of Scott Gibson Architect, Inc. submitted revised plans on behalf of the applicant, Amir Sahebalzamany, in response to the Board's recommendations from the preliminary design review meeting.

On April 6, 2016, the application was deemed complete for processing. The architect submitted additional specifications and clarifications on May 11 and May 13.

The Board's Final Design Review recommendations will be incorporated into revised plans submitted for a building permit. The Planning Division will issue an Administrative Design Review approval only after first determining that the Board's recommendations have been incorporated and the application complies with all Development Code provisions applicable to the project.

## III. DISCUSSION

The April 28 meeting minutes are *italicized* below followed by the applicant's response in **bold** and then staff's comments and bulleted recommendations when applicable. Overall, staff believes the Board's comments have been addressed and that any additional recommendations can be incorporated into the project's conditions of approval.

### Architecture

- 1) *Consider a cohesive appearance on all four sides of the building and removing the existing canopy, or if desired retain the canopy, but study to determine the best way to transition the canopy at the corners of the building, due to the visibility of the site from all directions.*

**The applicant proposes to move forward with a four-sided design concept, and therefore the revised architectural plans reflect the removal of the existing awning that was shown at preliminary design review on the rear and right elevations. The architect has added a new tower element at the drive-thru window. The elevations now have a flat wall that extends to the top of the building, finished with a narrow wall cap. Both walls are now designed with a stucco finish. The windows on the rear elevation have new aluminum awnings above each window. In addition, the rear elevation now incorporates trellis features to add interest to the façade.**

**In addition, the revised elevations have incorporated new aluminum awnings on the front and left side elevations, and incorporated stucco finish on the upper walls. A circular Burger King sign has been added to the rear elevation at the corner tower and removed from the right side elevation (above the rear door).**

The applicant responded to the Board's recommendation. Staff supports the applicant's redesign of the project that removes the existing awnings that were previously included on the rear and right elevations. However, there are some design elements that have been removed through the redesign that staff would like to see returned to the project; this includes the brick wainscot at the entries (as highlighted below in #2). Staff supports the addition of the trellis features on the rear of the building that have been added. Staff does not support the use of wall pack lighting which typically appears very industrial.

- Lighting specifications will need to be provided. Wall pack lighting is generally not allowed on commercial buildings. Lighting should be complementary to the overall architectural theme.

2) *Clarify location of brick work to confirm whether it is just at entry or also at base of building.*

**The revised architectural plans reflect brick veneer wainscot on the front, rear, and side elevations. The plans indicate the paint color would be "Monterey Cliffs," which is a dark brown color. The upper portions of the wall are finished in stucco in light beige.**

The applicant responded to the Board's comments by clarifying location of the brick work.

- Staff recommends the entry towers be modified to re-incorporate the brick wainscot that was shown on either side of the entry on the previous plans.

3) *Dissimilar materials (for example block wall to stucco wall need off sets or connections clarified where transition occurs and some treatment.*

**The applicant has provided a detail, "Detail 9" included within the revised plan set (Exhibit A) showing the proposed metal flashing between the brick wainscot and the upper stucco finish that will be accomplished with a metal screed.**

The applicant responded to the Board's recommendation.

4) *Provide roof over trash enclosure.*

**The applicant has indicated they will provide a specification showing the roof treatment over the trash enclosure at the time of building permit.**

- Staff recommends that Sheet DR-2, Site Plan note 14 be modified to indicate a roof will be added to the trash enclosure and the roof element should be consistent with project elements on the building, such as color/material of awning or other architectural features.

5) *Provide photos of other built examples of similar 20/20 style.*

**The applicant has indicated they will provide a few photos of other regional built examples for discussion at the DRB meeting.**

Landscaping

- 6) *Add planting areas where the outdoor patio is currently located and remove tables, extending planting near exit door (left side elevation) to discourage pedestrians from walking across drive-thru lane from parking area to the north; incorporate bike rack.*

**The architect has submitted revised landscape plans that provide a new planting area where the outdoor patio was previously located. The planting area provides a walkway adjacent to the exit door on the left elevation. The planting (Xylosma) extends to the right of the exit door to discourage pedestrians from walking across the drive-through lane. In addition, the applicant has submitted a supplement to the site plan (redlined) indicating where they are locating a bike rack adjacent to the exit door on the left elevation and adjacent to the exit door on the right elevation. The architect has also forwarded a bike rack detail for the project.**

- The applicant responded to the Board's recommendation.

- 7) *Continue planting along right side of drive-thru lane and install green screen with vines.*

**The architect has submitted revised landscape plans that provide a new planting area extended along the right side of the drive-thru connecting the existing planting areas. Southern magnolias (15 gallon) and Coral Cotoneaster (1 gallon) are proposed. Green screens are not shown on the plans.**

- The applicant responded to the Board's recommendation. Green screens were not included however, but staff believes the incorporation of the new planting area at the(former) patio should be sufficient to discourage customers from parking on the north side to access the restaurant.

**IV. SUMMARY AND RECOMMENDATION**

Staff believes the applicant has responded to the Board's recommendations with incorporation of the following conditions listed below.

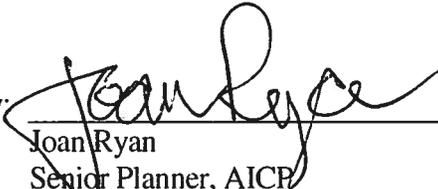
I (Board Member \_\_\_\_\_) hereby move that the Design Review Board recommend approval of Burger King Restaurant at the Clayton Valley Shopping Center (PL16098 - DR), subject to all applicable conditions of the Development Code and Municipal Code, and the recommendations of the Design Review Board.

Recommendations

- Lighting specifications will need to be provided. Wall pack lighting is generally not allowed on commercial buildings. Lighting should be complementary to the overall architectural theme.
- Staff recommends the entry towers be modified to re-incorporate the brick wainscot that was shown on either side of the entry on the previous plans.

- Staff recommends that Sheet DR-2, Site Plan, note 14 be modified to indicate a roof will be added to the trash enclosure and the roof element should be consistent with project elements on the building, such as color/material of awning or other architectural features.

Prepared by:

  
Joan Ryan

Senior Planner, AICP

(925) 671-3370

Joan.ryan@cityofconcord.org

Exhibits:

- A – Applicant's plan sheets date-stamped received May 11, 2016
- B – Additional details provided on May 13, 2016



BURGER KING - 5400 YGNACIO VALLEY RD.

**PROJECT DATA & SUMMARY**

**CRITERIA:**

1. **SCOPE OF WORK:**  
THIS PROJECT CONSISTS OF AN EXTERIOR FACADE REMODEL OF AN EXISTING BURGER KING RESTAURANT. BECAUSE OF CONSTRUCTION LIMITATIONS, ALL CONSTRUCTION SHALL BE OF WOOD OR METAL STUDS AND DRYWALL AND VARIOUS FINISHES. SCOPE OF WORK SHALL INCLUDE ROUGH FRAMING, ELECTRICAL, MECHANICAL, PLUMBING AS REQUIRED WILL BE CONDUCTED AS DESIGN-BUILD AND FINISHES AS REQUIRED TO COMPLETE THE REMODEL. THIS PROJECT IS SUBJECT TO THE REQUIREMENTS OF 2013 CBC. THE SHELL BUILDING IS COMPLIANT WITH CBC CHAPTER 11B AND ALL NEW CONSTRUCTION WILL BE DONE IN COMPLIANCE WITH CBC CHAPTER 11B.

2. **CONSTRUCTION TYPE:**  
TYPE VB - (NON-RATED)

4. **FIRE SPRINKLERS:**  
NONE

5. **OCCUPANCY GROUP:**  
A-2 (RESTAURANT)

**BLDG. SQUARE FOOTAGE SUMMARY:**

**BUILDING DATA**  
OCCUPIED TENANT SPACE: 1,152 SQ FT

**ALLOWABLE BUILDING AREA (TABLE 503)**  
A-2: 1 FLOOR ALLOWED AND MAX 6,000 SF  
3,152 SF - LESS THAN - 6,000 SF OKAY

7. **BLDG OCCUPANT LOAD:** (TABLE 1004.1.1)  
KITCHEN AREA: 200 GROSS S.F. PER OCC.  
KITCHEN AREA PROVIDED: 1,542 S.F. / 200 GROSS  
KITCHEN OCCUPANT LOAD: 8

SERVING AREA: 15 GROSS S.F. PER OCC.  
SERVING AREA PROVIDED: 1,470 S.F. / 15 GROSS  
SERVING OCCUPANT LOAD: 98

TOILET ROOMS: 0 GROSS S.F. PER OCC.  
TOILET ROOMS AREA PROVIDED: 140 S.F. / 0 GROSS  
TOILET ROOMS OCCUPANT LOAD: 0

TOTAL OCCUPANT LOAD: 106

8. **REQUIRED PARKING:** SEE REFERENCE SITE PLAN

**PROJECT DIRECTORY**

**OWNER**

A MIR SAHEBALZALANLY  
NOR CAL FAST FOODS INC  
1701 FLEMING STREET  
SAN FRANCISCO, CA 94115  
PHONE: (415) 989-1195  
EMAIL: AMIR.TAME@GMAIL.COM

**CONTRACTOR**  
T.B.D

**ARCHITECT**

SCOTT GIBSON ARCHITECT INC.  
2540 ZANELLA WAY, SUITE 60  
CONCORD, CA 95028  
PHONE: 530-343-7557  
FAX: 530-343-7447  
CONTACT: SCOTT GIBSON  
scott@gibsonarchitect.net

**SHEET INDEX**

- DR-1 TITLE SHEET
- DR-2 PROPOSED SITE PLAN
- DR-3 EXISTING + DEMOLITION EXTERIOR ELEVATIONS
- DR-4A PROPOSED EXTERIOR ELEVATIONS
- DR-4B PROPOSED FINISH AND MATERIAL LEGEND
- DR-5 REFERENCE FLOOR PLAN
- DR-6 REFERENCE ROOF PLAN

**VICINITY MAP**



**PLANNING APPROVAL**

**PROJECT DATA**

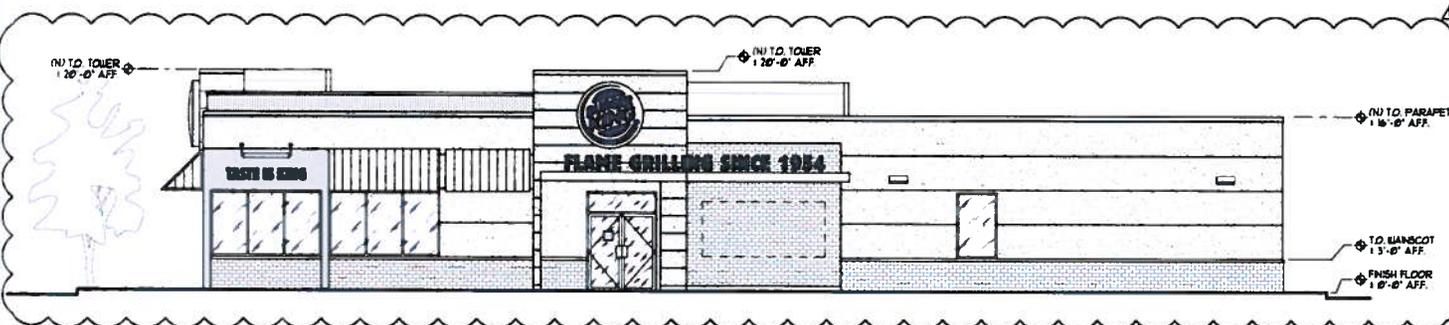
**PROJECT ADDRESS:**  
5400 YGNACIO VALLEY RD.  
CONCORD, CA. 94521

**JURISDICTION:**  
CITY OF CONCORD, CALIFORNIA

**DESCRIPTION:**  
APN:  
ZONING:  
GENERAL PLAN DESIGNATION:

**REVISIONS**

△	DATE	DESCRIPTION	SHEETS REVISED
△	04/13/2016	PLANNING REVIEW COMMENTS	DR-1, DR-2
△	05/02/2016	PLANNING REVIEW COMMENTS	DR-1, DR-2, DR-3, DR-4A, DR-4B, DR-5, DR-6
△	05/10/2016	PLANNING REVIEW COMMENTS	DR-1, DR-2, DR-4A



**PROPOSED FRONT ELEVATION**



SCOTT GIBSON ARCHITECT INC.  
2540 ZANELLA WAY SUITE 60  
CONCORD, CA 95028  
P: 530 / 343-7557  
F: 530 / 343-7447



**REVISIONS**

DATE	DESCRIPTION
04/13/2016	PLANNING REVIEW COMMENTS
05/02/2016	PLANNING REVIEW COMMENTS
05/10/2016	PLANNING REVIEW COMMENTS



BURGER KING  
TENANT  
REMODEL  
5400 YGNACIO VALLEY RD  
CONCORD, CA 94521

TITLE SHEET

DATE: 05/02/2016  
JOB NO. 15.084

**DR-1**

EXHIBIT A

Wednesday, May 11, 2016 8:45 AM  
C:\Programs\2015\04\Burger King Concord\CA\_002\_Dwgs\Approved\_Dwgs\Review Drawings\01\_01\_04A\_DESIGN REVIEW\_TIT.E SHEET.rvt

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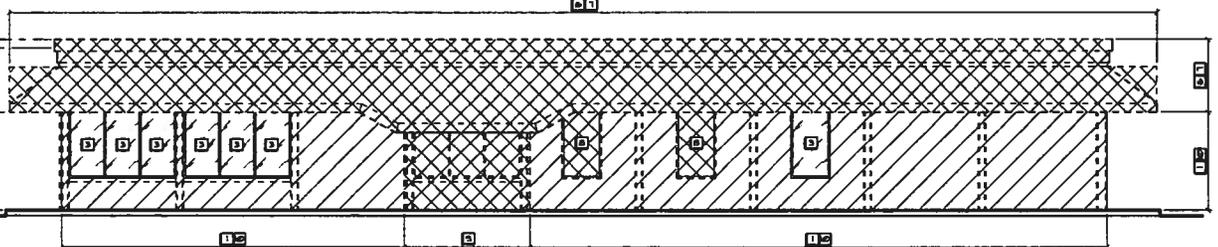


(E) T.O. LIGHTBOX  
1'-6" AFF.

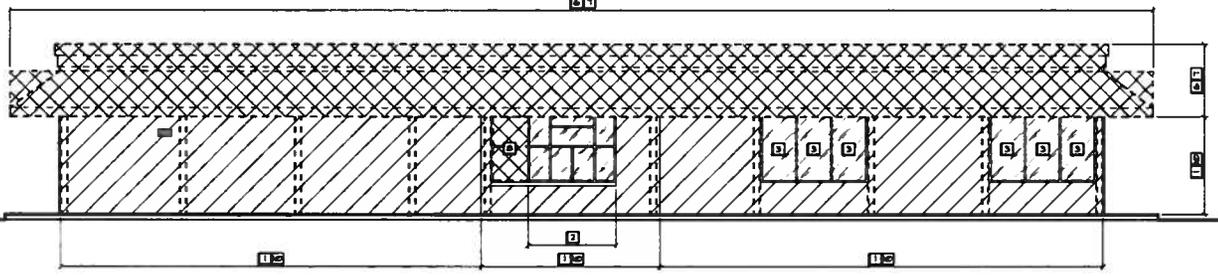
(E) T.O. PARAPET  
1'-5"-7" AFF.

(E) BOT OF  
STUCCO BOFFIT  
1'-9"-7" AFF.

(E) T.O. SLAB-FF  
1'-0" AFF.



Southeast (Main) Elevation 1



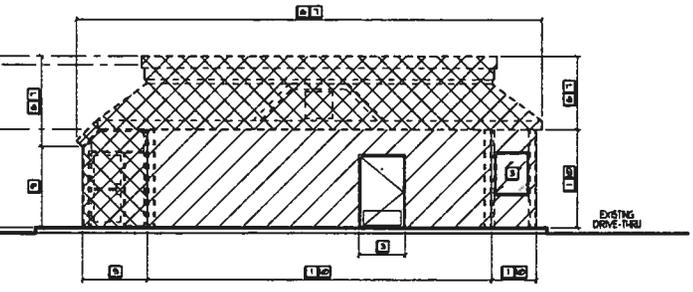
Northwest (Drive-thru) Elevation 2

(E) T.O. LIGHTBOX  
1'-6" AFF.

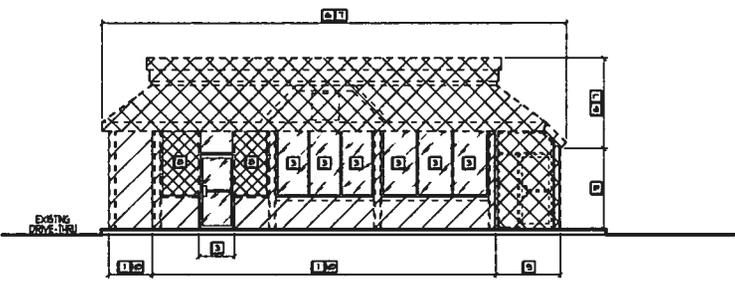
(E) T.O. PARAPET  
1'-5"-7" AFF.

(E) BOT OF  
STUCCO BOFFIT  
1'-9"-7" AFF.

(E) T.O. SLAB-FF  
1'-0" AFF.



Southwest (Rear) Elevation 3



Northeast (Front) Elevation 4

Existing / Demolition - Exterior Elevations

SCALE: 3/16" = 1'-0"

FLOOR PLAN KEYED NOTES

- (1) (E) EXTERIOR BUILDING WALL'S
- (2) (E) DRIVE THRU WINDOW
- (3) TO REMAIN UNCHANGED PER PLAN TYPICAL
- (4) (E) EXTERIOR DOORS, WINDOWS & STOREFRONT SYSTEM
- (5) TO REMAIN UNCHANGED PER PLAN TYPICAL
- (6) NOT USED
- (7) NOT USED
- (8) DEMO (E) EXTERIOR BUILDING SIGNAGE
- (9) DEMO (E) ROOF OVERHANGS / CANOPY
- (10) CANOPY / OVERHANGS TO BE REACHED FOR IN FRAMED POP-OUTS PER PLAN TYPICAL
- (11) DEMO (E) STOREFRONT WINDOW SYSTEM
- (12) DEMO STOREFRONT WINDOW SYSTEM, WALL PER AN FLOOR PLAN AS TYPICAL
- (13) (E) EXTERIOR WALLS, DOORS, AND WINDOWS AT (E) VESTIBULE
- (14) (E) SPLIT FACE BRICK VENEER / DECORATIVE WOOD FEATURES
- (15) DEMO TO EXISTING EXTERIOR STUD WALL TYP.

**SGA**  
ARCHITECT  
SCOTT GOSON ARCHITECT INC.  
SACRAMENTO WAY SUITE 80  
CHICO, CA 95928  
P: 930 / 343-7557  
F: 930 / 343-7447



REVISIONS

NO.	DATE	DESCRIPTION
1	05/02/2018	ISSUED FOR PERMITS



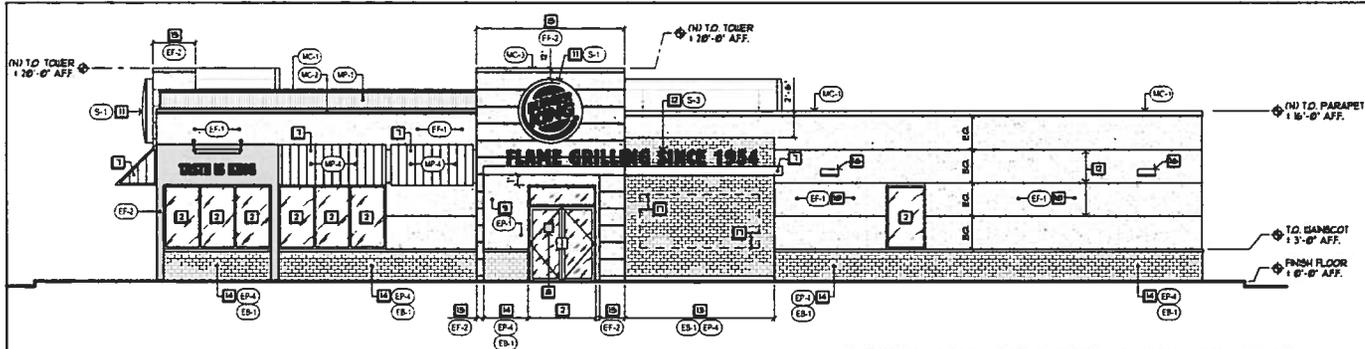
**BURGER KING**  
TENANT  
REMODEL  
5400 TENACIO VALLEY RD.  
CONCORD, CA 94521

EXISTING / DEMOLITION  
EXTERIOR  
ELEVATIONS

DATE: 05/02/2018  
JOB NO: 15.084

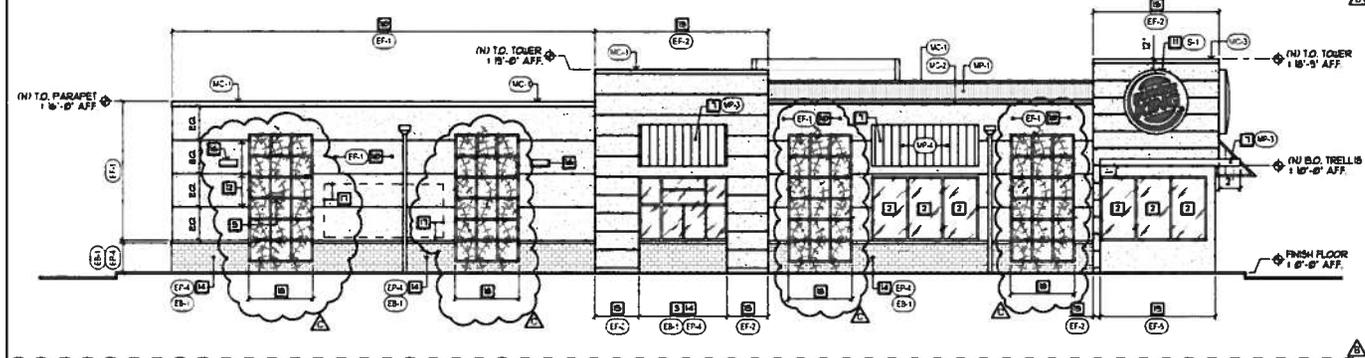
**DR-3**

Tuesday, May 2016 11:27:41 AM  
C:\projects\201515\_084-Burger King Concord\_Cal\_02\_Demolition\_Design\_Review\_Drumpard\_15\_084\_DESIGN(REVIEW)PLAN.rvt

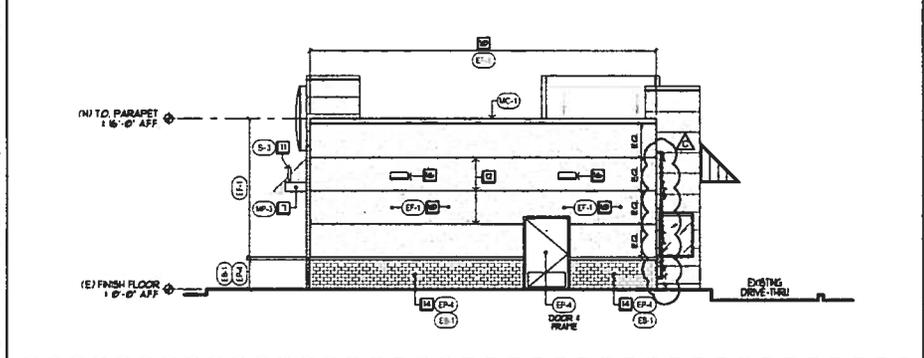


EXTERIOR SIGNAGE: NOT A PART "FLAME GRILLING SINCE 1954" SIGNAGE IS THE BK PREFERRED OPTION "NONE OF THE WHOPPER" SIGNAGE IS THE BK APPROVED OPTION

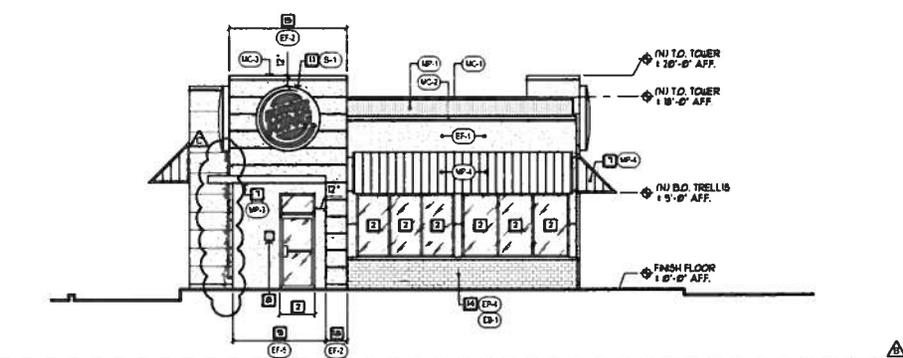
Southeast (Main) Elevation 1



Northwest (Drive-thru) Elevation 2



Southwest (Rear) Elevation 3



Northeast (Front) Elevation 4

Proposed - Exterior Elevations

SCALE: 3/16" = 1'-0"

Keyed Notes

- (1) NOT USED
- (2) STOREFRONT DOOR & SPINCH SYSTEM
- (3) TO REMAIN UNCHANGED PER PLAN TYPICAL
- (4) DRIVE UP WINDOW
- (5) TO REMAIN UNCHANGED PER PLAN TYPICAL
- (6) NOT USED
- (7) SMALL VENTS
- (8) TO REMAIN UNCHANGED PER PLAN TYPICAL
- (9) NOT USED
- (10) ALUMINUM HANDS
- (11) BY OTHERS NTC
- (12) INTERNATIONAL ACCESSIBILITY TACTILE SIGNAGE - ENTRY
- (13) CEMENT PLASTER EXTERIOR FINISH
- (14) CEMENT PLASTER EXTERIOR FINISH WITH (3) 1/4" REVELS
- (15) TENANT SIGNAGE - BY OTHERS
- (16) SIGNAGE BY OTHERS, NO ALL (U) J-BOX FOR PROPOSED SIGNAGE, TYP.
- (17) 1/4" REVELS EQUALLY SPACED FROM BOTTOM OF COPPS TO TOP OF MANSICOT TRIM
- (18) NO BRICK VENEER EXTERIOR SMALL FINISH
- (19) NO BRICK VENEER MANSICOT
- (20) SEE ELEVATIONS FOR MANSICOT HEIGHTS
- (21) NO EXTERIOR PAINTED TOWER WITH (U) CEMENT PLASTER FINISH WITH 1" REVELS
- (22) ATTACH (U) PAINTED MESH PER STRUCTURAL SHEETS, TYPICAL
- (23) EXTERIOR SMALL LIGHTS / LIGHTING SMALL SPACE LIGHTING PER SIGNAGE KING EXTERIOR LIGHTING, TYP.
- (24) NO WALL MERCHANDISING AREA
- (25) NO GREEN SCREENS - SELECTED BY OWNER INSTALL PER MFR.

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REVISIONS

NO.	DATE	DESCRIPTION
1	05/02/2018	ISSUE
2	05/10/2018	REVISION

**BURGER KING**  
TENANT  
REMODEL  
5460 TRINIDAD VALLEY RD.  
CONCORD, CA 94521

PROPOSED  
EXTERIOR  
ELEVATIONS

DATE: 05/02/2018  
JOB NO. 15.084

DR-4A

Issued: May 10, 2018 9:43:40 AM  
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BURGER KING- 20/20 LIGHT EXTERIOR EXTERIOR MATERIALS & FINISH SCHEDULE							
1572/1111 CODE	MATERIAL	LOCATION	MANUFACTURER	DESCRIPTION	DISPOSITION	ADDITIONAL INFORMATION	
EB-1	EXTERIOR BRICK	GENERAL	EVOLUTION BRICK	PRODUCT: 1000 / OS. VIBRATED BRICK BRICKS (1/2" BRICK)	COLOR: BLACK BRICKS SERRA TUMBLER	CONTACT: GAGE POTTER (502) 338-8612 NOTE: USE WITH EB-1 CONTACT: THERESA BEAVER (800) 234-8899 TBEAVER@PHENALIBRICK.COM NOTE: USE WITH EB-1 CONTACT: SUMP MATHEW (916) 728-9336	
			FINE HALL BRICK	FACE BRICK	C/O INVENTION O/S		
			H.C. MUDDOCK BRICK	1 1/4" BRICK	8K WEST COAST BLEND		
EB-2A (ALTERNATE)	EXTERIOR FINISH FIBER CEMENT BRICK PANELS	GENERAL	NICHINA FIBER CEMENT	NICHINA 1400N BRICK PANELS	UNFINISHED - MUST BE PAINTED TO MATCH EB-1	NOTE: USE WITH BOB-1 CONTACT: ANKNEY BRIGGS OR HATT STEPHENSON 856-424-4421 / 770-805-9468	
ECT-1	EXTERIOR CERAMIC TILE	ACCENT AT BUILDING FRONT	DAL TILE	NATURAL MILES	40H77 SCARLET STACKED BOND PATTERN	6" X 12"	
ECT-2	EXTERIOR CERAMIC TILE	ACCENT AT BUILDING FRONT		NATURAL MILES	40H77 SCARLET Q1665 BULLHORN	6" X 6"	
EP-1	EXTERIOR FINISH STUCCO, STO, FIBER CEMENT SIDING PANELS	GENERAL	STO OR APPROVED EQUAL	STO POWERWALL STUCCO SYSTEM TEXTURE: FINE SAND OR STO THERM CLIP SYSTEM	COLOR TO MATCH EP-3 PPG "TOP BUN"	18" X 6"	
			NICHINA FIBER CEMENT	NICHINA ARE-STRUCTURE BLOCK - LARGE	PREPAINTED TO MATCH EP-2 - PPG "TOP BUN" STACKED BOND PATTERN		
EP-2	EXTERIOR FINISH STUCCO	GENERAL	STO OR APPROVED EQUAL	STUCCO OR STO MUST BE PAINTED TO MATCH EP-3	PPG "TOP BUN"	18" X 6"	
EP-4	EXTERIOR FINISH STUCCO	GENERAL		STO POWERWALL STUCCO SYSTEM OR STO THERM CLIP SYSTEM	PPG "MONTREARY CLIFFS"		
EP-5	EXTERIOR FINISH STUCCO	GENERAL		STO POWERWALL STUCCO SYSTEM OR STO THERM CLIP SYSTEM	COLOR TO MATCH EP-3 PPG "MONTREARY CLIFFS"		
EP-7	EXTERIOR FINISH FIBER CEMENT SIDING	EXTERIOR SIGN ARCHONS	NICHINA BOARD	7-1/4" SMOOTH FINISH WITH 1-1/4" EXPOSURE TUMBLER	PAINT WITH SEMI-GLOSS PAINT - COLOR TO MATCH EP-5 PPG "DEEP ONYX"	NOT PERMISSIBLE ON "ENHANCED" ELEVATION OPTION CONTACT: ANKNEY BRIGGS OR HATT STEPHENSON 856-424-4421 / 770-805-9468	
			JAMES HARDIE	MANSARD LAF SIDING 7-1/4" SMOOTH FINISH WITH 1-1/4" EXPOSURE TUMBLER			
EP-8	EXTERIOR FINISH STONE	EXTERIOR SIGN ARCHONS	BOVAL STONE PRODUCTS	COUNTRY LOGSTONE	BLACK KUNCLE	CONTACT: BOB 255-1727 Aphay.Jayco@boral.com bob@boralstone.com David@boralstone.com Corporate National Accounts Manager Phone: (317) 318-5800 Email: gary@bkg.com	
EP-9	EXTERIOR PAINT	EXTERIOR GENERAL	PPG	PREMIER: 17-921 PAINTS: 6-2049XT	TOP BUN 207Y 41/165 Garden Paint - #A1824		
EP-3	EXTERIOR PAINT	EXTERIOR ACCENT		PREMIER: 17-921 PAINTS: 3002-0500N	AMAZING 047B 11/537 Garden Paint - #A0277		
EP-4	EXTERIOR PAINT	EXTERIOR MANSARD		PREMIER: 17-921 PAINTS: 6-2049XT	MONTREARY CLIFFS 107Y 14/090 Garden Paint - #A3785		
EP-5	EXTERIOR PAINT	EXTERIOR GENERAL		PREMIER: 17-921 PAINTS: 6-2049XT	DEEP ONYX 030N 01/000 Garden Paint - #A2018		
EP-6	EXTERIOR PAINT	EXTERIOR ACCENT (For Metal Substrates Only)		PREMIER: 6-712 PAINTS: 6-330	BURGER KING SILVER Custom Formula	NOTE: NOT FOR USE ON ROOFS FOR REMODELING. SEE EP-6A & EP-6B	
EP-6A	EXTERIOR PAINT	EXISTING MANSARD ROOFS, SHINGLES & BARREL TILE		PREMIER: 17-921 PAINTS: 90-1810	EMERALD GREEN 030N 20/000	NOTE: FOR REMODELS ONLY	
EP-6B	EXTERIOR PAINT	EXISTING STANDING SEAM METAL ROOF		PREMIER: 90-712 PAINTS: 90-1810	MARSH WIND Custom Formula	NOTE: FOR REMODELS ONLY	
EP-7	EXTERIOR PAINT	POLES & SIGNS		PREMIER: 90-712 PAINTS: 90-353	BLACK		
EP-8	GROUT	BRICK		FLAKINGO-BRICKMENT	COLOR CEMENT	C-344B-12	CONTACT: MIKE ROSE @ ESSAC (502) 741-3973 NOTE: USE WITH EB-1 & EB-2A
EP-9	GROUT	CERAMIC TILE		CUSTOM BUILDING PRODUCTS	POLYBLEND BANDED	F80 CHARCOAL	NOTE: USE WITH CT-1 ON EXTERIOR FINISH SCHEDULE *** FOR SETTING MATERIALS USE COMPLETE CONTACT MAPED SET *** SEAL ABOUT WITH ADHESIVE SEALERS CHOICE SOLD CONTACT: W.F. HICKMAN COMPANY (878) 676-1700 WWW.WFHCO.COM
HC-1	METAL CORING	TOP OF LIGHT BAND WALL CAP	W.F. HICKMAN SYSTEMS, INC.	PERMA SNAP PLUS	A-30 SILVERSMITH		
HC-2	METAL CORING	BELOW LIGHT BAND		PERMA SNAP PLUS	FACTORY FINISH TO MATCH PPG TOP BUN	CONTACT: W.F. HICKMAN COMPANY (878) 676-1700	
HC-3	METAL CORING	TOP OF ARCHON		PERMA SNAP PLUS	FACTORY FINISH TO MATCH PPG DEEP ONYX	CONTACT: W.F. HICKMAN COMPANY (878) 676-1700	
HP-1	CORRUGATED METAL	PARAPET BAND	LEXTRON *SEE APPROVED SUPPLIERS	LED LIGHT BAND	DEEP ONYX	*SEE PLANS PRODUCT INFORMATION: JOHN FITZELSON AT LEXTRON (800) 334-4078 OR (918) 622-4078 EXT 302 Email: John.Fitzel@lextron.com	
HP-2	METAL CANOPY	ABOVE DOORS	*SEE APPROVED SIGN SUPPLIERS	CUSTOM METAL CANOPY	COLOR: CLEAR ANODIZED	*SEE PLANS	
HP-4	METAL AWNING / ESM ROOFING	ABOVE WINDOWS / MANSARD ROOFING	FIRESTONE	STANDING SEAM METAL ROOF UC-4 PRO-3.P	SILVER METALLIC SR	*SEE PLANS CONTACT: FERNANDO GUY 317-914-9816	
			METAL PRODUCTS BERTRIDGE ROOFING	STANDING SEAM METAL ROOF CEP-10C4	FRENCH METALLIC - ZINC COAT	*SEE PLANS CONTACT: (315) 850-7047	
HP-5	METAL PANEL	BELOW DRIVE THROUGH WINDOW	CENTRIA	CONCOPY SERIES CS3008	994 SILVERSMITH	PRODUCT INFORMATION: JOHN SCHLOSSER AT CENTRIA (313) 793-9180 TO PURCHASE: THE ARNER AT METALWORKS PLUS/INC (833) 442-5668	
			MORIN	METAL PANEL XC-12	BRIGHT SILVER METALLIC	CONTACT: DANIEL DAVENPORT AT (800) 640-9361 Email: dd@morincorp.com	
HP-7	CORRUGATED METAL PANELS	EXTERIOR SIGN ARCHONS	MORIN	METAL PANEL XC-12	CS82344 BCH BLACK	CONTACT: DANIEL DAVENPORT AT (800) 640-9361 Email: dd@morincorp.com	
			EXCEPTIONAL METALS	MASTRELINE 18 PANELS SIGNATURE 200	COAL BLACK	CONTACT: Edward Neumaier (800) 248-0280 Email: edward@emetal.com	

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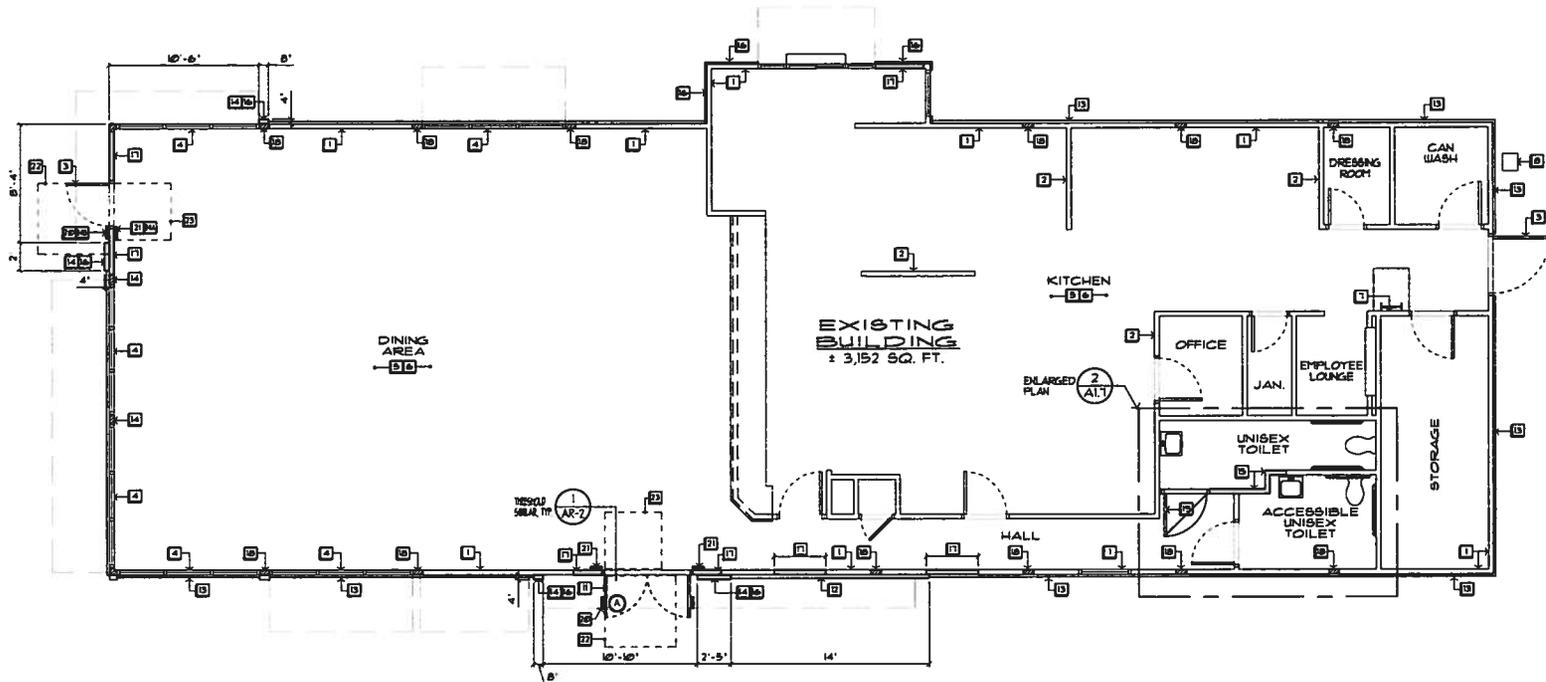


**BURGER KING  
 REMANENT  
 REMODEL  
 SCHEDULE**  
 5400 TIGUACIO VALLEY RD.  
 CONCORD, CA 94521

**FINISH AND MATERIAL  
 SCHEDULE**

DATE: 05/02/2016  
 JOB NO. 15.084

**DR-4B**



PROPOSED - FLOOR PLAN  
SCALE: 1/4" = 1'-0"

Stud Table

FLOOR PLAN KEYED NOTES

LEGEND

- (E) EXTERIOR 3x BUILDING WALLS - TO REMAIN UNCHANGED PER PLAN TYPICAL
- (E) INTERIOR 2x BUILDING WALLS - TO REMAIN UNCHANGED PER PLAN TYPICAL
- (E) DOOR AND FRAME - TO REMAIN UNCHANGED PER PLAN TYPICAL
- (E) STOREFRONT WINDOW SYSTEM - TO REMAIN UNCHANGED PER PLAN TYPICAL
- (E) BUILDING FLOOR FINISH / SLAB - TO REMAIN UNCHANGED PER PLAN TYPICAL
- (E) SUSPENDED CEILING / GYPSUM CEILING - TO REMAIN UNCHANGED PER PLAN TYPICAL
- (E) ROOF ACCESS LADDERS - TO REMAIN UNCHANGED. REFER TO ROOF PLAN TYP.
- (E) GAS METER - TO REMAIN UNCHANGED PER PLAN TYPICAL
- (E) : - TO REMAIN UNCHANGED PER PLAN TYPICAL
- (E) :
- (E) :
- (N) STOREFRONT DOUBLE EXTERIOR DOOR AND FRAME
- (N) BRICK VENEER EXTERIOR WALL FINISH
- (N) BRICK VENEER WAINSCOT FINISH
- (N) 3x EXTERIOR FRAMED POP OUT FEATURES - ATTACH OR FRAME UP FOR STYL. CEILING PLASTER / BRICK VENEER FOR ELEVATIONS TYP.
- (N) 3x INTERIOR PARTITION WALL - 5/8" GYP. BOARD. REFER TO PLAN FOR LOCATIONS, TYP.
- (N) CEMENT PLASTER EXTERIOR WALL FINISH
- (N) 2x SPILL AT DEMO'D EXTERIOR WINDOWS / WALLS
- (N) 3x STUD WALL INFILL AT DEMO'D DECORATIVE WOOD FEATURES AS REQUIRED
- (N) INTERIOR DOOR AND FRAME
- (N) 2x DOOR AND FRAME IN 9x 12 STUD WALL AT TOILET ROOM
- INTERNATIONAL ACCESSIBILITY TACTILE SIGNAGE - ENTRY
- \*\* AT ALL ENTRANCE DOORS (NOT AFF) SEAL AT ALL EDGES REFER TO DETAIL 9/AR-2 TYPICAL
- INTERNATIONAL ACCESSIBILITY TACTILE SIGNAGE - EXIT
- \*\* AT ALL ENTRANCE DOORS (NOT AFF) SEAL AT ALL EDGES REFER TO DETAIL 9/AR-2 TYPICAL
- ACCESSIBLE APPROACH - 60" (4'-0") SQUARE CLEAR SPACE - RE: SEE OF DOOR, TYPICAL - RE: ACCESSIBILITY DOOR CLEARANCE REQUIREMENTS

- (E) ACCESSIBLE APPROACH - 60" (4'-0") SQUARE CLEAR SPACE - RE: SEE OF DOOR, TYPICAL - RE: ACCESSIBILITY DOOR CLEARANCE REQUIREMENTS
  - (E) ACCESSIBLE DOOR PUSH CLEARANCE - 31" MIN. CLEAR SPACE AT DOOR PUSH TO BE 6" FROM INSIDE TYPICAL ALL INTERIOR EXTERIOR DOORS
  - (E) ACCESSIBLE DOOR PULL CLEARANCE - CLEAR SPACE AT DOOR PULL TO BE 6" FROM INSIDE AT EXTERIOR AND 6" FROM DOOR AT INTERIOR TYPICAL ALL INTERIOR EXTERIOR DOORS
- GENERAL NOTES (NOT ALL USED - REFER TO PLANS)**
- SEAL ALL PENETRATIONS AT THE EXTERIOR WALLS.
  - PROVIDE EMERGENCY / EXIT LIGHTS AS REQ. BY CODE.
  - ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
  - CONTINUOUSLY ACCESSIBLE PATH W/ 1/2" MAX. CHANGE IN ELEVATION. PATH TO BE A MINIMUM OF 48" WIDE, NOT EXCEEDING 2% SLOPE IN ANY DIRECTION, TYP.
  - PORTABLE FIRE EXTINGUISHERS ARE REQUIRED, FIVE (5) (MIN/10) CLASSIFICATION 3-A/B/C EXTINGUISHER SPACED FOR EACH UNIT AND FOR EACH 3000 SQUARE FEET OF FLOOR SPACE WITH TRAVEL DISTANCE TO ANY FIRE EXTINGUISHER NOT TO EXCEED 30 FEET (CALIFORNIA CODE OF REGULATIONS, TITLE 19, SEC. 801, TABLE 3.1 AND 3.1). EXTINGUISHERS ARE TO BE LOCATED IN ACCESSIBLE AND VISIBLE LOCATIONS, MOUNTED NOT MORE THAN FIVE FEET ABOVE FLOOR LEVEL (PER CALIFORNIA CODE OF REGULATIONS, TITLE 19, SEC. 801.3) EXTERIOR EXTINGUISHERS ARE NOT READILY VISIBLE FROM ALL DIRECTIONS WITHIN 30 FEET, A SIGN SHALL BE PLACED ABOVE THE LOCATION OF THE EXTINGUISHER STATING "FIRE EXTINGUISHER".

-----	DEMOLITION
-----	DEMOLITION 2X WALLS
-----	EXISTING
-----	EXISTING 3X WALLS
-----	PROPOSED
-----	PROPOSED 3X WALLS GYPSUM BOARD FINISH MIN. 6" ABOVE FINISH CEILING

Tuesday, May 03, 2016 11:17:48 AM  
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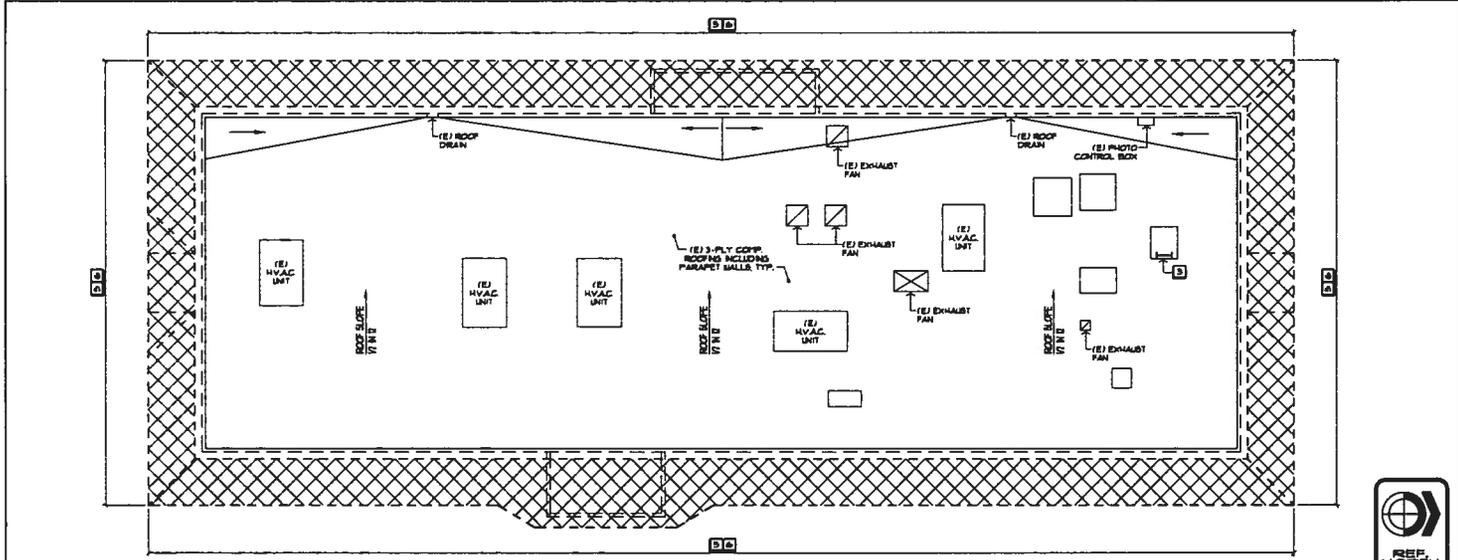
NO.	DATE	DESCRIPTION
1	05/02/2016	ISSUE FOR PERMIT

**BURGER KING**  
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 REMODEL  
 5400 TERNACIO VALLEY RD.  
 CONCORD, CA 94521

DATE: 05/02/2016  
 JOB NO. 15.084

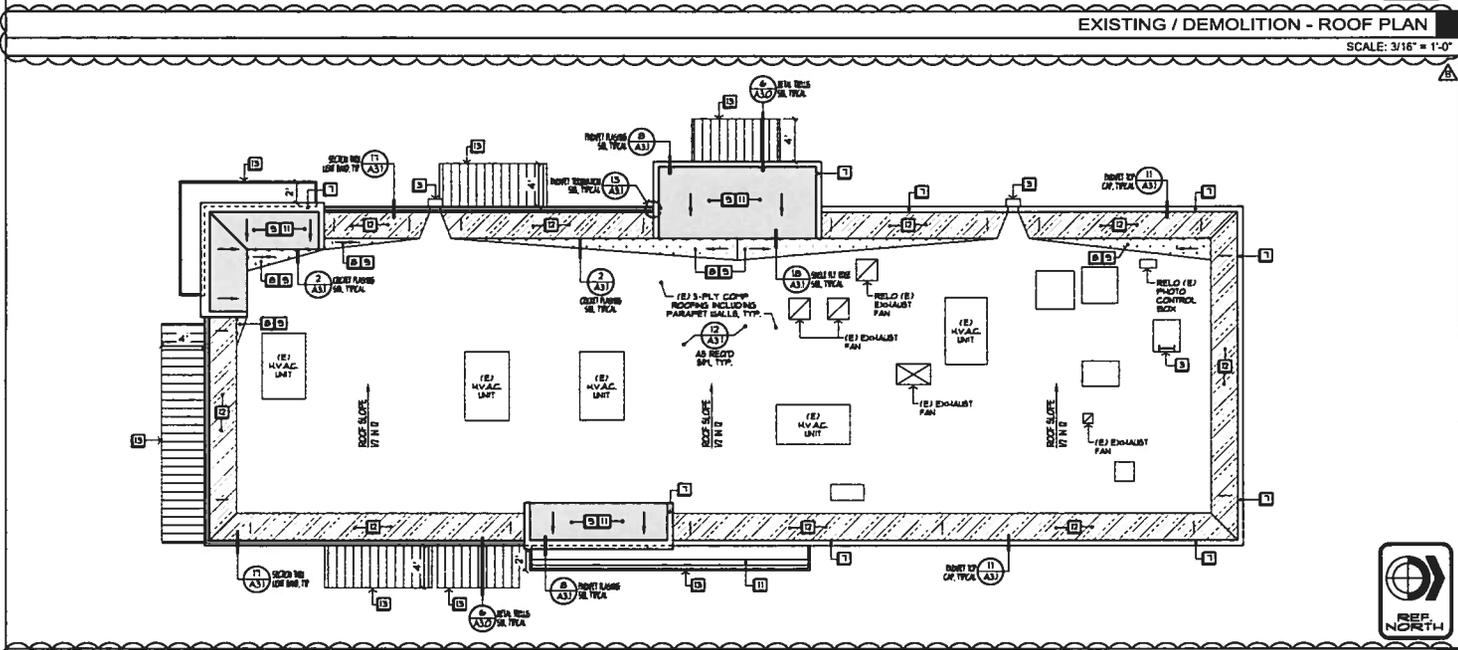
**PROPOSED FLOOR PLAN**  
**DR-5**

Tuesday, March 07, 2018 11:17:48 AM  
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EXISTING / DEMOLITION - ROOF PLAN

SCALE: 3/16" = 1'-0"



PROPOSED - ROOF PLAN

SCALE: 3/16" = 1'-0"



ROOF KEYED NOTES

- 1 NOT USED
- 2 (E) ROOF ACCESS LADDER  
- TO REMAIN UNCHANGED PER PLAN, TYPICAL
- 3 DEMO (E) ROOF CRACKETS  
- TO REMAIN UNCHANGED PER PLAN, TYPICAL
- 4 (D) (E) ROOF CRACKETS AS REQD FOR (U) ROOF FRAMING, SEE STRL
- 5 NOT USED
- 6 DEMO (E) PARAPET CAP / LIGHT BAND  
- DEMO (E) CAP FOR (U) PARAPET CAP AND MPILL, SEE SECTION
- 7 DEMO (E) ROOF OVERHANGS / CANOPY  
- CANOPY / OVERHANG TO BE REMOVED FOR (U) RAISED POP-OUTS PER PLAN TYP
- 8 (U) SHEET, METAL TOP CAP AT (U) PARAPET  
- (U) FLASHING TO SLOPE INTO ROOF WELL, TYPICAL
- 9 (U) CRACKETS, STRL TO ENSURE POSITIVE DRAINAGE  
- REPAIR / CORRECT AS REQUIRED, TYPICAL
- 10 (U) SINGLE PLY ROOFING SYSTEM - AS REQD  
- (U) ROOFING REFER TO DETAIL D/A31 FOR ATTACHMENT DETAIL
- 11 NOT USED
- 12 (U) PARAPET ROCK OUT WITH (U) SINGLE PLY ROOFING  
- SEE STRL SHEETS, SLOPE TOWARDS MAIN ROOF, TYP.
- 13 (U) PARAPET KICKERS WITH (U) SINGLE PLY ROOFING  
- SEE STRL SHEETS, (U) ROOFING REFER TO DETAIL D/A31
- 14 (U) METAL RAISING / TRUSSSES  
- RAISINGS ARE BY OTHERS, N.C. SIGN COMPANY TO SPECIFICALLY ADDRESS OFFSET PLANES WHEN FABRICATING SHIMMAGE, PER PLAN

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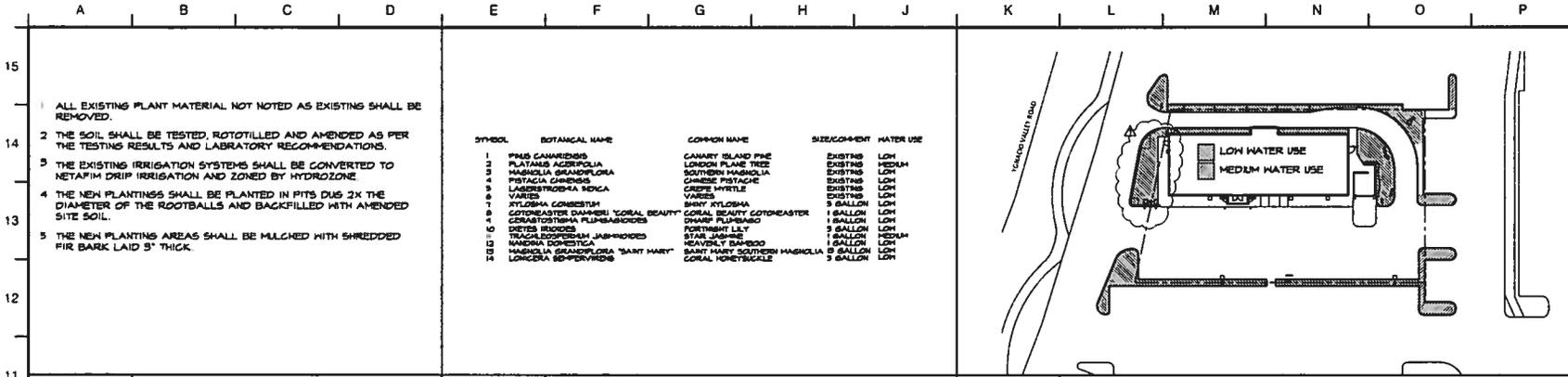


**BURGER KING**  
 TENANT  
 REMODEL  
 5400 TIRACIO VALLEY RD  
 CONCORD, CA 94521

EXISTING / DEMOLITION  
 AND PROPOSED  
 ROOF PLAN

DATE: 05/02/2018  
 JOB NO. 15.084

DR-6



REVISIONS	DATE
▲ REMOVE PATIO	5/4/18
▲ ADD VINES & PLANTERS	5/12/18
▲	
▲	
▲	

- ALL EXISTING PLANT MATERIAL NOT NOTED AS EXISTING SHALL BE REMOVED.
- THE SOIL SHALL BE TESTED, ROTOTILLED AND AMENDED AS PER THE TESTING RESULTS AND LABORATORY RECOMMENDATIONS.
- THE EXISTING IRRIGATION SYSTEMS SHALL BE CONVERTED TO METAFIM DRIP IRRIGATION AND ZONED BY HYDROZONE.
- THE NEW PLANTINGS SHALL BE PLANTED IN PITS DUS 2X THE DIAMETER OF THE ROOTBALLS AND BACKFILLED WITH AMENDED SITE SOIL.
- THE NEW PLANTING AREAS SHALL BE MULCHED WITH SHREDDED FIR BARK LAID 3" THICK.

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE/COMMENT	WATER USE
1	PIBUS CANADENSIS	CANARY ISLAND PINE	EXISTING	LOW
2	PLATANUS ACROPOLIA	LONDON PLANE TREE	EXISTING	MEDIUM
3	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	EXISTING	LOW
4	PISTACIA CHINENSIS	CHINESE PISTACHE	EXISTING	LOW
5	LARIX PRINCEPIS	COAST DOUGLASS PINE	EXISTING	LOW
6	QUERCUS LAEVOGLOBOSA	WHITE OAK	EXISTING	LOW
7	XYLOPIA OBOVATA	SHINY XYLOPIA	5 GALLON	LOW
8	COTONEASTER DIAMENSIS	CORAL BEAUTY COTONEASTER	1 GALLON	LOW
9	CORONILLA FLUMMOSA	SHARP FLUMMOSA	1 GALLON	LOW
10	DIETES IRIDIODES	PORTULACIUM	2 GALLON	LOW
11	TRAGACANTHUS LACINIOSUS	HEAVENLY BIRDPOD	1 GALLON	MEDIUM
12	MAGNOLIA GRANDIFLORA 'SANT MARY'	SANT MARY SOUTHERN MAGNOLIA	3 GALLON	LOW
13	LONGICHA BENTHAMIANA	CORAL HONEYBUCKLE	3 GALLON	LOW

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**BURGER KING**  
YGNACIO VALLEY ROAD  
CONCORD, CA

**CONCEPTUAL LANDSCAPE RENOVATION PLAN**



MRH	NOTED
MRH	2/23/16

| of |

**A/II GENERAL NOTES**  
SCALE: N/A

**E/II PLANTING LEGEND**  
SCALE: N/A

**K/II HYDROZONES**  
SCALE: 1" = 320'

**MAXIMUM APPLIED WATER ALLOWANCE**  
 $MAWA = (Eto - Epp) \times (0.82) \times (LA + SLA)$

where:

MAWA	=	MAXIMUM APPLIED WATER ALLOWANCE	VALUES
Eto	=	REFERENCE EVAPOTRANSPIRATION	31
Epp	=	EFFECTIVE PRECIPITATION 25% OF ANNUAL RAINFALL	4
0.82	=	CONVERSION FACTOR TO GALLONS PER SQUARE FOOT	0.82
0.7	=	ET ADJUSTMENT FACTOR	0.7
LA	=	LANDSCAPE AREA INCLUDES SPECIAL LANDSCAPE AREA	5,754
0.5	=	ADDITIONAL ADJUSTMENT FACTOR FOR SLA	0.5
SLA	=	SPECIAL LANDSCAPE AREA	0

**MAWA = 66,950 GALLONS PER YEAR**

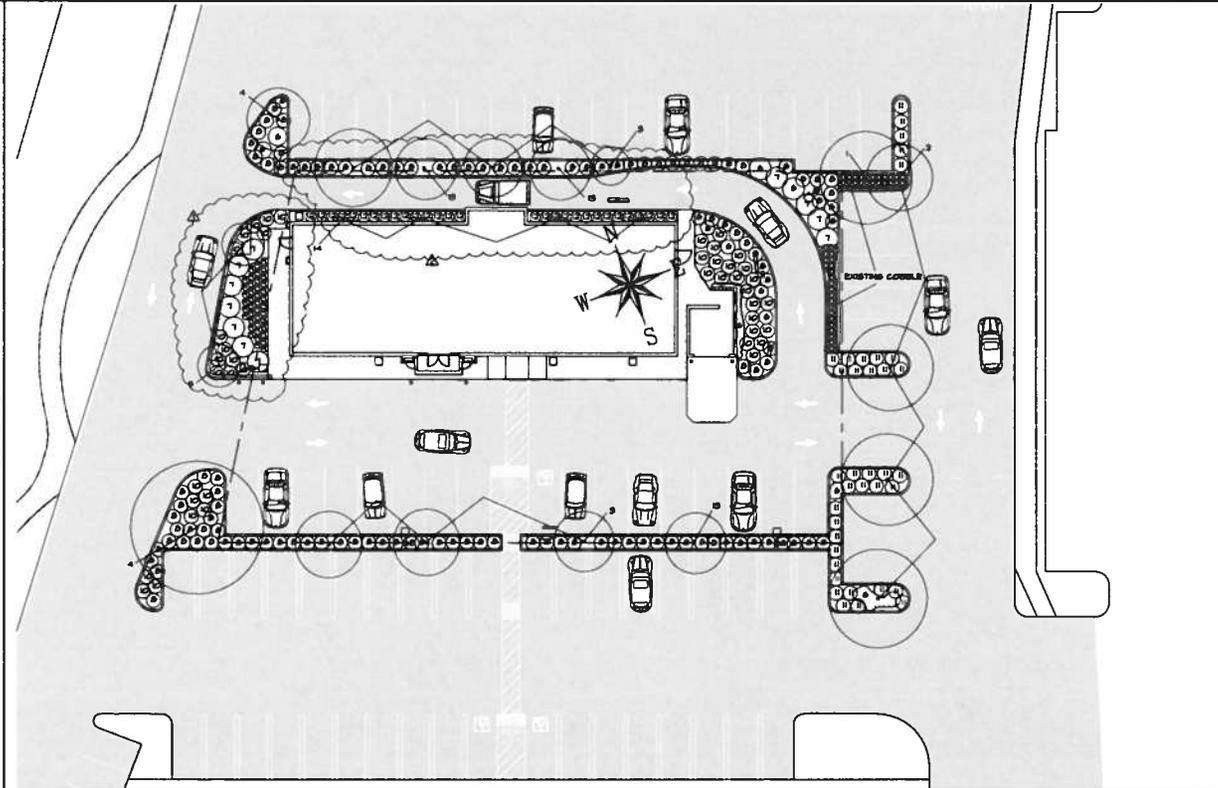
**ESTIMATED TOTAL WATER USE**  
 $ETWU = (Eto) \times (0.82) \times (HA + SLA)$

where:

ETWU	=	ESTIMATED TOTAL WATER USE	VALUES
Eto	=	REFERENCE EVAPOTRANSPIRATION	31
PF	=	PLANT FACTOR	1,244.20
HA	=	HYDROZONE AREA	0
SLA	=	SPECIAL LANDSCAPE AREA	0
0.82	=	CONVERSION FACTOR TO GALLONS PER SQUARE FOOT	0.82
E	=	IRRIGATION EFFICIENCY	0.71

**ETWU = 61,950 GALLONS PER YEAR**

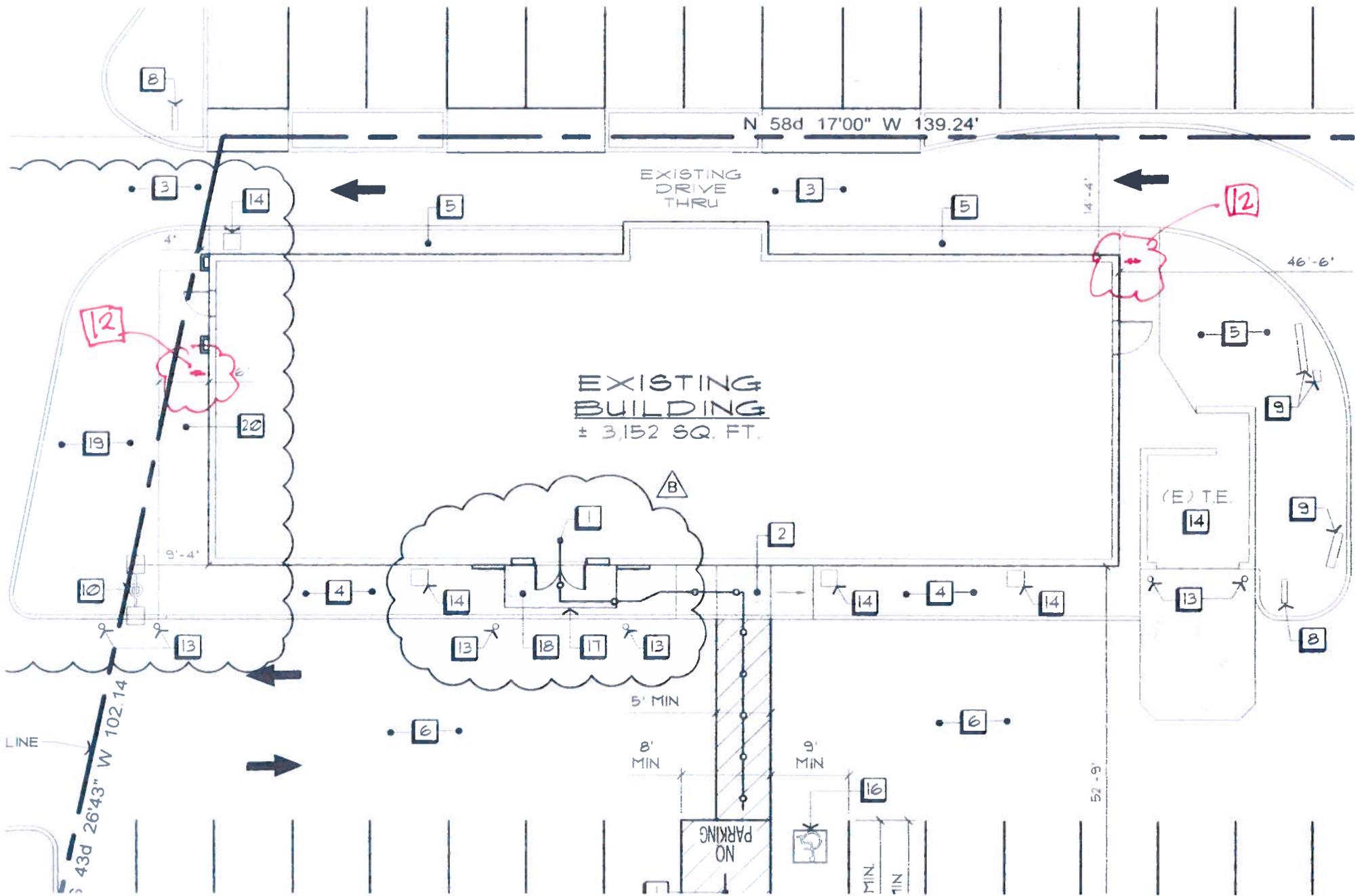
HYDROZONE	WATER USE TYPE	PLANT FACTOR	AREA	PF x AREA
1	LOW	3	3,164	9,492
2	MEDIUM	5	540	2,700
3	HIGH	1	0	0
TOTALS			5,754	12,442.00
SLA			0	0



**A/I MAWA, ETWU, PLANT FACTOR**  
SCALE: N/A

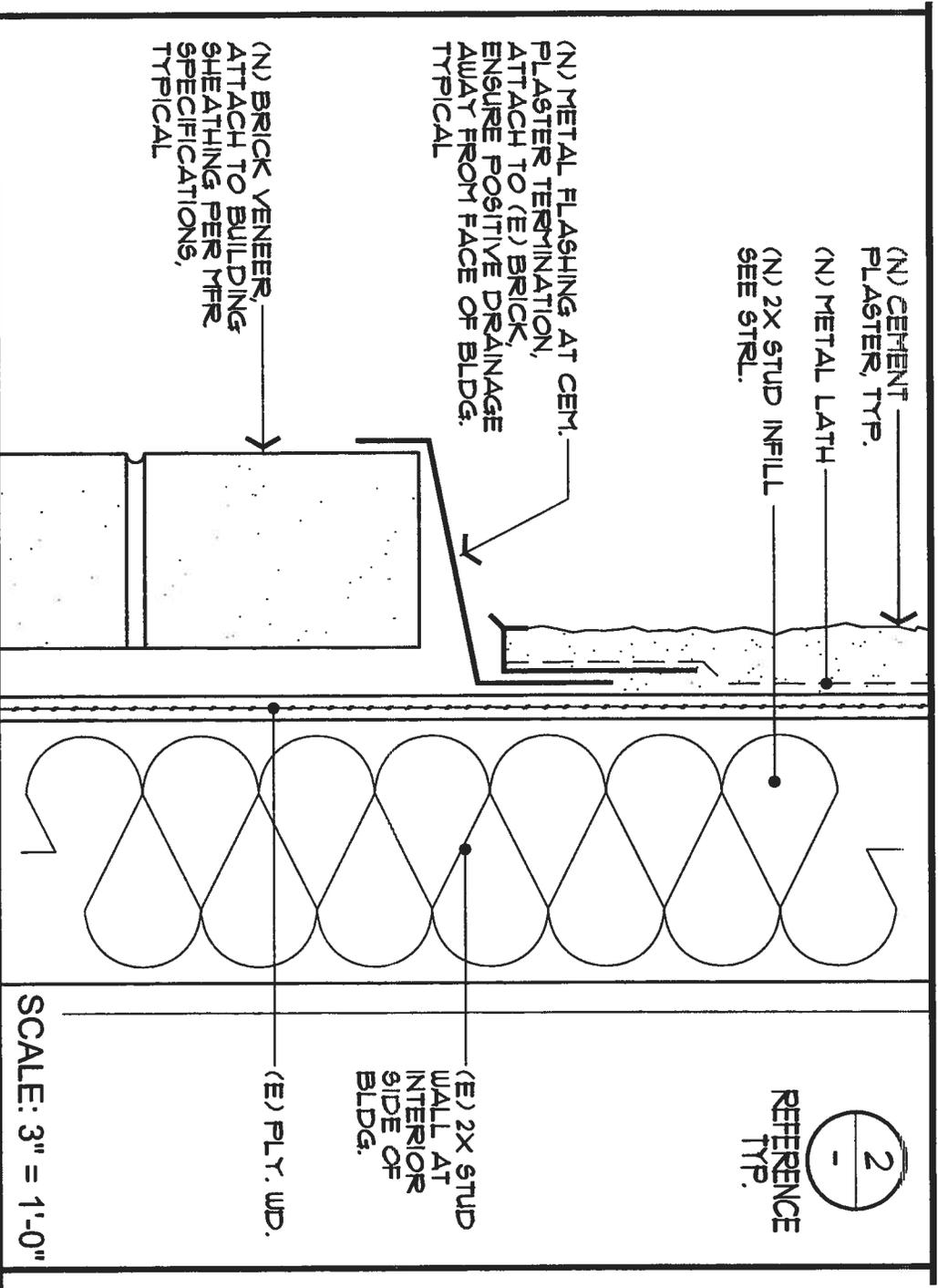
**E/I CONCEPTUAL LANDSCAPE RENOVATION PLAN**  
SCALE: 1" = 160'





"P1" BIKE RACKS

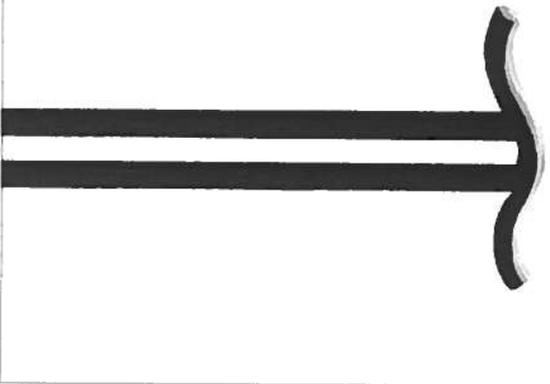
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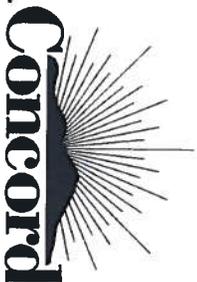
**(N) CEMENT PLASTER TERMINATION**

(N) CEMENT PLASTER TERMINATION AT (E) BRICK

**9**



designed by Robert Chipman, ASLA  
U.S. Patent No. 0374849



**REPORT TO DESIGN REVIEW BOARD**

DATE: May 26, 2016

**I. GENERAL INFORMATION**

**Project Name:** Ridge Park Subdivision (PL16155 - DR)

**Review Status:** Preliminary Design Review

**Location:** 9999 Ridge Park Court

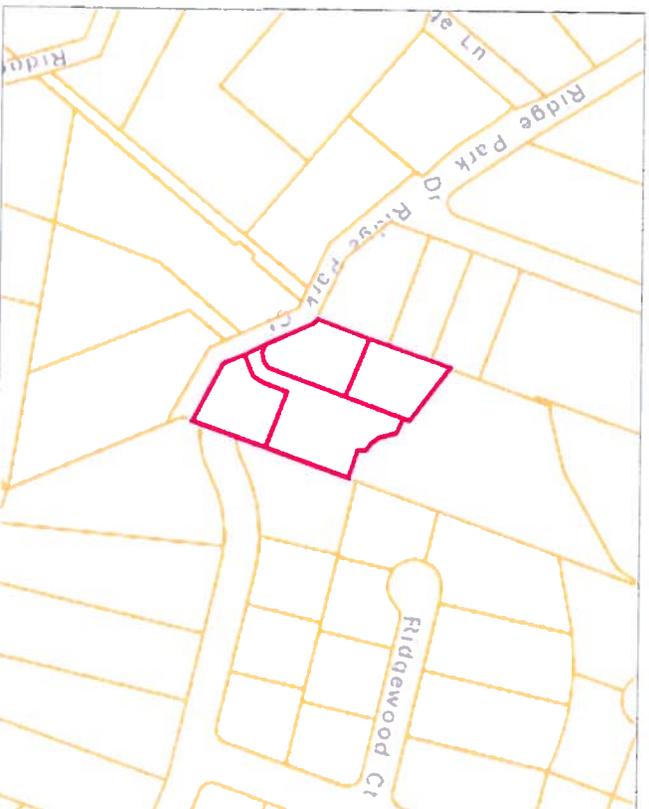
**Parcel Number(s):** 130-090-031, -032, -033, and -034

**General Plan:** Low Density Residential

**Zoning:** RS-10 (Residential Single-Family, 10,000 sq. ft. min. lot size)

**Applicant:** D. R. Horton  
Attn: Jed Bennett  
5050 Hopyard Rd., Suite 180  
Pleasant Hill, CA 94588  
(925) 225-7426

**Vicinity Map:**



**II. PROJECT BACKGROUND**

This application includes design review for four homes within a minor subdivision previously entitled in September 2002. The final map was recorded in September 2005. The owner has approved grading and improvement plans for the subdivision and has entered into a contract to sell the lots to D.R. Horton for development.

On April 13, 2016, D. R. Horton submitted their application for design review for four homes. The Development Advisory Committee (DAC) reviewed the application on May 3, 2016 and deemed it incomplete.

**III. SITE DESCRIPTION**

The project site is located at 9999 Ridge Park Court, just east of Ridge Park Drive and west of Liscome Way. The site is surrounded by existing single-family residential development. An existing single family home, accessory structures, and the Galindo Creek are located at the end of the private road adjacent to the subdivision but is not a part of the project. The four homes (Parcels A-D) would be located on lots measuring at least 10,000 sq. ft. Three protected Oak trees (24 to 34 inches in diameter) are located on the existing developed lot (outside of project) and on parcel C. A 10-foot private storm drain is located on the north and west side of Parcel A. A 20-foot private storm drain is located on the north side of Parcel B, and a 5-foot public utility easement is located along the front edge of Parcels A-D, adjacent to either side of the 25-foot private access road.

**IV. PROJECT DESCRIPTION AND DISCUSSION**

**Site Plan/Circulation**

Site access would be provided via an extension of a private roadway (Ridge Park Court). The private road ends with a hammerhead, which would serve the existing and four new homes. The private road within the subdivision limits would be maintained by a Homeowner's Association. Exhibit A to this report includes the approved improvement plan, the recorded parcel map (dated 2005), and the storm water control plan, which shows the bio retention facility located on the existing lot at the end of the court, as well as the home designs. Sidewalks were not required as part of the project approval.

- Provide separate site plan locating all easements, required setbacks, distance of proposed home from easements/property lines, locations of trees to be retained and their drip line, and call out architectural plan types for each lot.
- Locate consolidated mailboxes within the court.

**Architecture**

Craftsman, Italian, Spanish and French Country style architecture are proposed with homes ranging in size from 3,579 to 4,135 square feet. Two different, but similar, floor plan variations are proposed each of which includes a two-car garage. Options within the floor plans include opportunities for a

private suite off the lower bedroom instead of a living room, creation of an upper loft instead of the upper bedroom, or creation of bedroom 5 instead of the living room. Each floor plan would have a different elevation for each of the lots. All proposed homes would be two-story with the tallest floor plan option at approximately 28-feet in height. The homes would all be finished in stucco with stone base accents and tile roofs. The applicant's statement of design intent is attached as Exhibit B.

- Enhance the side and rear elevations to achieve improved four-sided design. In particular for those elevations that are most visible, for example, left and rear elevation for Plan A, include shutters or wrought iron pot shelves, etc. and right and rear elevation for Plan D, include shutters or other accents).
- Consider ways to further differentiate the homes through materials, decorative elements (window shutters, planter boxes, decorative vents), or forms (pop-outs), and provide additional design elements that reinforce this style.
- Given the size of the homes, consider a third car garage or third car driveway on a couple of the parcels, where not limited by easements. The Bedroom 5 option would require a third parking space per the City's Parking code, outside of the front yard setback and thus a third car garage should be shown for homes with this option. If there is no room, the Bedroom 5 option should not be shown as an offering.
- Garage doors should be specified and upgraded to carriage-style or other architecturally consistent style.

#### **Landscaping, Fencing and Lighting**

The project will provide new landscaping for each of the four residences. The preliminary planting palette includes trees such as Deodar Cedar, Crape Myrtle, Sweet Bay and Coast Live Oak and shrubs, groundcovers and perennials such as Fortnight Lily and Dwarf English Lavendar. A 15-foot wide landscape buffer is planned along the southern property lines adjacent to the entry to the subdivision. Seven trees are proposed to be saved including a 34" Valley Oak, 24" Valley Oak, 29" Valley Oak (Parcel C), and a 13"/15" Valley Oak. The protected trees would provide additional privacy and screening for the adjacent existing single-family homes. A six-foot good neighbor redwood fence is proposed (see Sheet L1 to Exhibit A).

Lighting details are proposed and included within the plans. Elevations A and B are shown with an Espresso finish wall lantern for placement at the garage and entry, Elevation C is shown with a Copper finish wall lantern for placement at the garage and Elevation D is shown with a wall lantern with a black finish for placement at the garage and entry.

- Trees should be proposed as 24-inch box in size.
- Final Landscape Plan will require a water estimate (see checklist) to confirm adequate use of drought tolerant material.

- A 7-foot tall fence with a one-foot lattice panel is recommended for the homes, given the height of the roadway above the subdivision.
- Lighting should be shown at entries of Plans C and D and both sides of garage for all homes.

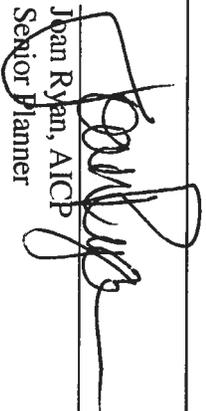
**V. SUMMARY**

Staff recommends the Board review the plans, consider the recommendations discussed in this report, identify any additional issues, and provide the applicant with comments for incorporation into the final project design for the Board's approval.

- Provide separate site plan locating all easements, required setbacks, distance of proposed home from easements/property lines, locations of trees to be retained and their drip line, and call out architectural plan types for each lot.
- Locate consolidated mailboxes within the court.
- Enhance the side and rear elevations to achieve improved four-sided design. In particular for those elevations that are most visible, for example, left and rear elevation for Plan A, include shutters or wrought iron pot shelves, etc. and right and rear elevation for Plan D, include shutters or other accents).
- Consider ways to further differentiate the homes through materials, decorative elements (window shutters, planter boxes, decorative vents), or forms (pop-outs), and provide additional design elements that reinforce this style.
- Given the size of the homes, consider a third car garage or third car driveway on a couple of the parcels, where not limited by easements. The Bedroom 5 option would require a third parking space per the City's Parking code, outside of the front yard setback and thus a third car garage should be shown for homes with this option. If there is no room, the Bedroom 5 option should not be shown as an offering.
- Garage doors should be specified and upgraded to carriage-style or other architecturally consistent style.
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- Lighting should be shown at entries of Plans C and D and both sides of garage for all homes.

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Prepared by:



Joan Ryan, AICP

Senior Planner

(925) 671-3370

[joan.ryan@cityofconcord.org](mailto:joan.ryan@cityofconcord.org)

Exhibits:

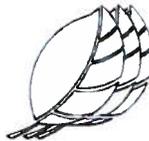
- A - Project plans date-stamped April 13, 2016
- B - Statement of Design Intent

# Ridge Park



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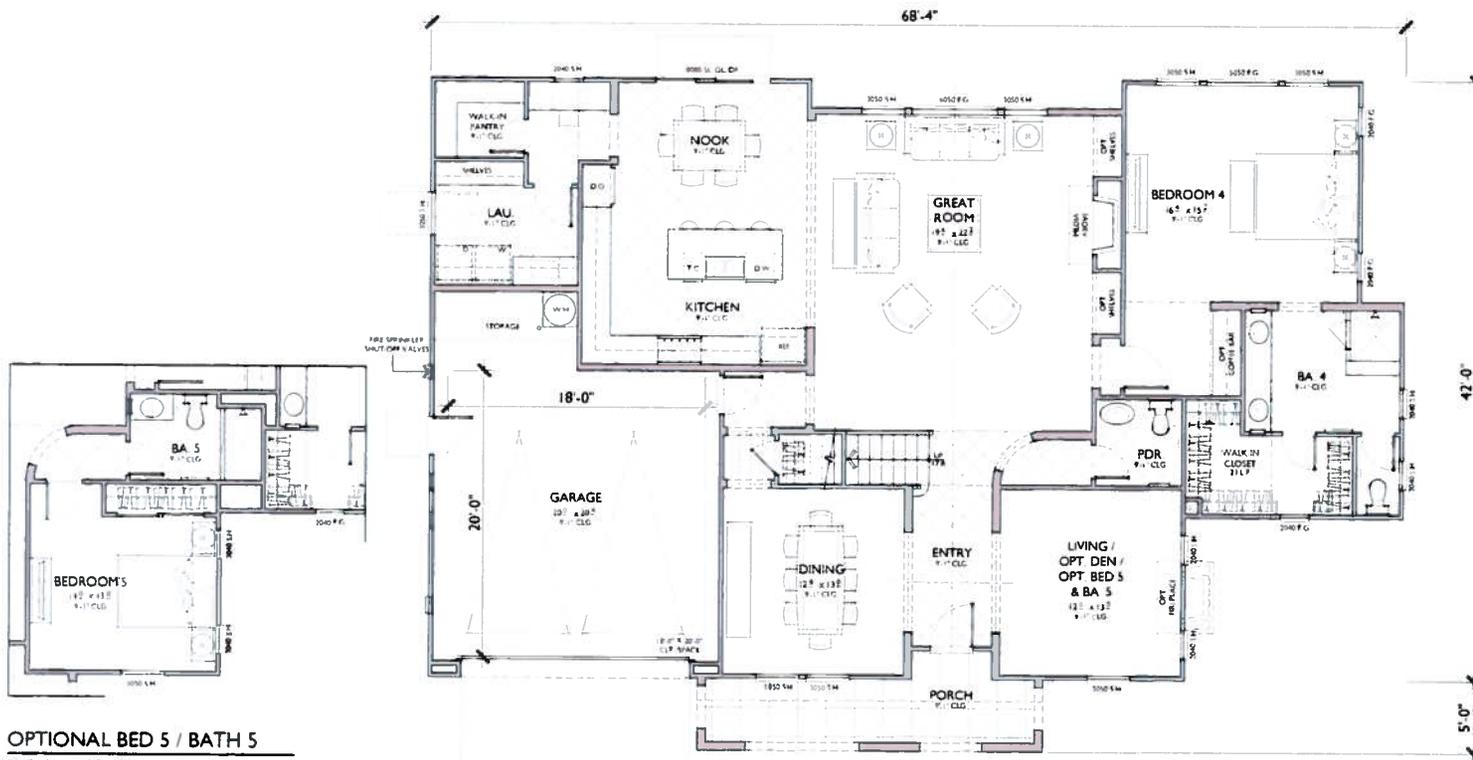
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**Thomas Baak & Associates, LLP.**  
Landscape Architects  
1620 North Main Street, Suite 4  
Walnut Creek, CA 94596  
Ph: 925.933.2583

**D·R·HORTON** DHI NYSE  
*America's Builder*

EXHIBIT A



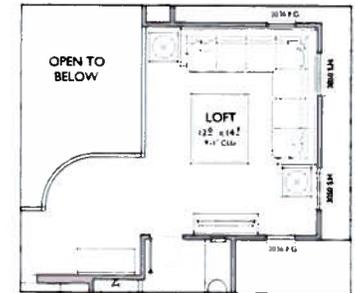
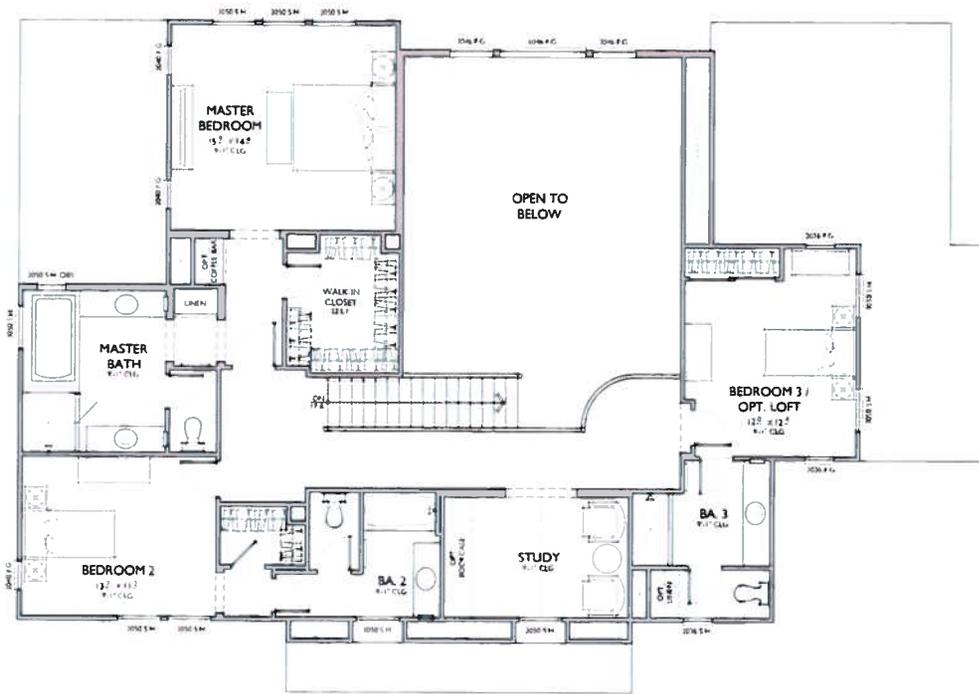
**OPTIONAL BED 5 / BATH 5**  
IN LIEU OF LIVING ROOM

**PLAN 1A**  
3,579 SQ. FT.  
4 BEDROOMS / 4.5 BATHS  
2 - CAR GARAGE

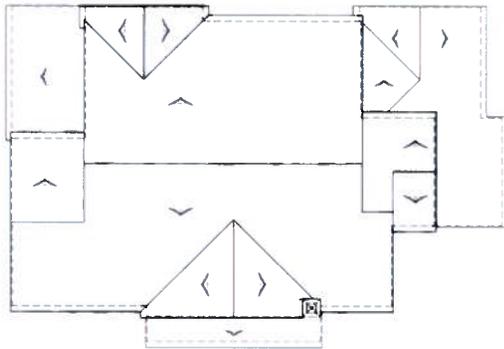
**FLOOR AREA TABLE**

1ST FLOOR	2,103 SQ. FT.
2ND FLOOR	1,476 SQ. FT.
TOTAL	3,579 SQ. FT.
2 - CAR GARAGE	475 SQ. FT.
PORCH	132 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION



**OPTIONAL LOFT**  
IN LIEU OF BEDROOM 3



ROOF PLAN

PITCH 8/12  
RAISE 2"  
EAVE 12"

A



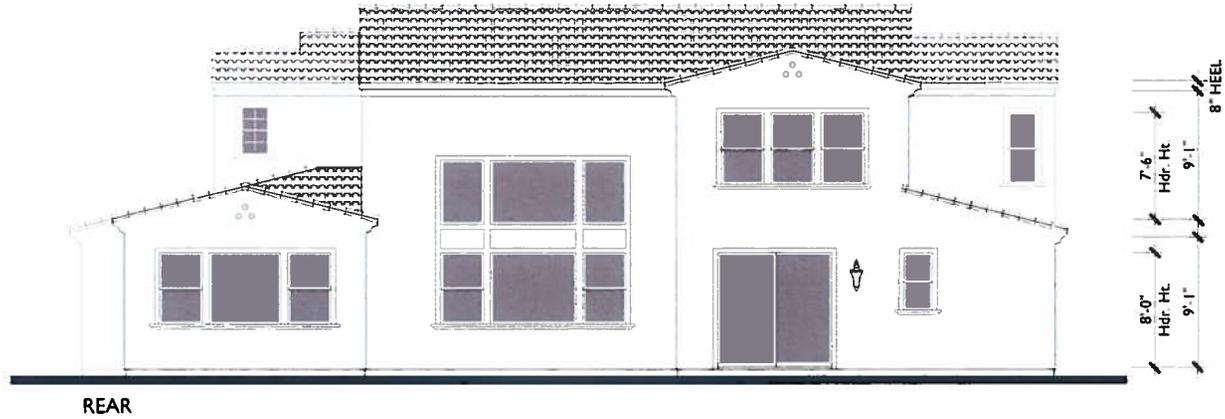
FRONT

A - SPANISH

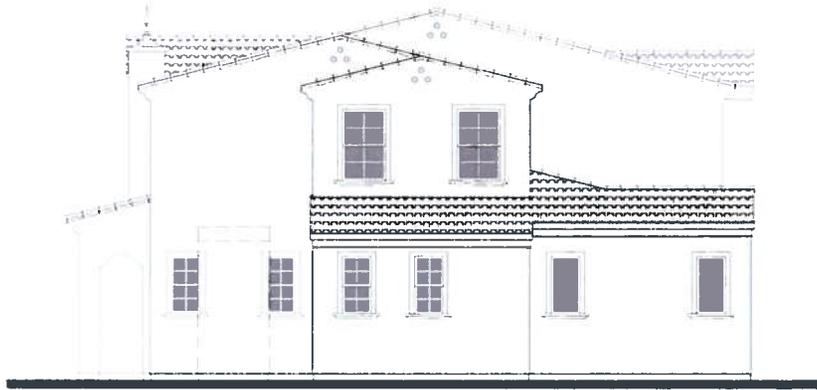
16'-0"

MATERIALS LEGEND

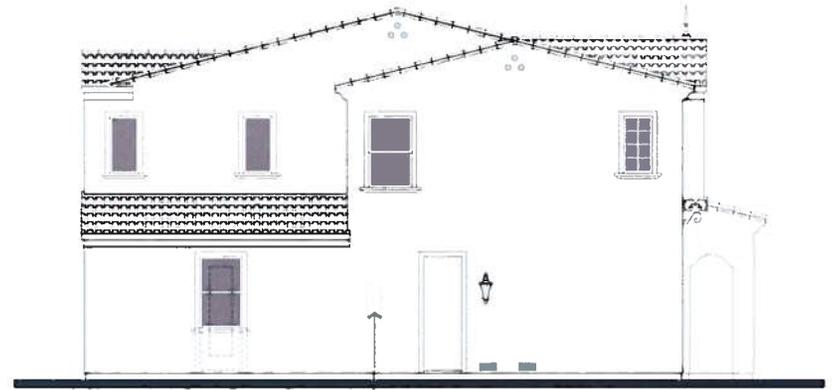
- FULL "S" CONCRETE ROOF TILE - EAGLE ROOFING / 3814
- SHAPED FOAM STUCCO EAVE - SHERWIN WILLIAMS PAINT / SW6119 ANTIQUE WHITE
- SAND FINISH STUCCO - SHERWIN WILLIAMS PAINT / SW6119 ANTIQUE WHITE
- DECORATIVE SHUTTERS - SHERWIN WILLIAMS PAINT / SW6222 RIVERWAY
- PREFABRICATED FINIAL - SHERWIN WILLIAMS PAINT / SW7553 KHAKI SHADE
- STUCCO TRIM - SHERWIN WILLIAMS PAINT / SW7553 KHAKI SHADE
- SMOOTH FINISH STUCCO ENTRY SURROUND - SHERWIN WILLIAMS PAINT / SW7553 KHAKI SHADE
- WROUGHT IRON POTSHELF - SHERWIN WILLIAMS PAINT / SW6990 CAVIAR
- DECORATIVE GABLE END VENT PIPES - SHERWIN WILLIAMS PAINT / SW7705 WHEAT PENNY
- METAL ROLL-UP GARAGE DOOR - SHERWIN WILLIAMS PAINT / SW7520 PLANTATION BROWN



REAR



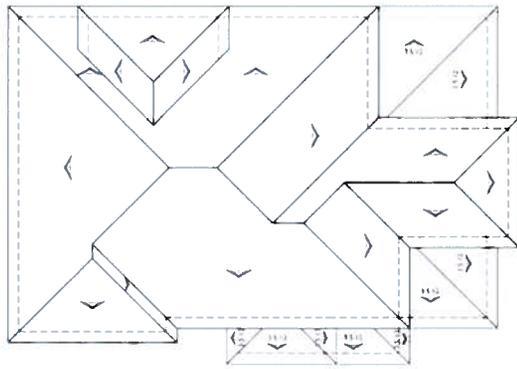
RIGHT



LEFT







ROOF PLAN

PITCH 4:12 (1/2")  
 RAFT 18"  
 EAVE 18"

B



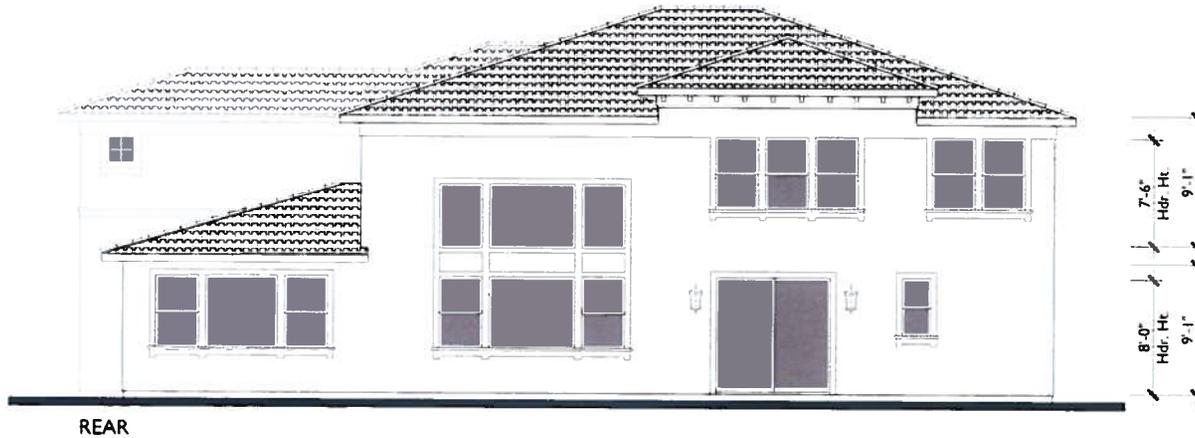
FRONT

B - ITALIAN

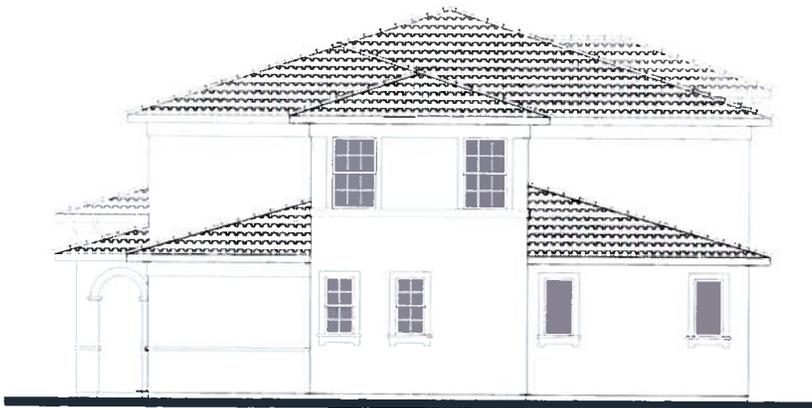
1/4" = 1' 0"

MATERIALS LEGEND

- FULL "5" CONCRETE ROOF TILE - EAGLE ROOFING / SCC 8830
- STUCCO SOFFIT AT EAVES - SHERWIN WILLIAMS PAINT / SW7683 BUFF
- 2x6 FASCIA - SHERWIN WILLIAMS PAINT / SW6089 GROUNDED
- SAND FINISH STUCCO - SHERWIN WILLIAMS PAINT / SW6128 BLONDE
- STUCCO CORBELS AT TOWER AND ENTRY EAVES - SHERWIN WILLIAMS PAINT / SW6089 GROUNDED
- STUCCO TRIM - SHERWIN WILLIAMS PAINT / SW7683 BUFF
- SMOOTH FINISH STUCCO ENTRY SURROUND - SHERWIN WILLIAMS PAINT / SW7683 BUFF
- DECORATIVE SHUTTERS - SHERWIN WILLIAMS PAINT / SW6187 ROSEMARY
- WROUGHT IRON POTSHelf - SHERWIN WILLIAMS PAINT / SW6990 CAVIAR
- METAL ROLL-UP GARAGE DOOR - SHERWIN WILLIAMS PAINT / SW6089 GROUNDED



REAR



RIGHT



LEFT

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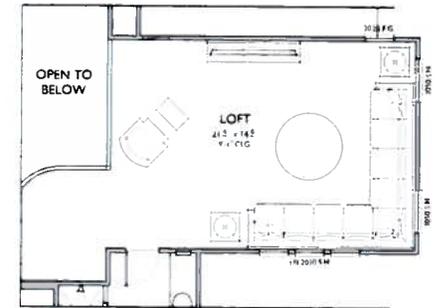
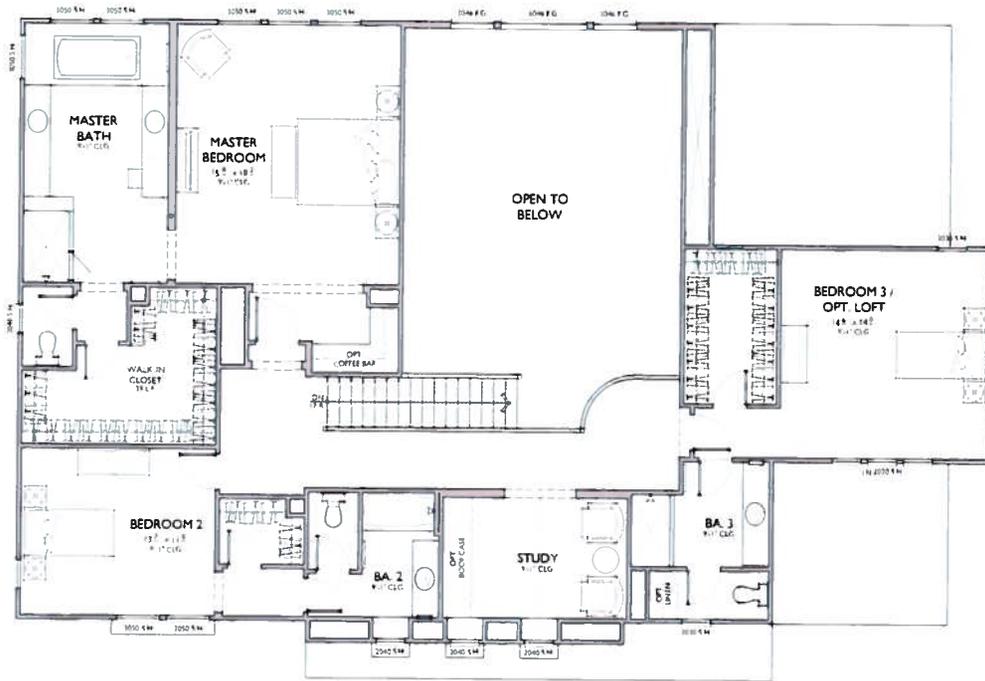
**PLAN IXB**  
Italian Elevation  
**RIDGE PARK**  
Concord, California

1" = 8'-0" 257.16069

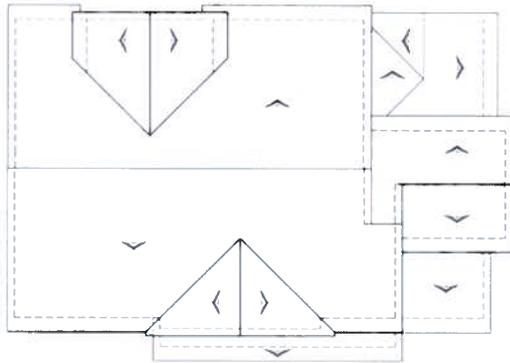
03.17.16

**D-R HORTON**  
America's Builder





**OPTIONAL LOFT**  
IN LIEU OF BEDROOM 3



**ROOF PLAN**

PITCH 3:5:12  
RAKE 12"  
FAVE 24"

C



**FRONT**

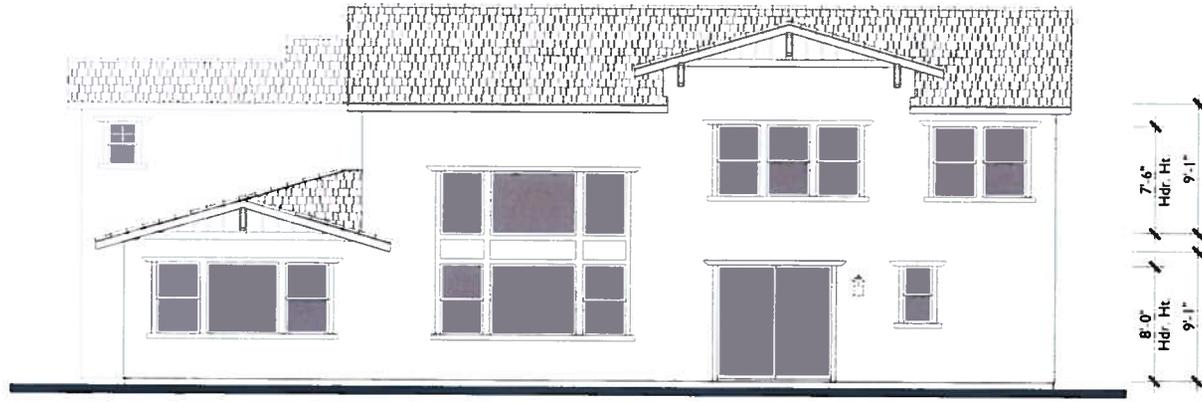
**C - CRAFTSMAN**

14'-11 1/2"



**MATERIALS LEGEND**

- FLAT SHAKE ROOF - EAGLE ROOFING / SCP 8804
- SAND FINISH STUCCO - SHERWIN WILLIAMS PAINT / SW7543 AVENUE TAN
- 8" LAP SIDING - SHERWIN WILLIAMS PAINT / SW7737 MEADOW TRAIL
- 2x6 FASCIA AND RAKE - SHERWIN WILLIAMS PAINT / SW6160 BEST BRONZE
- WOOD OR CEMENTITIOUS TRIM AT WINDOWS - SHERWIN WILLIAMS PAINT / SW6160 BEST BRONZE
- WOOD OR CEMENTITIOUS TRIM AT GABLE END - SHERWIN WILLIAMS PAINT / SW6160 BEST BRONZE
- WOOD OUTLOOKERS - SHERWIN WILLIAMS PAINT / SW6160 BEST BRONZE
- WOOD RAIL AND POTSHELF - SHERWIN WILLIAMS PAINT / SW6160 BEST BRONZE
- STONE VENEER - EL DORADO STONE VENEER / SADDLEBACK RUSTIC LEDGE (DRY STACK)
- METAL ROLL-UP GARAGE DOOR - SHERWIN WILLIAMS PAINT / SW6160 BEST BRONZE



REAR



RIGHT



LEFT

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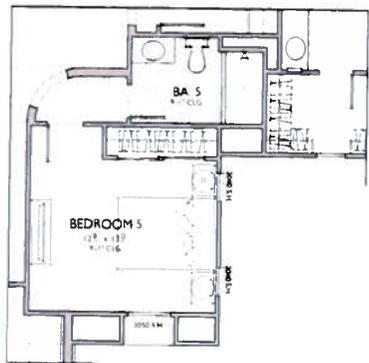
**PLAN IXC**  
Craftsman Elevation  
**RIDGE PARK**  
Concord, California

1000 Grand Canal, Suite 100  
Hayward, CA 94541 (925)  
42-11160 222 3120  
42-11160 222 0540

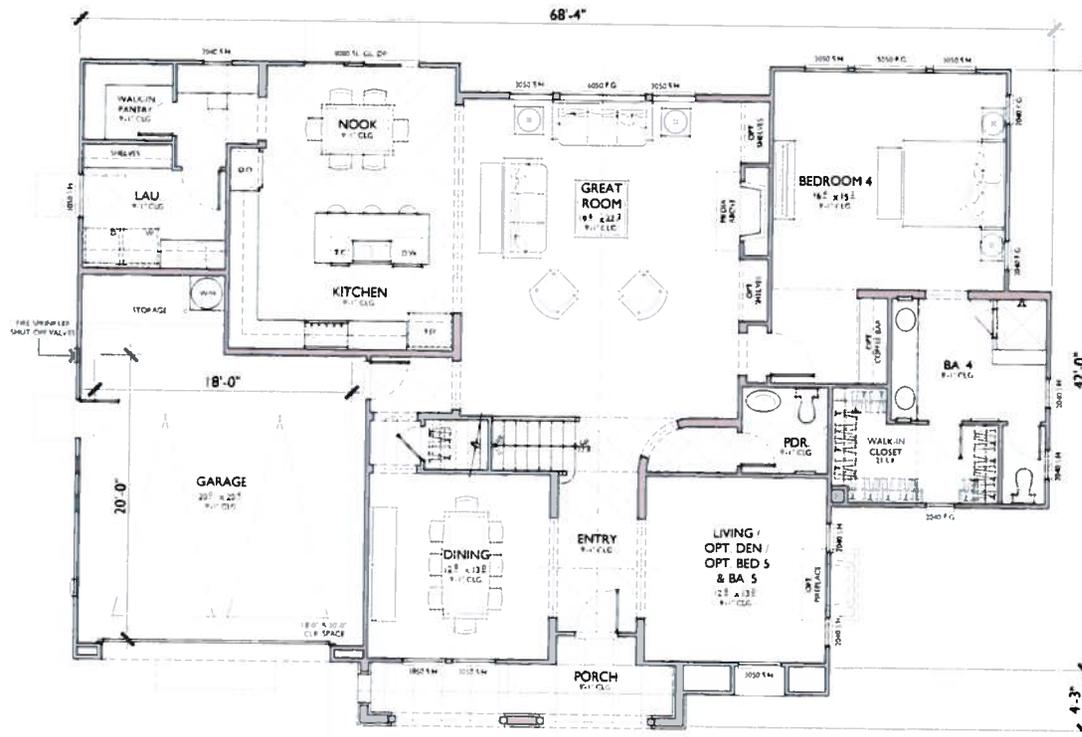
257-16069

03.17.16

**D-R-HORTON**  
*America's Builder*



**OPTIONAL BED 5 / BATH 5**  
IN LIEU OF LIVING ROOM

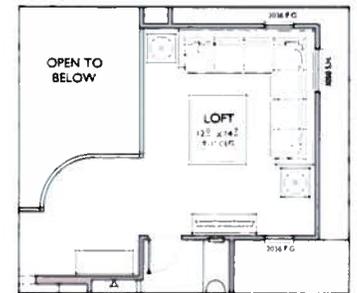
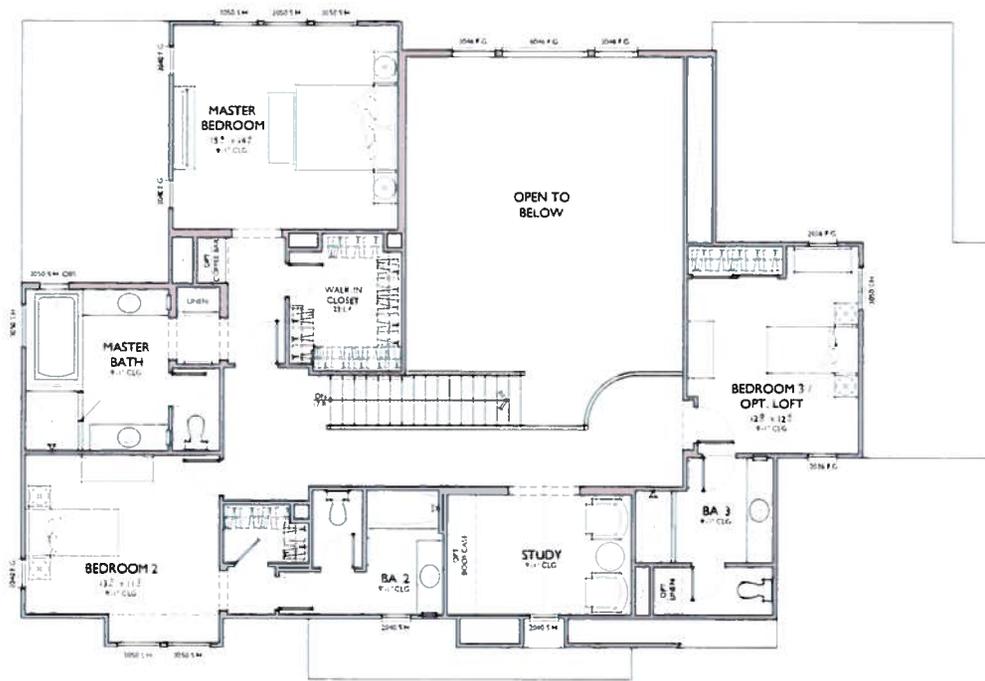


**PLAN ID**  
3,596 SQ. FT.  
4 BEDROOMS / 4.5 BATHS  
2 - CAR GARAGE

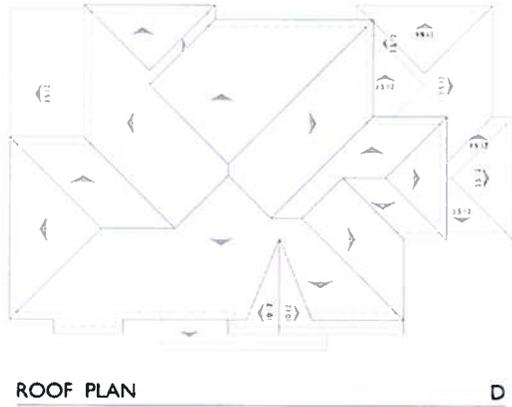
**FLOOR AREA TABLE**

1ST FLOOR	2,103 SQ. FT.
2ND FLOOR	1,493 SQ. FT.
TOTAL	3,596 SQ. FT.
2 - CAR GARAGE	475 SQ. FT.
PORCH	108 SQ. FT.

NOTE SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION



**OPTIONAL LOFT**  
IN LIEU OF BEDROOM 3



ROOF PLAN

PITCH: 4:12 (END)  
RAKE: 6"  
EAVE: 12"

D



FRONT

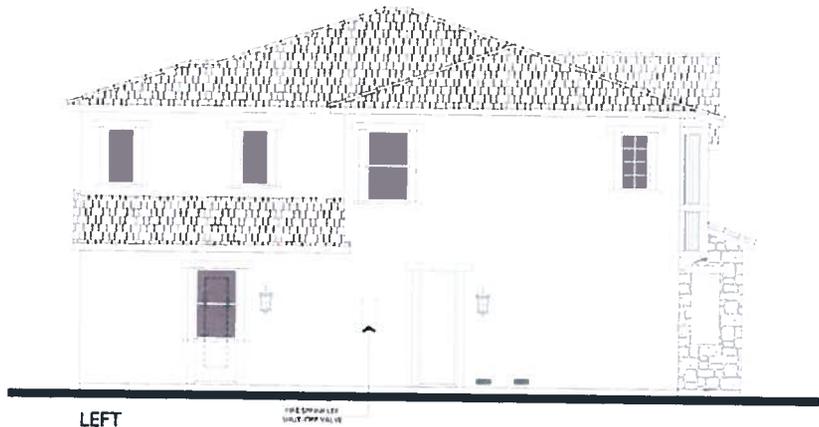
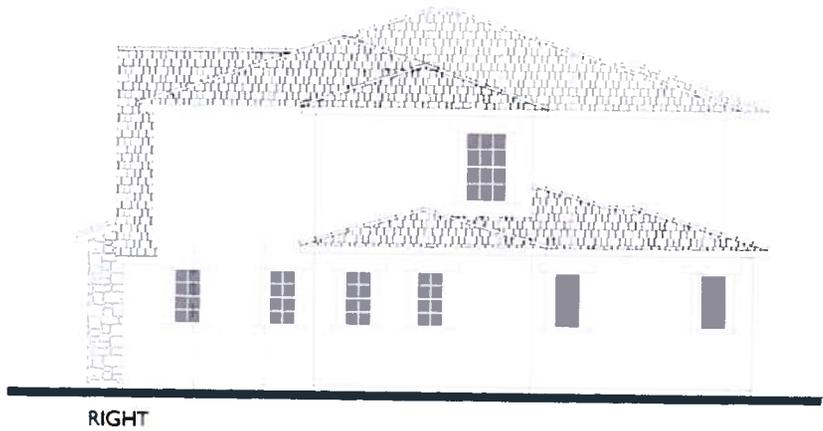
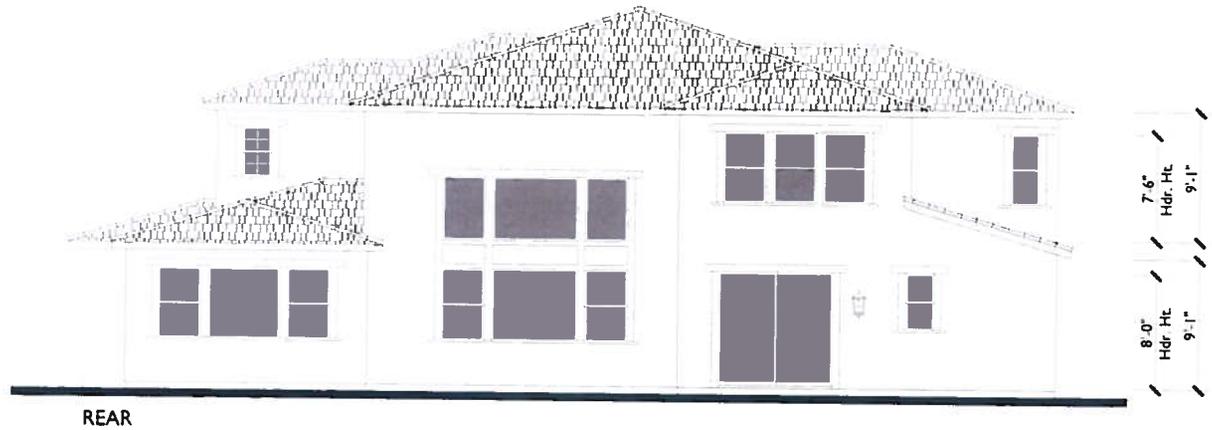
D - FRENCH COUNTRY

1/4" = 1'-0"



MATERIALS LEGEND

- FLAT SLATE ROOF - EAGLE ROOFING / 4671
- SAND FINISH STUCCO - SHERWIN WILLIAMS PAINT / SW6143 BASKET BEIGE
- 2x6 FASCIA AND RAKE - SHERWIN WILLIAMS PAINT / SW7571 CASA BLANCA
- WOOD OR CEMENTITIOUS TRIM AT WINDOWS - SHERWIN WILLIAMS PAINT / SW7571 CASA BLANCA
- WOOD OR CEMENTITIOUS TRIM AT GABLE END - SHERWIN WILLIAMS PAINT / SW7571 CASA BLANCA
- WOOD OUTLOOKERS - SHERWIN WILLIAMS PAINT / SW7571 CASA BLANCA
- DECORATIVE SHUTTERS - SHERWIN WILLIAMS PAINT / SW6068 BREVITY BROWN
- STONE VENEER - EL DORADO STONE VENEER / WHEATFIELD ROUGH CUT
- METAL ROLL-UP GARAGE DOOR - SHERWIN WILLIAMS PAINT / SW7571 CASA BLANCA



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ARCHITECTURE + PLANNING + INTERIORS

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Menlo Park, CA 94025  
Tel: +1 650 323 0100  
Fax: +1 650 323 0002

**PLAN ID**  
French Country Elevation  
**RIDGE PARK**  
Concord, California

257.16069

03.17.16

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# SCHEME 1 - PLAN 1A - SPANISH ELEVATION

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'S' ROOF TILE

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BASE STUCCO & BUILTUP EAVES



TRIM & HEADER



SHUTTERS & FRONT ENTRY DOOR



GARAGE DOOR

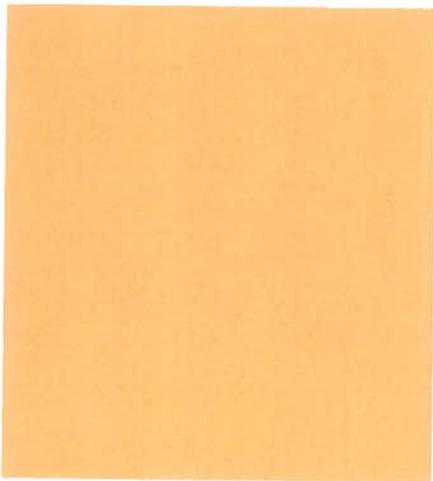
## SCHEME 2 - PLAN 1XB - ITALIAN ELEVATION

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'S' ROOF TILE

---



BASE STUCCO



FASCIA, EAVES & KICKERS



TRIM AND HEADINGS



SHUTTERS & FRONT ENTRY DOOR

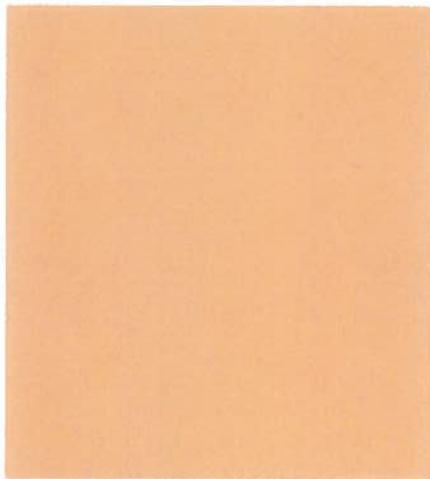


GARAGE DOOR

# SCHEME 3 - PLAN 1XC - CRAFTSMAN ELEVATION



FLAT ROOF TILE



BASE STUCCO



SIDING



STONE



FASCIA, EAVES, GABLE SIDING, POSTS, BEAMS & KICKERS



TRIM & HEADERS



SHUTTERS & FRONT ENTRY DOOR

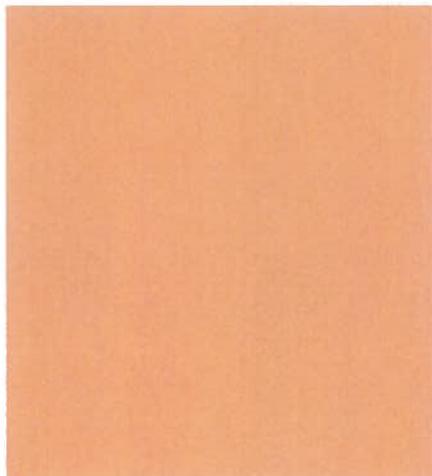


CARAGE DOOR

# SCHEME 4-PLAN 1D-FRENCH COUNTRY ELEVATION



FLAT ROOF TILE



BASE STUCCO



FASCIA, EAVES, & GABLE SIDING



TRIM & HEADER



SHUTTERS & FRONT ENTRY DOOR



STONE

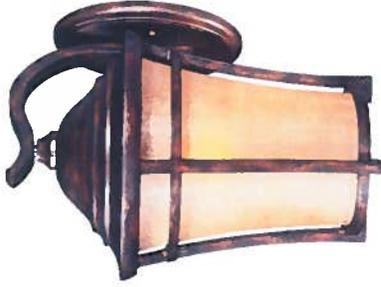


GARAGE DOOR

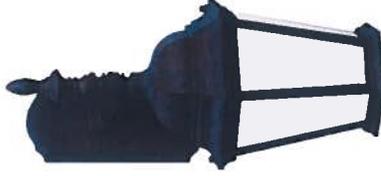
# Ridge Park Light Specs



Elev. A/B: Exterior Front & Garage Light, Maxim Lighting, Odessa Collection, Espresso Finish, Model #86014L.TES – Or approved equal



Elev. C: Exterior Front & Garage Light, Maxim Lighting, Balboa Collection, Copper Oxide Finish, Model #85165GFCO – Or approved equal



Elev. D: Exterior Front & Garage Light, Maxim Lighting, Westlake Collection, Black Finish, Model #85104BK – Or approved equal

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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Thomas, Bark & Associates, LLP  
 Landscape Architects  
 10000 Wilshire Blvd, Suite 200  
 Los Angeles, CA 90024  
 Phone: (310) 205-1234  
 Fax: (310) 205-5678  
 Email: info@tba.com



**SUBDIVISION MS 401-02**  
 1039 RIDGE PARK COURT  
 CONCORD, CALIFORNIA  
 D. R. HORTON

**PRELIMINARY PLAN**

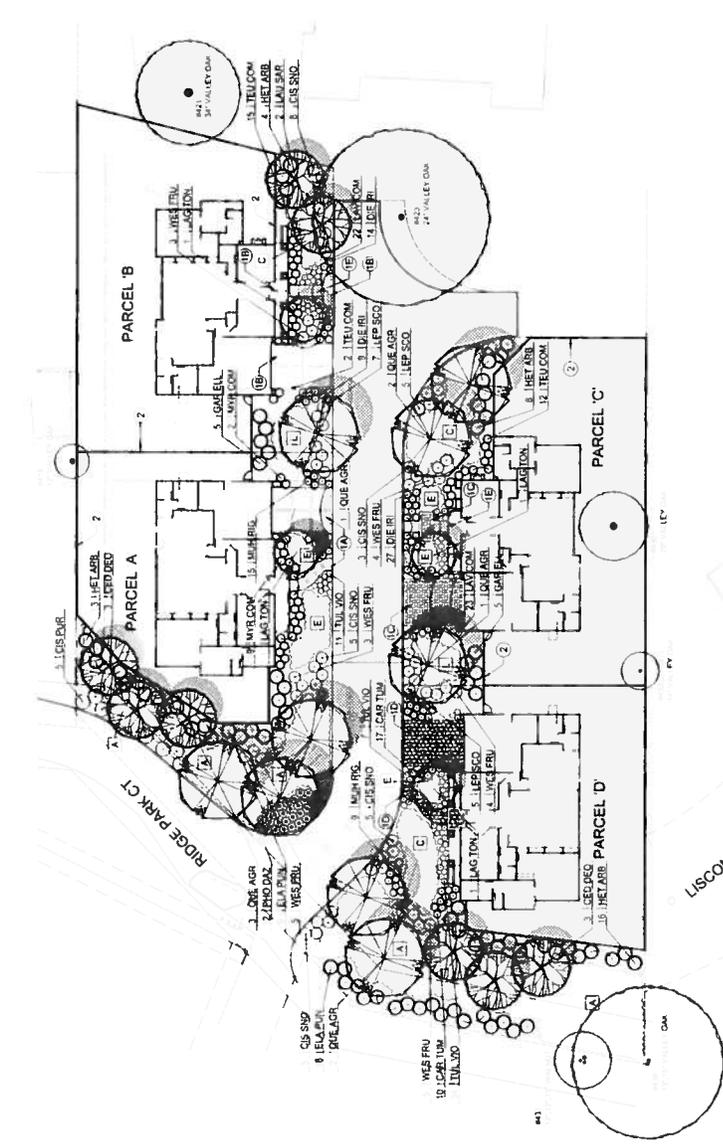
DATE	04-03-16
PROJECT	1039 RIDGE PARK COURT
SCALE	AS SHOWN
SHEET	11

SHEET  
**11**

### PLANT MATERIALS LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	WUCOLS WATER NEEDS
<b>TREES: TO BE 15 GAL SIZE</b>			
CE1	CEDRUS DEODARA	DEODAR CEDAR	LOW
LA1	LAURUS NOBILIS 'SARATOGA'	SWEET BAY STANDARD	LOW
QU1	QUERCUS AGRIFOLIA	COAST LIVE OAK	VERY LOW
<b>SHRUBS: TO BE 5 GAL SIZE</b>			
CEA	CEANOTHUS THYRSIFLORUS 'SKYLARK'	WILD LILAC	LOW
CIS	CISTUS PURPUREUS	ORCHID ROCKROSE	LOW
CIS	CISTUS 'SNOWFIRE'	ROCKROSE	LOW
GA	GARRYA ELIPTICA	WESTERN HERRBERRY	LOW
GA	GARRYA ELIPTICA	COAST SILKTASSLE	LOW
HE	HETEROMELLES ARBUTIFOLIA	TONON	LOW
LEP	LEPTOSPERMUM SCOPARIUM 'GNETY GIRL'	NEW ZEALAND TEA TREE	MEDIUM
TEU	TEUCRIUM FRUTICOSA 'COMPACTUM'	LEMON SUEDE	LOW
WE	WESTRINGIA FRUTICOSA 'MORNING LIGHT'	COAST ROSEMARY	LOW
<b>PERENNIALS: TO BE 1 GAL SIZE</b>			
CA	CAREX TUMULICOLA	BERKLEY SEDGE	LOW
DI	DIETES IRIDIODES	FORTNIGHT LILY	LOW
LAN	LAVANDULA ANGIUSTIFOLIA 'COMPACTA'	DWARF ENGLISH LAVENDER	LOW
PH	PHORMIUM DAZZLER	DWARF NEW ZEALAND FLAX	LOW
TUL	TULBAGHA VIOLACEA 'VARIEGATA'	VAREGATED SOCIETY GARLIC	LOW
<b>GROUND COVERS: SIZE AND BRACING NOTED BELOW</b>			
A	ARCTOSTAPHYLOS UVA-URSI 'POINT REYES'	PROSTRATE MANZANITA	LOW
F	FROM 7 GAL CANS AT 35' O.C.		
C	COPROSMA PETRIE 'VERDE VISTA'	CREeping COPROSMA	LOW
E	ERIGERON KARWINSKYANUS	SANTA BARBARA DAISY	LOW
F	FROM 1 GAL CANS AT 35' O.C.		

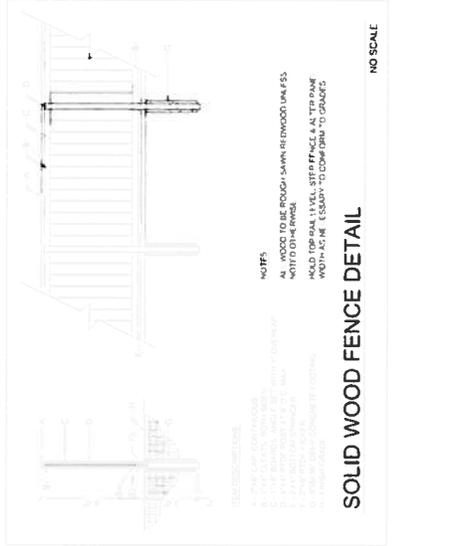
- ### LEGEND:
- CONCRETE PAVING, MEDIUM BROOM FINISH FIELD WITH DAVIS COLOR 'SAN DIEGO BLUFF' (#6237) AND 8" WIDE SMOOTH TROWEL BANDS WITH DAVIS COLOR 'MOCHA' (#6658)
  - CONCRETE PAVING, MEDIUM BROOM FINISH FIELD WITH DAVIS COLOR 'PEBBLE' (#6411) AND 8" WIDE SMOOTH TROWEL PERIMETER BANDS WITH DAVIS COLOR 'SECUDIA SAND' (#6411)
  - PAVING, BELGARD 'AVALON SLATE' PAVERS, RANDOM SET WITH SOLIDER COURSE PERIMETER BANDS COLOR TO BE 'BELLA'
  - PAVING, BELGARD 'MEGA-ARREL' PATIO SLAB PAVERS, COLOR TO BE 'TOSCANA'
  - WALKWAY PAVING, MEDIUM BROOM FINISH CONCRETE WITH DAVIS COLOR 'PEBBLE' (#6411)
  - HEIGHT SOLID HOOD FENCE REFER TO DETAIL, THIS SHEET



### GENERAL NOTES

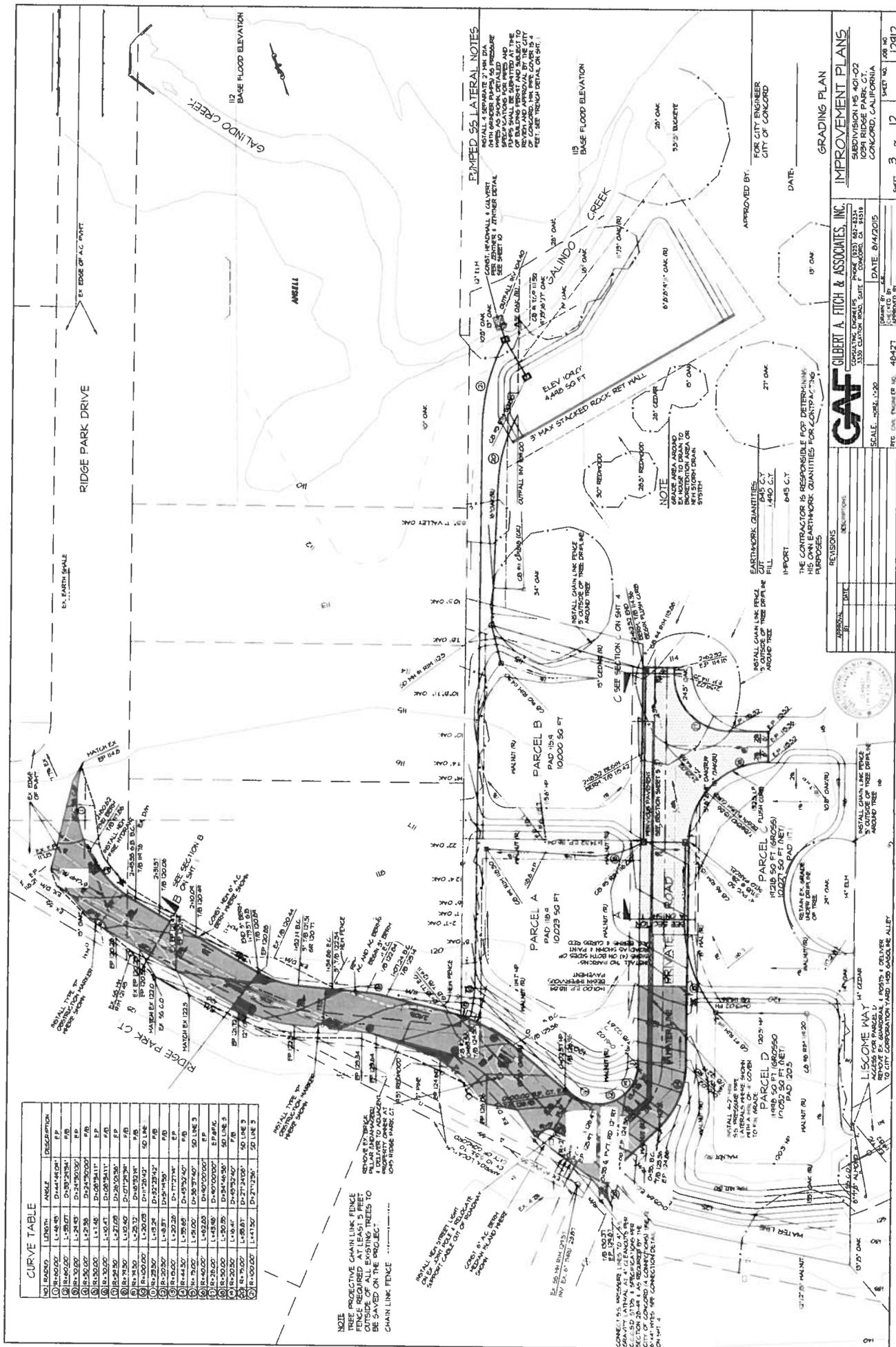
- ALL PLANTING SHALL BE WATERED BY FULLY AUTOMATIC WATER-CONSERVING IRRIGATION SYSTEM
- ALL PLANTING AREAS SHALL RECEIVE A 3" LAYER OF FIBRBARK MULCH DRESSING

GRAPHIC SCALE  
 0 1 2 3 4 5 6 7 8 9 10  
 FEET



NO.	RADIUS	LENGTH	ANGLE	DESCRIPTION
1	100.00	1.18	1.18	EP
2	100.00	1.18	1.18	EP
3	100.00	1.18	1.18	EP
4	100.00	1.18	1.18	EP
5	100.00	1.18	1.18	EP
6	100.00	1.18	1.18	EP
7	100.00	1.18	1.18	EP
8	100.00	1.18	1.18	EP
9	100.00	1.18	1.18	EP
10	100.00	1.18	1.18	EP
11	100.00	1.18	1.18	EP
12	100.00	1.18	1.18	EP
13	100.00	1.18	1.18	EP
14	100.00	1.18	1.18	EP
15	100.00	1.18	1.18	EP
16	100.00	1.18	1.18	EP
17	100.00	1.18	1.18	EP
18	100.00	1.18	1.18	EP
19	100.00	1.18	1.18	EP
20	100.00	1.18	1.18	EP
21	100.00	1.18	1.18	EP
22	100.00	1.18	1.18	EP
23	100.00	1.18	1.18	EP
24	100.00	1.18	1.18	EP
25	100.00	1.18	1.18	EP
26	100.00	1.18	1.18	EP
27	100.00	1.18	1.18	EP
28	100.00	1.18	1.18	EP
29	100.00	1.18	1.18	EP
30	100.00	1.18	1.18	EP

NOTE: PROTECTIVE CHAIN LINK FENCE SHALL BE INSTALLED OUTSIDE OF ALL EXISTING TREES TO BE SAVED ON THE PROJECT.



**GAF** GILBERT A. FITCH & ASSOCIATES, INC.  
CONSULTING ENGINEERS  
3330 CLAYTON ROAD, SUITE F, CONCORD, CA 94520  
SCALE: 1/8"=1'-0"  
DATE: 6/14/2015  
PROJECT NO.: 48-2471  
SHEET NO.: 12 OF 12  
JOB NO.: 12912

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
FOR CITY ENGINEER  
CITY OF CONCORD

GRADING PLAN

REVISIONS

NO.	DATE	DESCRIPTION

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTING UTILITIES AND CONNECTIONS ON SITE.

# PARCEL MAP

## KUNZ MINOR SUBDIVISION SUBDIVISION MS 401-02

PORTION OF PARCEL 1, AS SHOWN ON THE MAP  
RECORD OF SURVEY FILED DECEMBER 19, 1991  
IN BOOK 99 OF LAND SURVEYORS MAPS, AT  
PAGE 34, COSTA COUNTY RECORDS, CITY OF  
CONCORD, CONTRA COSTA COUNTY, CALIFORNIA

GILBERT A. FITCH & ASSOCIATES, INC.  
CONSULTING CIVIL ENGINEERS  
CALIFORNIA  
CONCORD  
SEPTEMBER 2005 SCALE: 1" = 30'

198 PM 26

DELTA	RADIUS	LENGTH
①	185°52'40"	20.00'
②	45°52'40"	45.00'
③	01°05'54"	245.00'
④	90°00'00"	32.00'
⑤	90°00'00"	40.00'
⑥	36°48'07"	10.00'
⑦	24°08'44"	40.00'
⑧	65°51'11"	40.00'
⑨		45.91'

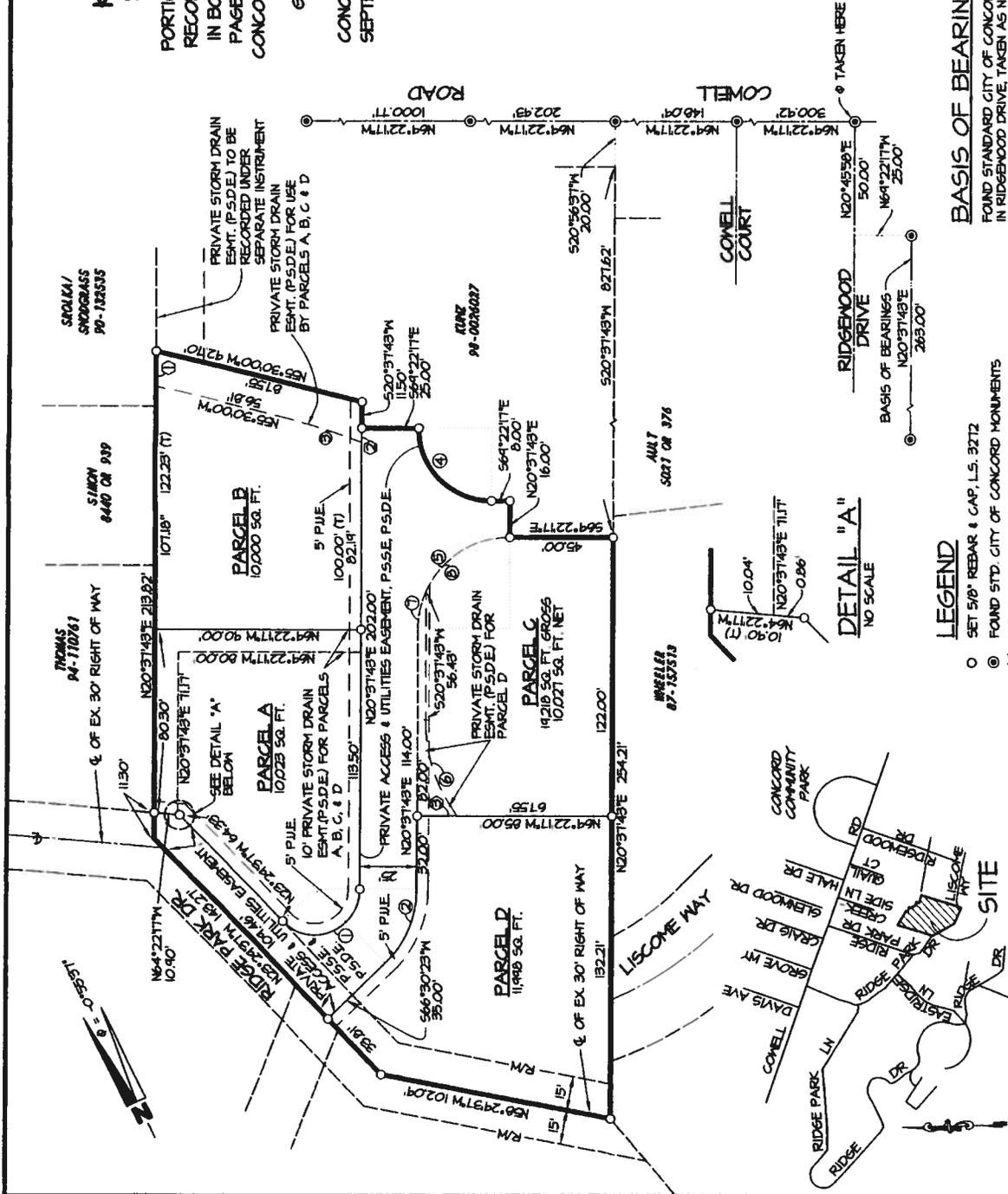
BEARING	LENGTH	
①	N20°51'48"E	15.04'
②	S20°51'48"W	6.31'
③	N64°22'17"W	17.95'

### BASIS OF BEARINGS

FOUND STANDARD CITY OF CONCORD MONUMENTS LOCATED  
IN RIDGEMOOD DRIVE TAKEN AS N 20°51'48"E, AS SHOWN  
ON THE MAP OF SUBDIVISION NO. 2422 (85 M 24), CALIFORNIA  
COORDINATE SYSTEM ZONE III. DISTANCES SHOWN ARE GROUND.  
TO CONVERT TO GRID, MULTIPLY BY 0.9999550

### LEGEND

- SET 5/8" REBAR & CAP, L.S. 3272
- ⊙ FOUND STD. CITY OF CONCORD MONUMENTS
- (T) TOTAL
- P.U.E. PUBLIC UTILITY EASEMENT
- R/W RIGHT OF WAY



### VICINITY MAP

NO SCALE

198-26





April 12, 2016

SUBJECT: RIDGE PARK

RE: Design Intent

The Ridge Park project has an approved Final Map and Improvement Plans to construct homes on four lots. The approved grading plan creates elevated lots from the street, and provides finished pads at varying elevations and slopes between lots. With a minimum lot size of 10,000 square feet, the proposed architecture allows for generous outdoor use areas around the homes.

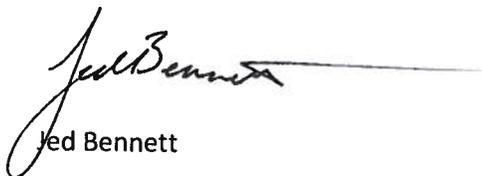
Located in the desirable Concord hills, within an existing community of individually built homes, DR Horton proposes to construct four semi-custom single family detached homes, each with individual architectural styles; Craftsman, Italian, Spanish and French Country. All homes will have sand finished stucco exteriors, and as appropriate, some of the elevations will have a combination of lap siding, stone columns, shutters, corbels and exposed rafters. Architectural treatments will wrap to all four sides of the homes for a high-quality custom design.

Consistent with the architecture and native foliage, the landscape design proposes responsible, low water use planting and trees for the arid environment. There are a number of standing Valley Oak trees anchoring the project site, and the proposed landscape programs adds to the Valley Oak stock, with compliments of Cedars and Crape Myrtles along the street frontage. Particular focus was given to adjacent slopes of existing neighbors, where trees and shrubs will be planted in a respectful density so as to provide natural screening.

DR Horton is excited to build this project and provide superior semi-custom homes under its growing Emerald brand.

For any questions, please contact the undersigned at 925-225-7426.

Very Respectfully,



Jed Bennett



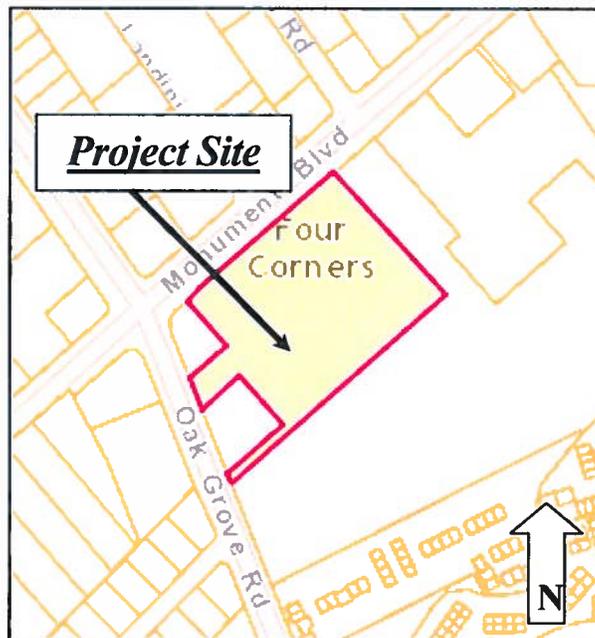
**REPORT TO DESIGN REVIEW BOARD**

DATE: May 26, 2016

**I. GENERAL INFORMATION**

**Project Name:** Cash & Carry (PL16202 – DR)  
**Review Status:** Preliminary Design Review  
**Location:** 2050 Monument Blvd  
**Parcel Number:** 129-170-021  
**General Plan:** Regional Commercial  
**Zoning:** RC (Regional Commercial)  
**Applicant:** Architectural Dimensions  
Attn: Tony Silva and Joanne Park  
300 Frank H. Oqawa Plaza, Suite 375  
Oakland, CA 94612

**Vicinity Map:**



## **II. PROJECT BACKGROUND**

The Four Corners Shopping Center was constructed in the late 1960's. The shopping center contains several freestanding, single- and multi-tenant buildings. The City has approved several expansions and renovations over the last 40 years. Anchor tenants include Big Lots, Kentucky Fried Chicken, and Furniture Depot.

In February of 2016, OSH Hardware vacated a 24,000 sq. ft. tenant space within a 48,000 sq. ft. building that includes Big Lots. The tenant space has remained vacant as of the writing of this report.

On April 29, 2016, Cash & Carry, a retail restaurant equipment and supply store, submitted an application for façade and tenant improvements at the former OSH Hardware tenant space.

On May 17, 2016, the Development Advisory Committee (DAC) reviewed the project. Staff will update the Board at their meeting regarding any substantive comments received by the DAC.

This application is for a Preliminary Design Review. The Board's comments will be incorporated into revised plans that will return for Final Design Review approval. Staff will issue an Administrative Design Review approval for this project, which is the final approval based on the Board's direction.

## **III. DISCUSSION**

### **Site Plan/Circulation**

The 5.2-acre site is located at the southeast intersection of Monument Boulevard and Oak Grove Road. Site accessibility is provided via four driveways, with two along both Monument Boulevard and Oak Grove Road. The subject building is oriented toward Monument Boulevard and is setback approximately 200 feet from the street. Approximately 200 parking spaces, tree wells with mature landscaping, and cart corrals are located in front of the building adjacent to the street.

Minor changes to the site plan are proposed including restriping the parking spaces along the entryway of the tenant space to provide ADA compliant parking and pedestrian pathways. Corresponding areas will also be replaced with ADA compliant ramps at the front entrances. Additional changes to the site plan include the installation of a freestanding trash enclosure, extension of a drive aisle, and removal of an existing chain link fence all at the rear of the building.

The proposed upgrades are appropriate and consistent with the City's standards regarding the dimensions for parking spaces and aisle widths for commercial uses. Staff has the following recommendations:

- Relocate the trash enclosure inside the building or include it as an addition to the building.
- Provide cart corrals in the parking lot that accommodate flatbed carts.

## **Architecture**

The existing building is a one-story, concrete tilt-up structure with a flat roof. The exterior incorporates an exposed aggregate finish, slump stone in-fill panels, concrete columns, projecting tenant entries, and a wood trellis that spans the length of the facade. The former garden center is located at the west end of the building and a large storage building is located at the rear of the building.

The proposed improvements are limited to the former OSH tenant space at the west end of the building. The applicant proposes to improve the appearance of the building with minor interior and façade changes. Proposed changes include modifying the existing storefront by relocating the entryway east on the façade and adding an additional store entrance, to allow for the division of the unit into two spaces for Cash & Carry and a future tenant. The corresponding slump stone infill panels are to be refinished with cement plaster and painted in a beige color (“Sahara Sand”) which the applicant stated closely matches the existing color of the current slump stone panels. Other improvements include replacing and painting the existing dark brown (no color swatch provided) wood fascia outriggers as needed and removing the protruding portion of the existing trellis. The entry trellis and covered walkway are currently a dark brown color however will be painted a light tan color (“Outer Banks”). The remainder of the entry canopy will be reconstructed to match the remaining portion of the trellis. No work for the existing garden center is being proposed as part of the project scope.

Staff contemplated the appearance of the building without the projecting entryway and determined that the façade would look inconsistent with Big Lots as they have the same feature along their storefront. Staff has the following recommendations:

- Secure, enclose, or demolish the garden center as the vacant and open nature of the existing garden center makes it an attractive nuisance and a security concern.
- Provide adequate screening of any new rooftop equipment.
- Repaint all sides and features of the existing building with the exception of the exposed aggregate finish, including but not limited to; all slump-stone columns, slump-stone planter boxes, slump stone in-fill panels and the enclosed nursery.

## **Landscaping**

The existing storefront for the former OSH unit is improved with an elongated planter box located to the east and west of the current entryway along the covered front entrance trellis. Additional existing landscaping includes; mature trees and shrubs within the parking lot and along the east and west ends of the building. The project scope includes the partial removal of an existing landscape planter along the rear portion of the building to allow for delivery truck access to an existing loading dock. No additional landscaping is being proposed as part of the project scope.

After a site visit to the project site, staff determined that the landscaping within the storefront planter boxes was either absent or lacking, and not visible along the frontage from the subject property parking lot. Staff has the following recommendations:

- The applicant shall submit a landscaping plan to adequately utilize the existing planter boxes along the former OSH storefront and provide additional landscaping in lieu of the landscaped area to be removed at the rear of the property.
- Incorporate plant materials that provide color and draw attention to the building entrance.

### **Lighting**

The applicant is not proposing any upgrades or additions to existing lighting, which appears to be provided via parking lot light poles and fluorescent light boxes installed under the existing covered walkway. However the project scope does include the removal of an existing light pole within a landscape area along the rear portion of the building to allow for delivery truck access to an existing loading dock. Staff recommends the following:

- Replace or relocate the existing light pole identified for removal at the rear of the property.

### **Signs**

Two new sign panels are proposed that mimic the Big Lots sign and will tie into the existing roof structure. No additional signage information was provided within the proposed project plans. Staff recommends the following:

- The applicant shall submit a Master Sign Program including but not limited to dimensions of the signs, materials, colors, method of attachment, method of illumination, and section drawings for the Board's review.

## **IV. SUMMARY**

Staff recommends the Board review the plans, consider the recommendations discussed in this report, identify any additional issues, and provide the applicant with comments for incorporation into the final project design for the Board's approval.

### **Staff Recommendations**

#### **Site Plan/Circulation**

- Relocate the trash enclosure inside the building or include it as an addition to the building.
- Provide cart corrals in the parking lot that accommodate flatbed carts.

#### **Architecture**

- Secure, enclose, or demolish the garden center as the vacant and open nature of the existing garden center makes it an attractive nuisance and a security concern.
- Provide adequate screening of any new rooftop equipment.
- Repaint all sides and features of the existing building with the exception of the exposed aggregate finish, including but not limited to; all slump-stone columns, slump-stone planter boxes, slump and the enclosed nursery.

#### Landscaping

- The applicant shall submit a landscaping plan to adequately utilize the existing planter boxes along the former OSH storefront and provide additional landscaping in lieu of the landscaped area to be removed at the rear of the property.
- Incorporate plant materials that provide color and draw attention to the building entrance.

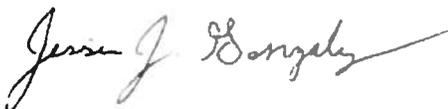
#### Lighting

- Replace or relocate the existing light pole identified for removal at the rear of the property.

#### Signs

- The applicant shall submit a Master Sign Program including but not limited to dimensions of the signs, materials, colors, method of attachment, method of illumination, and section drawings for the Board's review.

Prepared by:



---

Jessica Gonzalez  
Planning Technician  
(925) 603-5821  
jessica.gonzalez@cityofconcord.org

Exhibits:

- A - Statement of Design Intent date stamp received April 29, 2016
- B - Project Plans date stamp received April 29, 2016

ARCHITECTURAL  
DIMENSIONS

300 Frank H. Ogawa Plaza  
Suite 375  
Oakland, CA 94612

www.archdimensions.com

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April 21, 2016

City of Concord  
Planning Department  
1950 Parkside Drive  
Concord, CA 94519

Re: Cash and Carry– Tenant Improvement  
2050 Monument Blvd  
Concord, CA 94519

Subject: Design Review – Statement of Design Intent

This project proposes a tenant improvement to an existing Concrete tilt-up building from a former Orchard Supply Hardware (OSH) store to a Cash and Carry restaurant supply store. A portion of the existing tenant space will be left undeveloped until a future tenant can be found to occupy the space however a new front entrance and sign band will be provided the future tenant. Site improvements will include a compliant ADA pedestrian path to the public way and the partial removal of a landscape area and chain-link fence at the rear of the building to provide direct truck access.

Minor exterior modifications are being proposed as part of the tenant improvement. These modifications include (2) new sign bands (one for each tenant), a modification to the existing front entry trellis and curb location, and new locations for the tenant entrances. The sign bands will be tied to the existing roof structure and will be designed to be similar to the adjacent tenant signage (Big Lots). They will consist of a cement plaster finish painted in Cash and Carry corporate colors with a trim band around the perimeter. The actual building signage will be under a separate permit.

The tenant entrances are being relocated to fit the internal circulation of Cash and Carry and provide a separate entrance for the future tenant. The existing openings are to be infilled and the corresponding concrete tilt-up panels will be finished with cement plaster to provide uniformity.

The modification to the front entry trellis will consist of removing the protruding portion of the entry trellis and a corresponding drop off curb and will be replaced with compliant ADA parking and ramps at the front entrance. The remainder of the entry canopy will be reconstructed to match the remaining portion of the trellis using like materials.

At the rear of the building we are proposing the removal of an existing chain-link fence and a portion of an existing landscape planter to provide access for a WB-70 delivery truck. The current vehicular circulation will not allow for a truck this size to access the existing loading dock. By removing the fence and the landscape planter direct access can be made from Oak Grove Road.

In summary all of the exterior modifications will incorporate either like or similar materials that we feel are compatible with the existing development. Please see the attached design documents for further

Mr. First Last

- 2 -

September 14, 2015

clarification of the proposed work. If additional information is requested please do not hesitate to contact our office directly.

Sincerely,

ARCHITECTURAL DIMENSIONS



Anthony Silva, Senior Project Manager

Enclosures

cc: SF007

2016-04-21 Statement of Design Intent.doc  
Hand Delivered

# CASH AND CARRY

## TENANT IMPROVEMENT

2050 MONUMENT BLVD.

CONCORD, CA

APN: 129-170-021

DEVELOPER:

## SMART AND FINAL

600 CITADEL DRIVE

COMMERCE, CA 90040

(323) 869-7984

ARCHITECT:

## ARCHITECTURAL DIMENSIONS

300 FRANK H. OGAWA PLAZA, SUITE 375

OAKLAND, CALIFORNIA 94612

TEL: (510) 463-8300, FAX: (510) 463-8395

SUBMITTED TO:

CITY OF CONCORD  
PLANNING DEPARTMENT

FOR:

DESIGN REVIEW

### VICINITY MAP



PROJECT INFO.

ARCHITECTURAL  
DIMENSIONS

300 FRANK H. OGAWA PLAZA, SUITE 375  
OAKLAND, CA 94612  
TEL: (510) 463-8300 FAX: (510) 463-8395

CASH AND CARRY  
2050 MONUMENT DRIVE  
CONCORD, CA

### PROJECT DESCRIPTION

THIS PROJECT PROPOSES A TENANT IMPROVEMENT TO AN EXISTING RETAIL SPACE. MODIFICATIONS INCLUDE: DEMISING THE EXISTING SPACE INTO 2 SPACES, PARTIAL DEMOLITION OF AN EXISTING ENTRY CANOPY, THE ADDITION OF NEW RESTROOMS AND OFFICE SPACE, AND A NEW TRASH ENCLOSURE.

### DRAWING INDEX

DR-1.1	TITLE SHEET
DR-1.2	EXISTING SITE PLAN
DR-2	SITE PLAN
DR-3.1	PHOTOS AND EXISTING ELEVATIONS
DR-3.2	N/W ELEVATIONS
DR-4.1	EXISTING FLOOR PLAN
DR-4.2	PROPOSED FLOOR PLAN
DR-5	OVERALL BUILDING SECTIONS AND SITE SECTIONS
DR-6	WALL SECTIONS AND DETAILS
DR-7	PROJECT PHOTOS

JOB NO.  
29007

DRAWING NO.

DATE  
04/29/16

DR-1.1

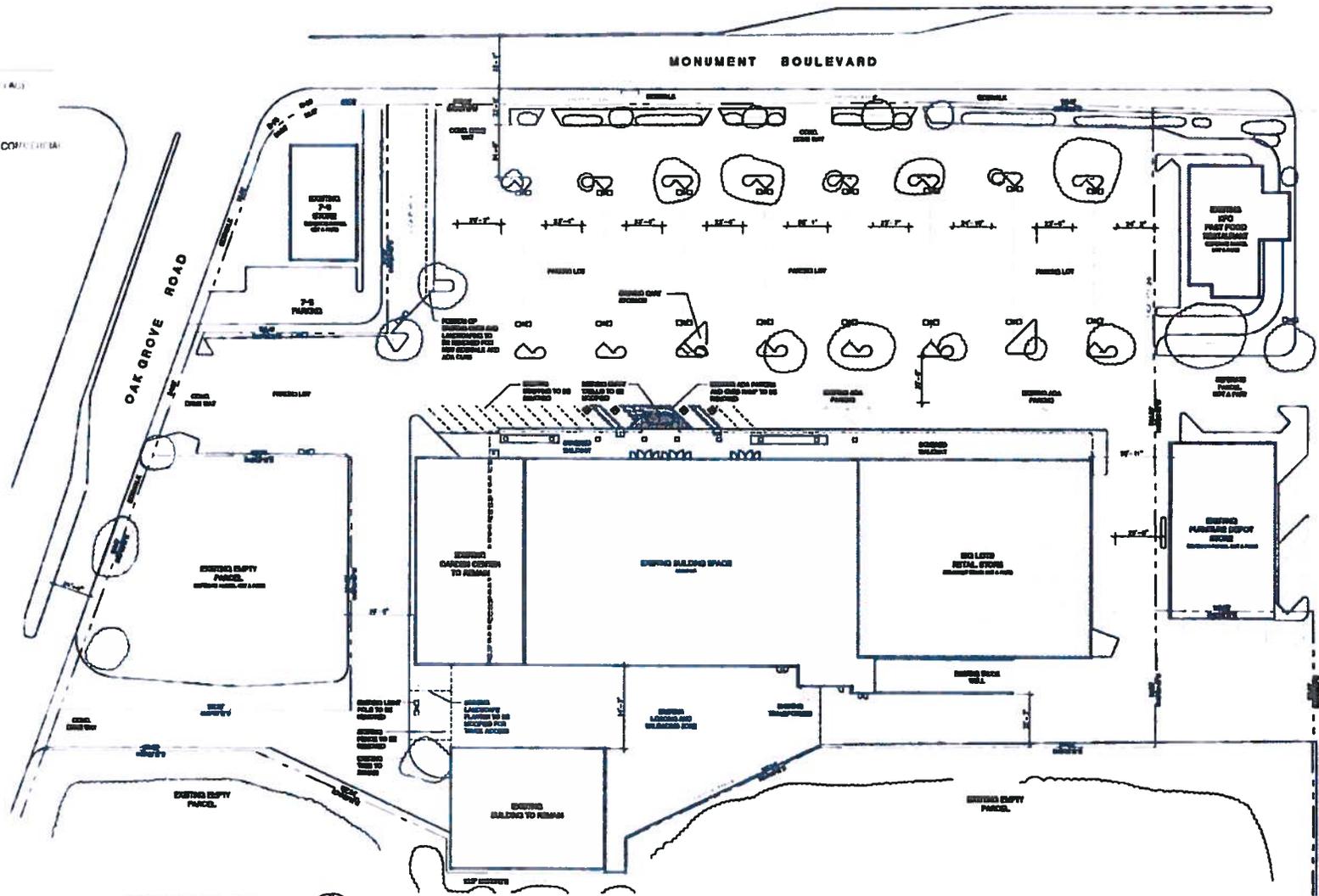
EXHIBIT B

**PROJECT SUMMARY**

SITE AREA: 157,415 S.F. (3.57 AC)  
 EXISTING IMPROVEMENTS: 44,000 S.F.  
 EXISTING ZONING: REGIONAL COMMERCIAL  
 EXISTING PARKING: 150 SPACES

**LEGEND**

- PROPOSED TENANT SPACE
- EXISTING LANDSCAPING TO REMAIN
- EXISTING POLY LIGHTS TO REMAIN (U.O.N.)



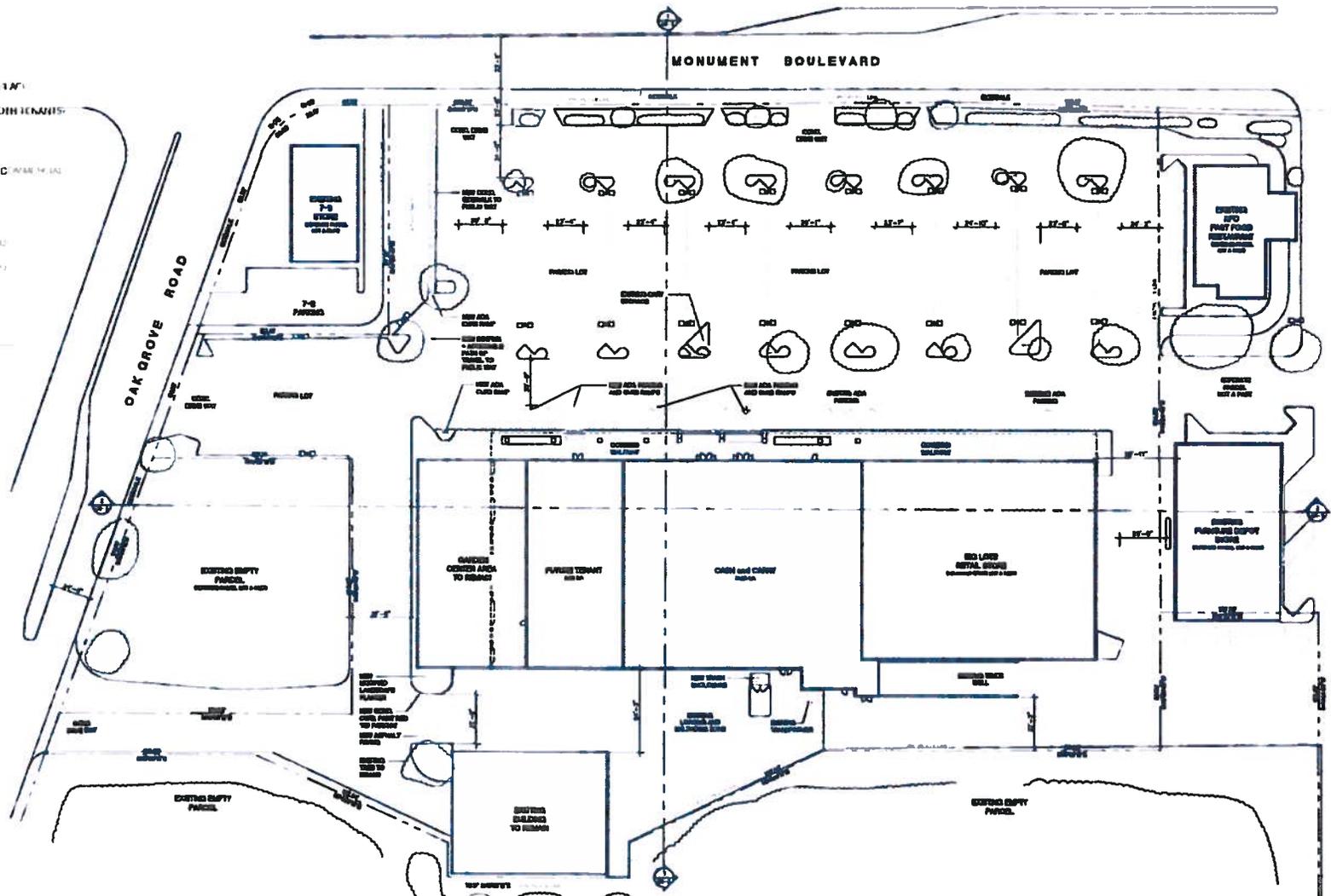
**1 EXISTING SITE PLAN**  
SCALE 1/8" = 1'-0"

**PROJECT SUMMARY**

SITE AREA: 2.2 ACRES (95,121 SF)  
 EXISTING SUBTOTAL AREA: 441,891 SF (100% TENANTS)  
 TOTAL SITE AREA: 30 ACRES  
 EXISTING ZONING: REGIONAL COMMERCIAL  
 EXISTING PARKING: 1,100 SPACES  
 PARKING RATIO: 4:1,000  
 PARKING REQUIRED: 860 SPACES (SHEO)  
 PARKING PROVIDED: 1,100 SPACES (SHEO)

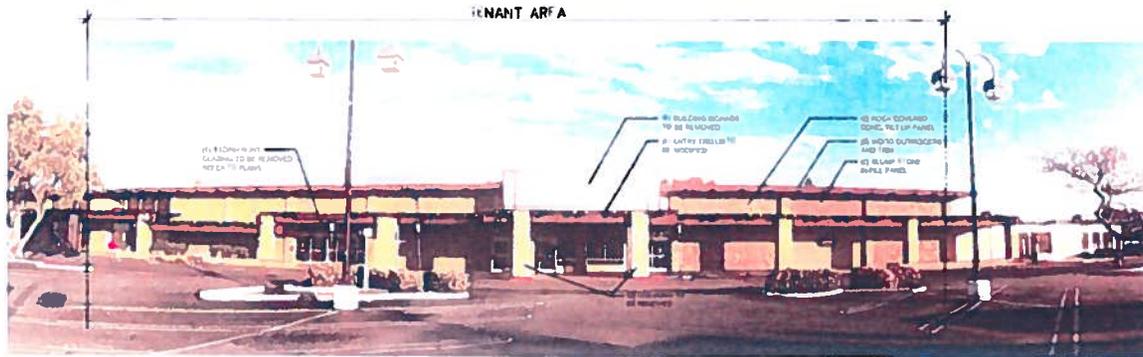
**LEGEND**

- NOT A PART
-  EXISTING LANDSCAPING TO REMAIN
-  EXISTING POLE LIGHTS TO REMAIN (U.O.N.)

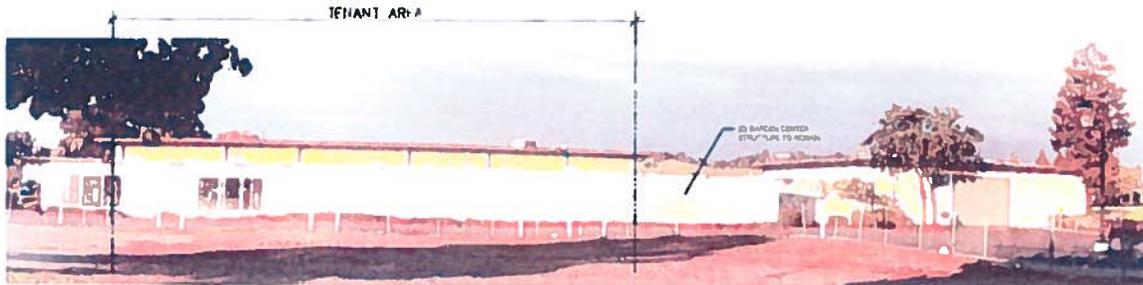


**1 ARCHITECTURAL SITE PLAN**  
SCALE 1" = 30'

<b>ARCHITECTURAL DIMENSIONS</b>	PROJECT INFO.	PROJECT NO.	<b>CASH AND CARRY</b> 2050 MONUMENT DRIVE CONCORD, CA	JOB NO. 04057	DRAWING NO. DR-2
	DATE 04/25/18	SCALE		DATE 04/25/18	DATE 04/25/18



EXISTING NORTH ELEVATION  
(FRONT BUILDING FACADE)



EXISTING WEST ELEVATION  
(RIGHT SIDE BUILDING FACADE)



EXISTING SOUTH ELEVATION  
(REAR BUILDING FACADE)

ARCHITECTURAL  
DIMENSIONS

PROJECT INFO.

PROJECT INFO.

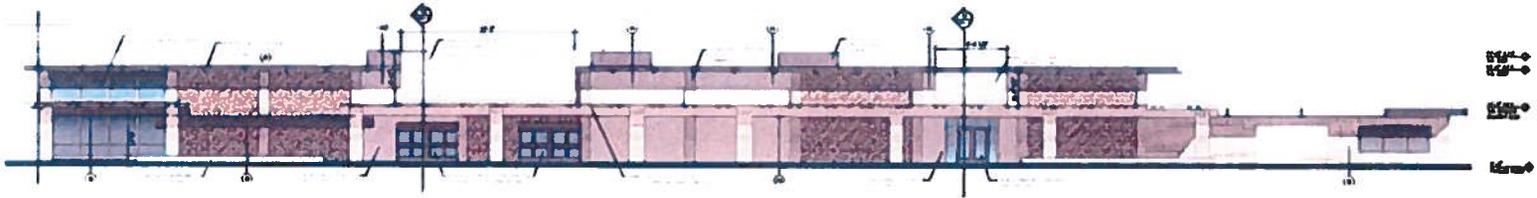
PROJECT INFO.

CASH AND CARRY  
2050 MONUMENT DRIVE  
CONCORD, CA



JOB NO.  
27007  
DATE  
04/28/16

DRAWING NO.  
DR-3.1

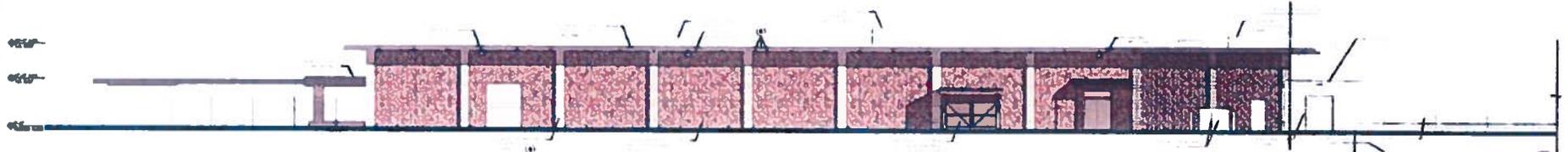


**1 NORTH ELEVATION- AREA OF WORK**  
SCALE 3/32" = 1'-0"



**2 WEST ELEVATION**  
SCALE 3/32" = 1'-0"

MATERIALS  
 1. BRICK  
 2. CONCRETE  
 3. GLASS  
 4. METAL  
 5. WOOD



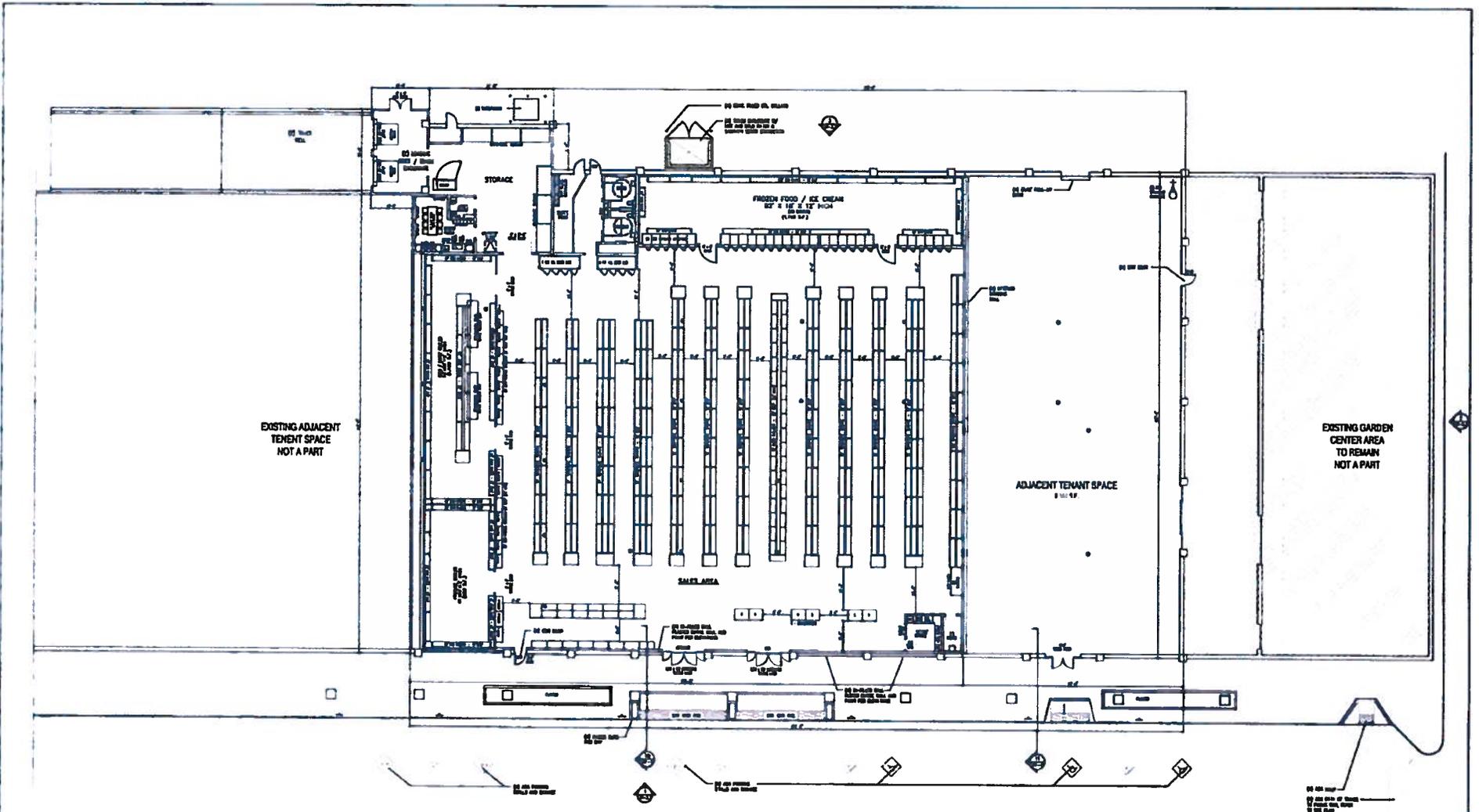
**3 SOUTH ELEVATION**  
SCALE 3/32" = 1'-0"



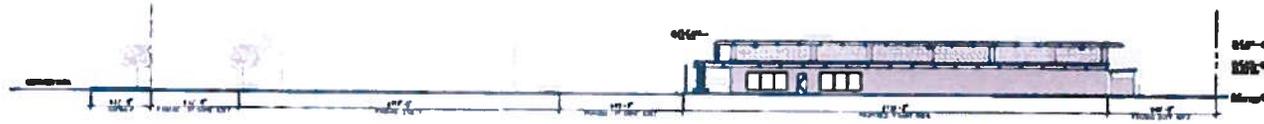
**4 OVERALL FRONT ELEVATION**  
SCALE 3/32" = 1'-0"

<b>ARCHITECTURAL</b> DIMENSIONS	ARCHITECT: [Faint text] PROJECT NO. 0.	PROJECT NO. 0.	<b>CASH AND CARRY</b> 2050 MONUMENT DRIVE CONCORD, CA	JOB NO. 87007	DRAWING NO. DR-3.2
	DATE: 04/26/18			DATE: 04/26/18	

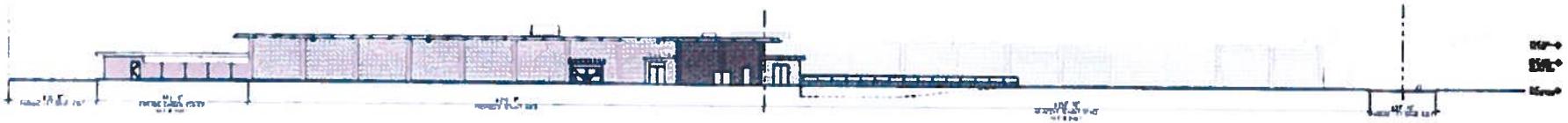




**1 PROPOSED FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"



**1 OVERALL SITE SECTION**  
SCALE 1/8" = 1'-0"



**2 OVERALL SITE SECTION**  
SCALE 1/8" = 1'-0"

**ARCHITECTURAL**  
**DIMENSIONS**

110 Franklin Street, Suite 100  
Concord, CA 94521  
Tel: 925.309.1100 Fax: 925.309.1101

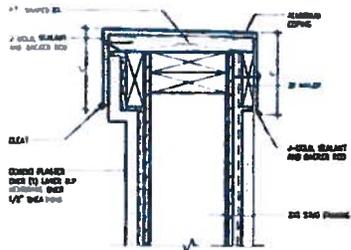
PROJECT INFO.

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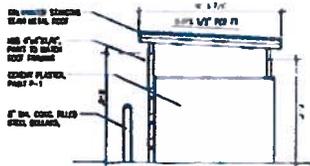
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**2050 MONUMENT DRIVE**  
**CONCORD, CA**

JOB NO.  
89007  
DATE  
04/28/18

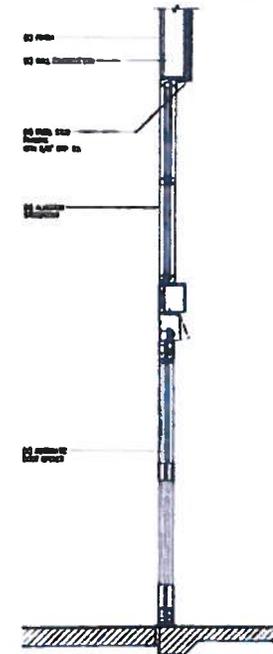
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**DR 5**



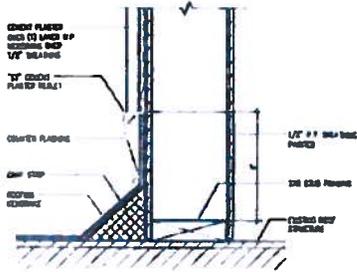
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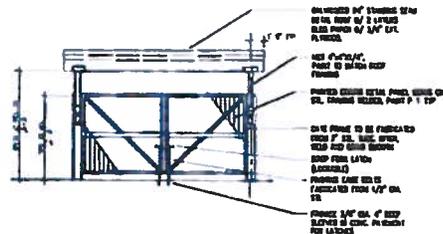
**3 (E) OUTRIGGER PHOTO**  
RTD.



**8 (N) ALUM. SLIDING ENTRY DOORS**  
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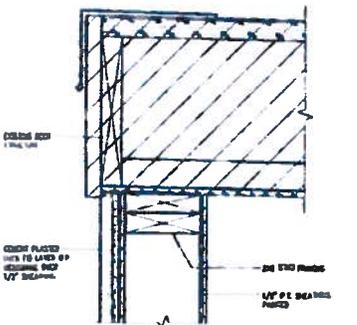
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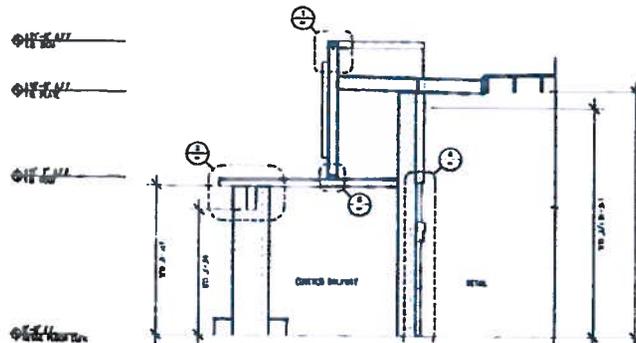
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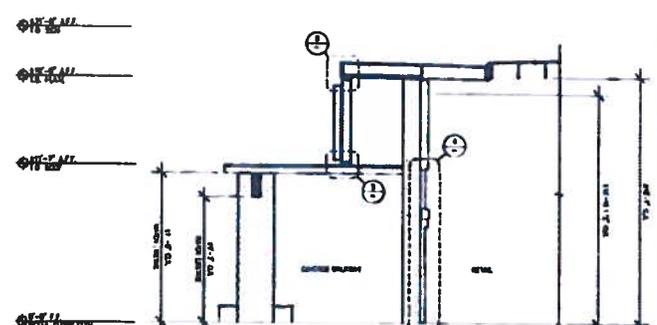
**7 (E) MECHANICAL SCREEN PHOTO**  
RTD.



**9 (N) CEMENT PLASTER PARAPET • (E) OVERHANG**  
SCALE 3/4\"/>



**10 PARTIAL BUILDING SECTION - MAIN ENTRY**  
SCALE 1/4\"/>



**11 PARTIAL BUILDING SECTION - SECONDARY ENTRY**  
SCALE 1/4\"/>

ARCHITECTURAL  
DIMENSIONS

PROJECT INFO.  
CASH AND CARRY  
2050 MONUMENT DRIVE  
CONCORD, CA

PROJECT INFO.  
CASH AND CARRY  
2050 MONUMENT DRIVE  
CONCORD, CA

CASH AND CARRY  
2050 MONUMENT DRIVE  
CONCORD, CA

JOB NO.  
09007  
DATE  
04/26/16

DRAWING NO.  
DR-6



MONUMENT BLVD SITE PHOTO



OAKGROVE ROAD SITE PHOTO



MONUMENT BLVD SITE PHOTO  
ADJACENT STREET DEVELOPMENT



OAKGROVE ROAD CORNER SITE PHOTO  
ADJACENT STREET DEVELOPMENT



MONUMENT BLVD AND OAKGROVE ROAD CORNER SITE PHOTO



MONUMENT BLVD SITE PHOTO

ARCHITECTURAL  
DIMENSIONS

CONCORD, CA  
10000  
10000

PROJECT INFO.

PROJECT INFO.

CASH AND CARRY  
2050 MONUMENT DRIVE  
CONCORD, CA



JOB NO.  
89007

DRAWING NO.

DATE  
04-28-18

DR 7



**REPORT TO DESIGN REVIEW BOARD**

DATE: May 26, 2016

**I. GENERAL INFORMATION**

**Project Name:** Veranda Shopping Center Master Sign Program  
(PL15466 – DR)

**Review Status:** Preliminary Review

**Location(s):** 2001-2003 Diamond Boulevard

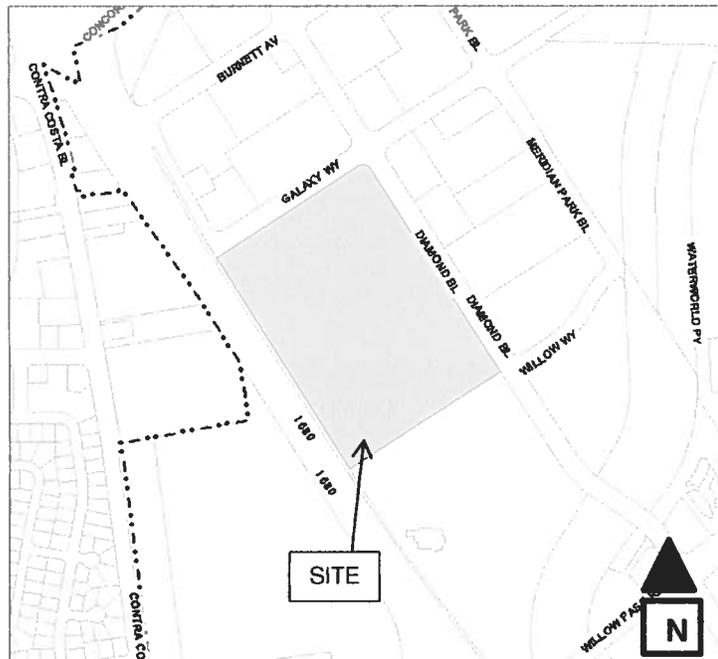
**Parcel Number:** 126-440-001

**General Plan:** West Concord Mixed Use

**Zoning:** WMX (West Concord Mixed Use)

**Applicant:** Jeff Hill, Vice President of Development  
CenterCal Properties, LLC  
1600 East Franklin Avenue, Suite  
El Segundo, CA 90245

**Vicinity Map:**



## II. PROJECT BACKGROUND

CenterCal has submitted a master sign program as part of their Design Review application for the Veranda Shopping Center. The sign program includes pylon signs, an electronic message sign (“digital sign”), tenant signs and posters oriented towards I-680 freeway. The Development Code currently prohibits signs that are primarily oriented towards a freeway and digital signs. CenterCal is applying for a Development Code Text Amendment to allow for freeway-oriented signs and digital signs for retail developments over 300,000 square feet with direct frontage along I-680 freeway.

The Willows Shopping Center and Sunvalley Mall are sites that would be eligible for freeway-oriented signs and digital signs under the proposed Text Amendment. The City recently approved an update to the Willows Shopping Center Master Sign Program that required removal of digital signs that pre-existed current sign regulations. The proposed Text Amendment would require eligible properties to process a master sign program for freeway-oriented signs and digital signs, subject to review by the Design Review Board.

Because the Text Amendment requires action by the City Council, all entitlements associated with the Veranda Shopping Center will be acted upon by the City Council, including the Design Review application, following recommendations by the Design Review Board and Planning Commission. The Board is requested to provide design recommendations to the Planning Commission and City Council on the following:

- The design of sign types allowed by the Development Code, such as wall signs and freestanding monument signs; and
- An acceptable design for freeway-oriented pylon, digital, tenant, and poster signs that would allow the City Council to consider a Text Amendment to permit these sign types.

According to the California Department of Transportation (“Caltrans”), the portion of I-680 abutting the project site is designated as a Landscaped Freeway and may be subject to restrictions on location and sign content. The project will be referred to Caltrans for their review within the next week. Any significant design revision resulting from Caltrans requirements that is subject to the City’s discretionary review will return to the Design Review Board.

## III. DISCUSSION

The Development Code provides sign standards by zoning district and for certain uses. Deviations from standard sign requirements may be allowed with approval of a master sign program. A master sign program cannot include signage that is expressly prohibited by the Development Code, such as freeway-oriented signs and digital signs. An amendment to the Development Code is required to allow for signs that are currently prohibited.

The sign types proposed by the Veranda Master Sign Program are described in Exhibit A. Staff has the following comments and recommendations on the proposed sign program.

**1. Signs Allowed by Code or Requiring Master Sign Program Approval**

(Sign types A1, A2, A3, A5, C1, and Zone A-D Tenant Signage)

- Additional information is needed to make the sign program more user-friendly and to further clarify design details. For example, the program should include illustrated details for blade signs required at each tenant entry and for wall-mounted plaques; wall sections showing mounting and lighting methods (including concealment of raceways); material options and criteria for sign copy, returns and trims; and specific sign spacing and placement criteria.
- Reduce sign height by eliminating extensions above faux wood “cap” element where this condition is proposed. (e.g., sign types A1, A2, A3, etc.)
- In general, staff believes the amount of tenant wall signage proposed exceeds what is needed for adequate tenant identification and should be reduced.

**2. Signs Currently Prohibited Requiring Development Code Text Amendment**

(Sign types A4, Graphic Posters, and tenant signs at rear of Buildings G and H)

- Reduce height of Highway Pylon signs by eliminating City of Concord logo and extensions above the faux wood cap.
- Provide design alternative(s) that better integrate the digital sign with the pylon sign, such as by placing the digital sign within the pylon as opposed to a feature projecting from the pylon sign.
- Limit freeway-oriented tenant signs to anchor tenants.

**3. General Sign Program Criteria**

- Revise general criteria as needed to ensure internal consistency and to reflect applicable City of Concord standards. For example, Section G (p.6) prohibits signs that include “phone numbers, service description, or advertising of products” that could conflict with the intended use of freeway-oriented Graphic Posters.
- Provide definitions, matrix of allowed sign area by tenant or sign location, and other provisions to make the sign program more user-friendly and easier to administer.
- Provide samples of sign materials and colors.

**IV. RECOMMENDATION**

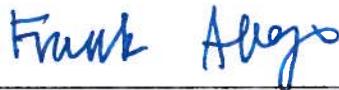
Staff recommends the Board review the plans, consider the recommendations discussed in this report, identify any additional issues, and provide the applicant with comments for incorporation into the final project design for the Board’s approval.

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Staff Comments and Recommendations

- Additional information is needed to make the sign program more user-friendly and to further clarify design details. (For example, the program should include illustrated details for blade signs required at each tenant entry and for wall-mounted plaques; wall sections showing mounting and lighting methods [including concealment of raceways]; material options and criteria for sign copy, returns and trims; and specific sign spacing and placement criteria.)
- Reduce sign height by eliminating extensions above faux wood “cap” element where this condition is proposed. (e.g., sign types A1, A2, A3, etc.)
- In general, staff believes the amount of tenant wall signage proposed exceeds what is needed for adequate tenant identification and should be reduced.
- Reduce height of Highway Pylon signs by eliminating City of Concord logo and extensions above the faux wood cap.
- Provide design alternative(s) that better integrate the digital sign with the pylon sign, such as by placing the digital sign within the pylon as opposed to a feature projecting from the pylon sign.
- Limit freeway-oriented tenant signs to anchor tenants.
- Revise general criteria as needed to ensure internal consistency and to reflect applicable City of Concord standards. (For example, Section G [p.6] prohibits signs that include “phone numbers, service description, or advertising of products” that could conflict with the intended use of freeway-oriented Graphic Posters.)
- Provide definitions, matrix of allowed sign area by tenant or sign location, and other provisions to make the sign program more user-friendly and easier to administer.
- Provide samples of sign materials and colors.

Prepared by:



Frank Abejo  
Senior Planner  
(925) 671-3128  
frank.abejo@cityofconcord.org

Exhibits:

- A - Summary of Veranda Master Sign Program Sign Types
- B - Proposed Master Sign Program dated April 28, 2016

# EXHIBIT A

## SUMMARY OF VERANDA MASTER SIGN PROGRAM SIGN TYPES

### 1. Signs Allowed by Code or Requiring Master Sign Program Approval

#### A1 – Primary Entry Monument (p.13)

Location	Dimensions	Size	Quantity
Each side of project's Diamond Boulevard entrance	13'w x 28'h	363 sf	2
<b>Design and Illumination:</b>			
Stucco body with faux wood base and trellis cap; reverse pan channel metal sign copy; cut metal logo; halo illumination			

#### A2 – Entry Column with Tenants (p.14)

Location	Dimensions	Size	Quantity
Landscape median at project's Diamond Boulevard entrance	6'w x 15'-6"h	93	1
<b>Design and Illumination:</b>			
Stucco body and base with faux wood trellis cap; decorative iron; faux wood tenant panels with push-through acrylic letters; logo material not specified; internally lit tenant panels			

#### A3 – Tenant Pylon (p. 15)

Location	Dimensions	Size	Quantity
Two signs along Diamond Boulevard frontage and one sign along Galaxy Way frontage	8'w x 22'h	176	3
<b>Design and Illumination:</b>			
Stucco body and base with faux wood trellis cap; faux wood tenant panel with push through acrylic copy and internally illuminated; reverse channel letters for project name and logo with halo illumination; stamped texture or tile logo insets at side of sign			

**A5 – Wall Mounted Identity (p. 16)**

Location	Dimensions	Size	Quantity
One each at the Diamond Boulevard intersections with Galaxy Way and Willow Way	44'w x 4'h	176	2
<b>Design and Illumination:</b>			
Stucco body with faux wood cap and metal letters with halo illumination.			

**C1 – Vehicular Directional (p.17)**

Location	Dimensions	Size	Quantity
Various interior locations adjacent to drive aisles	4'-7"w x 8'-8"h	40 sf	6
<b>Design and Illumination:</b>			
Similar in design and illumination to A3 – Tenant Pylon sign but without project name and decorative pattern inset.			

**Zone A Primary and Secondary Tenants Signage (p.19)**

Location	Dimensions and Size	Quantity
Exteriors of Building A (grocery store)	<p>Primary Tenant sign will have maximum letter/logo height of 14'. Length not to exceed 75% of the length or 66% of height of sign band. Maximum 300 sq. ft. sign area.</p> <p>Secondary Tenant signs will have maximum letter/logo height of 4'. Length not to exceed 75% of the length or 66% of height of sign band. Sign area to equal 2 sq. ft.: Linear foot.</p>	TBD
<b>Design and Illumination:</b>		
No design details provided.		

**Zone B Tenant Signage (p.26-27)**

Location	Dimensions and Size	Quantity
Various locations on exterior of movie theater, Building G and Building H, including freeway-oriented signs behind buildings G and H.	Maximum letter/logo height between 5' and 14'. Length not to exceed 75% of the length or 66% of height of sign band. Sign area not to exceed 2 sq. ft./Linear foot except, freeway-oriented signs sign at 1 sq. ft./linear foot	TBD
<b>Design and Illumination:</b>		
No design details provided.		

**Zone C Tenant Signage (p. 20-25)**

Location	Dimensions and Size	Quantity
Various locations on exteriors of Buildings A-G and PD	Signs vary between 3' to 14' in height. Length limited to 75% of length or 66% of height of sign band. Size limited to 2 sq. ft./linear foot of building frontage.	TBD
<b>Design and Illumination:</b>		
No design details provided.		

**Zone D Tenant Signage (p. 31)**

Location	Dimensions and Size	Quantity
Various locations on exteriors of Buildings A-G and PD	Signs vary between 3' to 14' in height. Length limited to 75% of length or 66% of height of sign band. Size limited to 2 sq. ft./linear foot of building frontage.	TBD
<b>Design and Illumination:</b>		
No design details provided.		

## 2. Signs Currently Prohibited Requiring Development Code Text Amendment

### A4 – Highway Pylon (p. 34) and Highway Pylon with Digital Sign (p. 36-27)

Location	Dimensions	Size	Quantity
Two along I-680 freeway frontage	15'-8"w x 50'h	783	2
<b>Design and Illumination:</b>			
Same as A3 – Tenant Pylon with the addition of "City of Concord" and ironwork detailing at base of sign. Highway Pylon with Digital Sign will have a 24'w x 12'h digital sign instead of tenant panels with two options for the location of the digital sign.			

### Graphic Posters (p. 39-40)

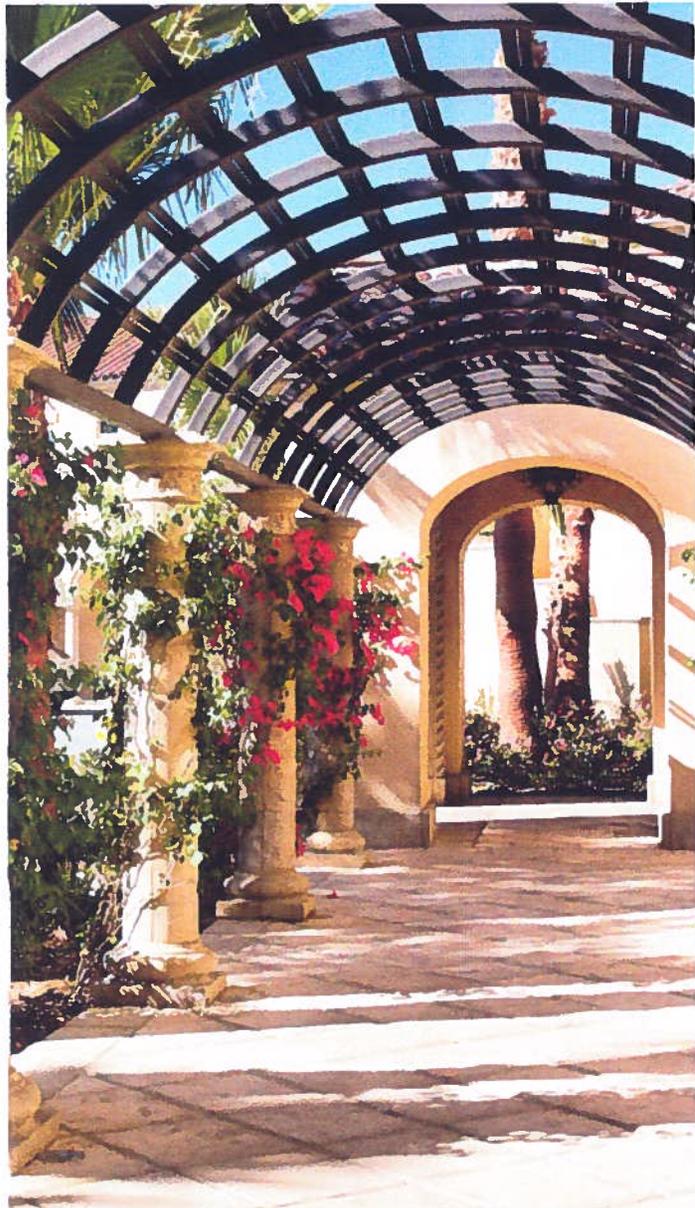
Location	Dimensions and Size	Quantity
Rear of Building H facing I-680.	Varying sizes between 13' to 25' in width and 10 'and 16' in height.	24
<b>Design and Illumination:</b>		
No specific design details. It is assumed the sign will consist of a frame that allows for movie posters, lifestyle graphics, community events, and similar signs that will be changed throughout the year.		



# THE VERANDA

City Submittal  
APRIL 28, 2016





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## PROJECT DESCRIPTION

The Veranda's architectural style is that of Spanish contemporary aesthetic, with trellised canopies, intimate pedestrian spaces and an emphasis on landscape and graphic details. The Veranda embodies the unique blend of eclectic neighborhood and relaxed style that reflects the community around it. Tenant signage is expected to enhance and extend the spirit of the architectural character of The Veranda, expressing clearly the retail tenant name and function, while also serving as an expression of the high quality of the commercial environments within.

Graphic design shall be imaginative, simple and clear. Creative and expressive signage solutions using a variety of materials are strongly encouraged as a means of enhancing visitor experience. Signage shall be limited to the registered logo and/or name of the Tenant only. Additional icon will be considered, at the sole discretion of the Landlord, provided it contributes to the overall identity and design of the store. Tenants shall retain the services of a professionally trained graphic designer to create their identity and sign program. The design of signs shall be harmonious with the materials, color, texture, size, scale, shape, height, placement and design of Tenant premises and the Landlord buildings. Strict adherence to these sign design criteria shall insure that the character of the project is maintained and that a lively and community environment is created.

## PURPOSE OF TENANT SIGNAGE DESIGN CRITERIA

This Signage Design Criteria is provided to guide designers, architects, and tenants in the development of tenant identity signs at The Veranda.

### A. The objectives are:

1. To generate varied and creative tenant signage through application of imaginative design treatments and distinctive logos and typstyles.
2. To establish signage as a design element that contributes to a "retail" environment unique to The Veranda.
3. To provide standards of acceptability for signs in order to facilitate the review and approval process.

B. Any signs fabricated and installed without prior approval in writing from the Landlord will be removed by the Landlord. All costs for removal, including but not limited to patch and repair of the building, will be at the tenant's expense.

## BUILDING TENANT SIGNAGE CRITERIA

The tenant signage for The Veranda is divided into 5 distinct "zones" to assist the tenant in choosing the appropriate signage type, location, and quantity for their identity. All stores and their corresponding elevations fit within a particular area. Please refer to the included map for the location. These areas are defined by the character and/or site orientation.

The Veranda is divided into the following signage areas:

- A. Magenta Zone A
- B. Yellow Zone B
- C. Green Zone C
- D. Purple Zone D
- E. Blue Zone E

## TENANT SIGNAGE AREA GUIDELINES:

The primary viewing of the tenant signage will be from both the pedestrian areas and streets. As such, tenant signage should respond to the appropriate scale to both the vehicular and pedestrian views. Tenant logos will be encouraged and are recommended.

### Allowable Sign Types:

#### 1. PRIMARY SIGNAGE: REQUIRED

- a. Reverse pan channel halo lit individual dimensional letters
- b. Dimensional letters, externally illuminated with external fixtures
- c. Open Channel letter with exposed neon or bulb illumination.

#### 2. SECONDARY SIGNAGE: REQUIRED FOR ZONES C, D, AND E

- a. Blade sign - External illumination of blades will be considered on a case-by-case basis.

#### 3. OPTIONAL SIGNAGE:

- a. Vertical Marquee Sign (where allowed per plan, corner tenants only)
- b. Wall Mounted Plaques
- c. Applied Window Graphics
- d. Awning Sign
- e. Inlaid Entry Vestibule Floor Signs

### Sign Area Calculation:

The maximum sign area for each tenant is shown in the sign matrix. This sign area is calculated based on the aggregate total of all sign faces. However, signage is also limited by maximum sizes as noted on the sign matrix.



## SITE SIGNAGE CRITERIA

### Primary Project Entry Monument

- a. Reverse pan channel halo lit dimensional letters
- b. Center name on face of monument

### Entry Column with Tenant

- a. Push through tenant names with internal illumination
- b. Maximum five (5) tenants per face of sign.
- c. Dimensional halo lit project identity centered on face of sign

### Tenant Pylon

- a. Reverse pan channel halo lit dimensional project letters and logo
- b. Push through tenant names with internal illumination
- c. Maximum five (5) tenants per face of sign.

### Highway Pylon

- a. Reverse pan channel halo lit dimensional project letters and logo
- b. Push through tenant names with internal illumination
- c. Maximum seven (7) tenants per face of sign.
- d. Non illuminated dimensional letters for city identity
- e. City identity one identity per side of sign

### Wall Identity

- a. Reverse pan channel halo lit dimensional letters
- b. Center name on face of wall

### Vehicular Directional

- a. Push through tenant directionals with internal illumination
- b. maximum four (4) directionals per face

## SIGNAGE DETAILS AND SPECIFICATIONS:

### 1. ADDRESS SIGNAGE:

The suite number shall to be applied to the exterior glass façade as determined by the Landlord. The suite number must be visible to the walkway and be applied as vinyl on glass.

1. Numbers to be cut vinyl
2. Numbers to be 4" high in white.
3. No numbers above door unless matching the architectural character and approved by landlord.
4. Number to be placed on window adjacent to door on right side. To be placed in lower left corner of glass panel.
5. Unit Address signs are required for each Tenant and not included in sign area calculations or not counted towards the maximum number of signs.
6. Project specific Font: Georgia.

### 2. APPLIED WINDOW GRAPHICS

(excluding "Operational Signs", which are addressed below):

1. Only trade name or graphic logo may be used. Store description, advertisements, or tag lines not allowed.
2. Metallic, "etch-look" vinyl, or hand painted graphics are to be used.
3. All applied graphics to be adhered to interior side of glass.
4. Applied window graphics not to exceed 15% of the window area.
5. Applied window graphics are to be submitted to the Landlord and approved in writing prior to installation.

### 3. AWNING GRAPHICS:

Made of durable material, the awning projects perpendicular from the storefront façade above the entrance doors and windows and acts as a protection against the elements or as a decorative feature. The name of the Tenant is applied to the awning valance, on the lower, vertical portion of the canopy only.

1. Letters to be silkscreen, printed or sewn on the vertical surface of the awning valance only and contrast with awning color.
2. Only the trade name and/or logo may be on awning valance. No tag lines, merchandise descriptions, services or advertisements allowed.
3. Light fixtures to illuminate the awning, as well as back lit awnings, will be considered on a case-by-case basis.
4. Only one logo/brand name per awning.
5. Size will be limited based on the height of the valance.
6. Awning to be made of durable, quality material such as canvas. No vinyl.

### 4. BACK DOOR SIGNS:

Signs placed on the back entrance of Tenant's space for purposes of delivery and employee access.

1. Landlord will provide design for all back door signs (shown below).
2. Painted aluminum plaque with vinyl name and suite/address number only. No tag lines or slogans allowed.
3. Mounted to access door or immediate adjacent wall.
4. Type to be 'Oswald' typeface (download from Google Fonts) with tracking set at 100pt.
5. Tenant will be required to hire Landlord's vendor for back door signage fabrication and installation.

## 5. BLADE SIGNS

A double-sided sign mounted perpendicular to the building façade. Can be suspended from custom bracket, or mounted by structural support and is placed at the storefront entrance. See Images for stylistic inspiration reference.

1. Each tenant is required to have one double-faced hanging sign per building entrance.
2. The creative use of logos and shapes is encouraged in the design of the blade sign.
3. Tenants are encouraged to utilize a variety of colors and graphic elements along with typestyle to create an energetic signing solution. Painted flat forms layered to give a 3-dimensional effect are encouraged.
4. Signs are to be wall mounted from a metal bracket, or suspended from the trellis with metal supports.
5. Placement to be reviewed with consideration of all adjacent signs.
6. External illumination of blade signs will be considered on a case-by-case basis.
7. Signs to be mounted with bottom of sign at a minimum of 8' from finished floor.
8. Unless suspended from canopy, signs to project a maximum of 3' from facade, inclusive of bracket.
9. Trade name or logo only, no taglines, slogans, or advertising allowed.

## 6. INLAID ENTRY VESTIBULE FLOOR SIGNS:

A pattern, medallion, individual letters, or sign recessed into the floor, located solely within tenant lease line at the entry vestibule of the store and integrated flush into the surrounding flooring system.

1. Signage is required to be within the Tenant's lease line and may not extend beyond the storefront.
2. Sign must be fabricated out of durable, non-slip materials
3. When vacating tenant space, tenant is to replace flooring to appear as new.

## 7. OPERATIONAL SIGNS:

Operational signage indicating hours of operation, telephone numbers, website, specialty store rules and regulations specific to each Tenant. Operational signs are required. No tag lines or slogans allowed. All messaging subject to landlord approval.

1. Maximum letter height of 1/2".
2. Mounted to interior surface of glass, adjacent to entrance door and mounted no higher than 48" from finished floor.
3. Total area of sign shall not exceed 2 square feet.
4. Tenant graphics on storefront glass shall be computer cut flat vinyl graphics (text/letter/logos)

## 8. CANOPY MOUNTED SIGNAGE:

Made from metal, the canopy projects perpendicular from the storefront façade above the entrance doors and/or display windows and acts as protection against the elements. The name and/or logo of the tenant will be applied to the canopy with individual dimensional letters, resting on top of the canopy. See section 9 for illumination techniques.

## 9. STOREFRONT SIGNS - PRIMARY SIGNS

### • INDIVIDUAL LETTERS – REVERSE CHANNEL – HALO ILLUMINATION

- a. Reverse channel letters are to be fabricated out of aluminum with a minimum metal thickness of .060 with a painted finish.
- b. All seams are to be welded and ground smooth.
- c. Channel depth to be no more than 4".
- d. Letter channels are to be stud mounted 2" maximum from face of wall.
- e. Stud mounts are to be threaded anchor bolts with round sleeves and are to be painted the color of the fascia.

### • INDIVIDUAL LETTERS - EXTERNAL ILLUMINATION

- a. External illumination to be provided by a separate light fixture(s) of a design that is complimentary to the overall sign design concept and the building architecture.
- b. Fixtures with arm extensions or gooseneck extensions are encouraged.
- c. "Light-bars" are prohibited.
- d. Pre-manufactured square or rectangle light boxes are not allowed.
- e. Individual letters to be at least 1/2" thick metal. Letter thickness is subject to Landlord approval and based on thickness-to-height proportion.
- f. The individual letters are to be stud mounted minimum 1/2" from face of wall.
- g. All light fixture designs are to be submitted to the Landlord for approval prior to purchase, submittal to the city of Menlo Park for permits and installation.

### • INDIVIDUAL LETTERS - OPEN PAN CHANNEL ILLUMINATION

- a. Open pan channel letterforms are to be of painted metal with a minimum metal thickness of .060 with a painted finish.
- b. All seams to be welded and ground smooth.
- c. Inside of channel letterforms are to be painted a contrasting color from the building color.
- d. Tube lighting is to be double row or adequate number of rows to illuminate channel form.
- e. All neon fasteners, bulb stands, tube stands, mounts, and crossovers are to be painted to match inside of channel letterform.
- f. Letter channel returns are to be 4" maximum deep.
- g. Top surface of lighting element is to be mounted flush with front edges of returns.
- h. Letter faces are to be stud mounted 1/2" from face of wall.

## 10. WALL MOUNTED PLAQUE

1. Wall mounted plaques shall have concealed fasteners. Exposed fasteners designed as a feature treatment require approval by Landlord.
2. Allowable materials are cast metal, glass, or durable hard surface material.
3. No plastics, acrylics or PVC materials.
4. Non-illuminated or internally illuminated only.
5. Size of plaque is subject to Landlord approval, per the sign matrix.
6. Location to be adjacent to entry doors.
7. No taglines, slogans, service or product descriptions allowed in text.

## 11. VERTICAL MARQUEE SIGNS (DESIGNATED LOCATIONS ONLY SEE PLAN FOR LOCATIONS)

Shall be used only at specific locations to identify and emphasize visually prominent Tenants. In light of the significant visual impact that is achieved through such signs, the Tenant is required to provide a very high quality design and presentation to the Landlord for review and approval. Any additional structural requirements shall be coordinated with Landlord at Tenant's expense. Vertical Marquee Signs will be mounted to existing architectural fins. Views of the sign shall not be obstructed by awnings or other architectural elements. Such signs shall have at least 10 feet of clearance above finished grade and may extend as high as 60 feet. The Landlord strongly encourages such sign types as:

1. Letter and logo forms to be dimensional in nature, no flat painted sign boxes allowed;
2. Reverse pan channel letters and logos with halo illumination;
3. Three-dimensional artistically sculpted object signs;
4. Two vertical marquee allowed per tenant, but only one marquee allowed per elevation.
5. The vertical marquee sign must not exceed the maximum of 200 square feet and approval will be determined on a case by case basis per the owners discretion. The vertical marquee sign may be submitted by tenant in lieu of the required fascia and / or blade sign requirements.

#### G. PROHIBITED SIGN TYPES

The following sign types and finishes shall be prohibited at The Veranda:

1. Illuminated sign boxes (can signs).
2. Signs with tag lines, slogans, phone numbers, service description, or advertising of products.
3. Monument style signage.
4. Signs with exposed raceways, conduit, junction boxes, transformers visible lamps, tubing, or neon crossovers of any type.
5. Rotating, animated and flashing signs.
6. Signs with exposed structural supports not intended as a design element, except for code-required signs.
7. Pennants, banners, or flags identifying individual tenants.
8. A-frame sandwich boards.
9. Vehicle signs
10. Signs attached, painted on, or otherwise affixed to trees, other living vegetation, landscaping or natural materials.
11. Any sign designed to be moved from place to place.
12. Signs attached, painted or otherwise affixed to awnings (other than those indicated in criteria), tents or umbrellas, however, such signs may be permitted in conjunction with special design review by the Landlord.
13. Balloons and inflatable signs.
14. Signs which emit sound, odor or visible matter, or which bear or contain statements, words or pictures of an obscene, pornographic or immoral character.
15. Back plates behind signage are typically prohibited, but maybe considered on a case-by-case basis. Not to exceed 20% larger than overall max sign dimension and must be an integral part of the sign design.
16. Registered copyright & trademark symbols, ie (R), TM, (C), etc.

#### J. GENERAL SIGNAGE DESIGN GUIDELINES

##### 1. DESIGN OBJECTIVE

1. The primary objective of the sign design criteria is to generate high quality, creative tenant signage. Tenants are encouraged to combine a variety of materials, lighting methods, colors, typestyles, and graphic elements for unique storefront signage at The Veranda.
2. Primary and secondary signs shall be located above or adjacent to entries or storefronts only; exceptions will be considered for corner tenants.
3. All sign concepts are to be generated from "camera-ready" logo artwork prepared by a professional graphic designer, and submitted to the Landlord for approval prior to concept development of any sign.
4. Signs that incorporate creative logos or graphic elements along with the business identity are encouraged.

5. Tenant signs to consist of "Trade Name" and/or logo only. Merchandise or service descriptions are not allowed.

6. Signs, copy and graphic elements shall fit comfortably into sign area, leaving sufficient margins and negative space on all sides. Wall signs shall appear balanced and in scale within the context of the sign space and the building as a whole. Thickness, height, and color of sign lettering shall be visually balanced and in proportion to other signs on the building. In all cases, the copy area shall maintain a margin at least 6" from any edge of the sign face area.

7. Dimensional letters and plaques shall be affixed without visible means of attachment, unless attachments make an intentional design statement and are approved by the Landlord.

8. Any special conditions or deviations from the guidelines in the sign criteria are to be approved in writing after submittal to the Landlord.

#### K. GENERAL SIGNAGE DESIGN GUIDELINES

##### 2. TYPESTYLES

Tenants may adapt established typestyles, logos and/or images that are in use on similar buildings operated by them, provided that said images are architecturally compatible and approved by the Landlord. Type may be arranged in multiple lines of copy and may consist of upper and/or lower case letters.

##### 3. LIGHTING

The use of creative signage lighting is expected and encouraged with the following criteria:

1. Where signs are internally illuminated, light-transmitting surfaces shall be non-gloss, matte materials.
2. Only letters and logos shall transmit light while the back plate or background remains solid opaque. No illuminated backgrounds or boxes are allowed.
3. Lighting for all tenant signs shall be turned off or reduced by Landlord's discretion.
4. Exposed fixtures, shades, or other elements are to contribute to the design of the sign
5. Exposed raceways (unless design elements), conduit, junction boxes, transformers, lamps, tubing, or neon crossovers of any type are prohibited, or must be concealed within the wall.

##### 4. COLORS

1. Signs should be limited to two colors per sign, but will be reviewed by the Landlord for approval if more than two colors are presented on a case by case basis.
2. The color of the letter face and letter return shall be the same and no multi-colored letter faces allowed.
3. Color of letter face and returns are to contrast with building colors for good daytime readability.
4. The interior of open channel letters is to be painted dark when against light backgrounds.
5. All sign colors are subject to review and approval by the Landlord as part of the tenant signage submittal. Variations from these standards must be approved by the Landlord.

##### 5. MATERIALS

1. Acceptable sign material treatments are:
  - a. Dimensional geometric shapes in metal coated or burnished for variety in color and texture
  - b. Painted metal
  - c. Wood
  - d. Screens, grids, or mesh
  - e. Etched or brushed metal
  - f. Cut, abraded, or fabricated steel or aluminum
  - g. Dimensional letterforms with seamless edge treatments
  - h. Glass

2. The following materials are prohibited on all signs:

- a. Sintra
- b. Cardboard
- c. Colored plastics or acrylics
- d. Simulated materials, i.e. wood-grained plastic laminate and wall covering
- e. Trim cap retainers

## K. CONSTRUCTION REQUIREMENTS

### 1. GENERAL

1. All signs shall be designed, installed, illuminated, located, and maintained in accordance with the provisions set forth in these regulations and all other applicable codes and ordinances.
2. All signs must meet all standards set forth by the Veranda Tenant Sign Criteria and must be approved by the Landlord before permit submittal.
3. The tenant must submit one set of plans, with Landlord approval signature, to the city of Concord for permit approval prior to fabrication.
4. The Landlord does not accept the responsibility of checking for compliance with any codes having jurisdiction over the Veranda nor for the safety of any sign, but only for aesthetic compliance with this sign criteria and its intent.

### 2. FABRICATION REQUIREMENTS

1. All sign fabrication work shall be of excellent quality and identical of Class A workmanship. All logo images and typestyles shall be accurately reproduced. Lettering that approximates typestyles shall not be acceptable. The Landlord reserves the right to reject any fabrication work deemed to be below standard.
2. Signs must be made of durable rust-inhibiting materials that are appropriate and complementary to the design of The Veranda.
3. All formed metal, such as letterforms, shall be fabricated using full-weld construction with all joints ground smooth.
4. All ferrous and non-ferrous metals shall be separated with non-conductive gaskets to prevent electrolysis. In addition to gaskets, stainless steel fasteners shall be used to secure ferrous to non-ferrous metals.
5. Threaded rods or anchor bolts shall be used to mount sign letters, which are spaced out from background panel and must be finished to blend with the adjacent surface. Angle clips will not be permitted.
6. Paint colors and finishes must be reviewed and approved by the Landlord. Color coatings shall exactly match the colors specified on the approved plans.
7. Surfaces with color mixes and hues prone to fading (e.g., pastels, complex mixtures, intense reds, yellows and purples) shall be coated with ultraviolet-inhibiting clear coat in a matte or semi-gloss finish.
8. Joining of materials (e.g., seams) shall be finished in such a way as to be unnoticeable. Visible welds shall be continuous and ground smooth. Rivets, screws, and other fasteners that extend to visible surfaces shall be flush, filled, and finished so as to be unnoticeable.
9. Finished surfaces of metal shall be free from canning and warping. All sign finishes shall be free of dust, orange peel, drips, and runs and shall have a uniform surface conforming to the highest standards of the industry.
10. All lighting must match the exact specifications of the approved working drawings.
11. Surface brightness of all illuminated materials shall be consistent in all letters and components of the sign. Light leaks will not be permitted.

12. All conduit, raceways, crossovers, wiring, ballast boxes, transformers, and other equipment necessary for sign connection shall be concealed. All bolts, fastenings and clips shall consist of enameled iron with porcelain enamel finish; stainless steel, anodized aluminum, brass or bronze; or carbon-bearing steel with painted finish. No black iron material will be allowed.

13. Underwriter's Laboratory-approved labels shall be affixed to all electrical fixtures where not visible to pedestrians. Fabrication and installation of electrical signs shall comply with UBC, NEC, and local building and electrical codes.

14. Penetrations into building walls, where required, shall be made waterproof by the tenant's sign contractor.

15. Location of all openings for conduit sleeves and support in sign panels and building walls shall be indicated by the sign contractor on the above shop drawings submitted to the Landlord. Sign contractor shall install the same in accordance with the approved drawings.

16. In no case shall any manufacturer's label or UL labels be visible from the street or from normal viewing angles.

17. Signs illuminated with neon shall use 30 m.a. transformers. The ballast for fluorescent lighting shall be 430 m.a. Fluorescent lamps will be single pin (slimline) with 12" center-to-center lamp separation maximum.

### 3. INSTALLATION GUIDELINES & PROCEDURES

1. Provide the name and address of the sign contractor performing the installation together with a work schedule. This information needs to be provided to the tenant coordinator within 10 working days from signage approval.
2. Please note that any sign vendor decals (advertising) and URL listed decals need to be placed out of public view and all associated screw heads must be painted to match the adjacent sign surface/be concealed.
3. The following guidelines must be adhered for the installation of the new signage:
  - a. All work shall be done during the normal construction hours set for the project.
  - b. The date and time of all installations must be coordinated one (1) week before the commencement of any work.
  - c. No work between 11:00 AM to 1:30 PM without the prior approval of the Landlord.
  - d. Landlord approved pedestrian barricades must be used at all times. Special consideration must be given anytime there is a chance of pedestrians walking under workers or equipment.
  - e. Debris and materials must be kept in an orderly condition and out of the way of pedestrians. Evidence of Contractor's Liability Insurance and Worker's Compensation Coverage. The liability Insurance must name: Greenheart Land Company, and all entities controlling, controlled by, or under common control with either such entity, together with their respective owners, shareholders, partners, members, divisions, officers, directors, employees, representatives and agents, and all of their respective successors and assigns.
4. Provide Insurance certificates for approval. Endorsements must include policy number(s), maintain a rating of A VIII (8) or better in the Best Key Rating Guide for the general liability and automobile insurers and a minimum rating of B+ X for Worker's Compensation. All policies shall provide thirty (30) days prior written notice of any alteration or termination of coverage in the amount of One Million Dollars (\$1,000,000.00) per each occurrence.
5. Please include the property and project names on certificate of insurance.



## L. APPROVALS OF TENANT SIGNAGE

### 1. ARTWORK SUBMITTALS

1. All sign concepts are to be generated from "camera-ready" logo artwork prepared by a professional graphic designer, and submitted to the Landlord for approval prior to development of any signage.

### 2. PRELIMINARY DRAWING SUBMITTAL

1. Prior to shop drawings and sign fabrication, tenant shall submit for Landlord approval three sets of Preliminary drawings reflecting the design of all sign types
2. Sign preliminary drawing shall show sign and building colors.
3. Sign preliminary drawings are to be submitted concurrently with storefront design and awning design. Partial submittals will not be accepted.

### 3. SHOP DRAWING SUBMITTAL

1. Upon approval of concept plans in writing from Landlord, three complete sets of shop drawings are to be submitted for Landlord approval, including:

- a. Fully-dimensioned and scaled shop drawings @ 1/2"=1'-0" specifying exact dimensions, copy layout, typestyles, materials, colors, means of attachment, electrical specifications, and all other details of construction.
- b. Elevations of storefront @ 1/2"=1'-0" showing design, location, size and layout of sign drawn to scale indicating dimensions, attachment devices and construction detail.
- c. Sample board showing colors and materials including building fascia, letter faces, returns, and other details as requested by the Landlord.
- d. Section through letter and/or sign panel @ 1/2"=1'-0" showing the dimensioned projection of the face of the letter and/or sign panel and the illumination.
- e. Cut-sheets of any external light fixtures, including color.
- f. Full-size line diagram of letters and logo may be requested for approval if deemed necessary by the Landlord.
- g. Colored elevations showing representation of actual signage colors as well as actual building colors. Color call-outs to be provided.

2. All Tenant sign shop drawing submittals shall be reviewed by the Landlord for conformance with the sign criteria and with the concept design as approved by the Landlord.

3. Within ten (10) working days after receipt of Tenant's working sign drawings, Landlord shall either approve the submittal contingent upon any required modifications or disapprove Tenant's sign submittal, which approval or disapproval shall remain the sole right and discretion of the Landlord. The Tenant must continue to resubmit revised plans until approval is obtained. A full set of final shop drawings must be approved and stamped by the Landlord prior to permit application or sign fabrication.

4. Requests to establish signs that vary from the provisions of this sign criteria shall be submitted to the Landlord for approval. The Landlord may approve signs that depart from the specific provisions and constraints of this Sign Plan in order to:

- a. Encourage exceptional sign design and creativity.

- b. Accommodate imaginative, unique, and otherwise tasteful signage that is deemed to be within the spirit and intent of the sign criteria.

5. Following Landlord's approval of sign shop drawings and with a wet signature approval attached, Tenant or his agent shall submit to the City of Concord sign plans signed by the Landlord and applications for all permits for fabrication and installation by Sign Contractor. Tenant shall furnish the Landlord with a copy of said approved permits prior to installation of Tenant's sign.

6. Signs shall be inspected upon installation to assure conformance. Any work unacceptable shall be corrected or modified at the Tenant's expense as required by the Landlord.



# PROGRAMMING + SIGN TYPES

## LOCATION PLANS

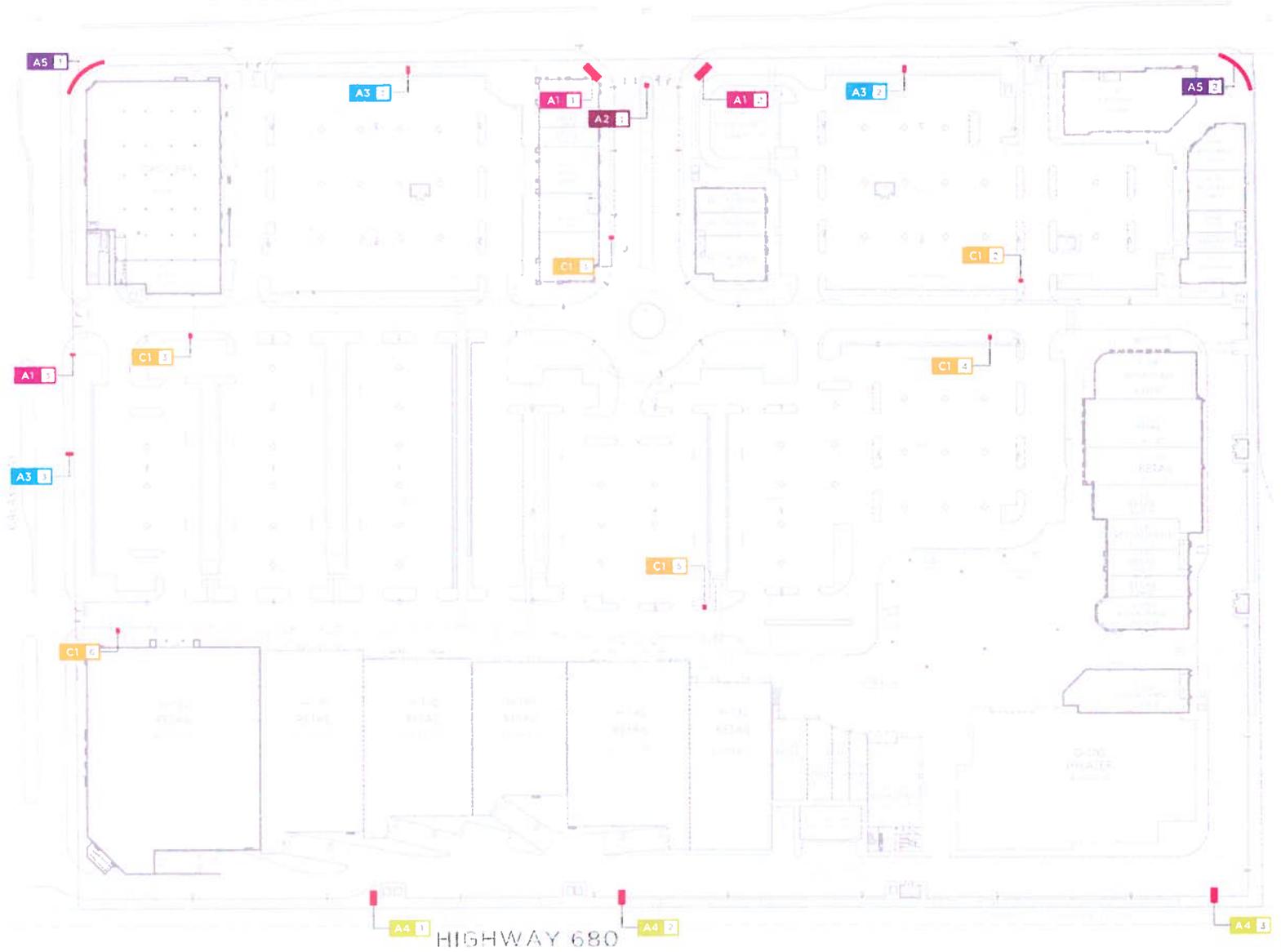
VERANDA - CONCEPT  
SIGN LOCATIONS

**SITE MONUMENT SIGNAGE**

ID	SIGN TYPE
A1	Primary Project Entry Monument
A2	Entry Column with Tenant
A3	Tenant Pylon
A4	Highway Pylon
A5	Wall Identity

**VEHICULAR SIGNAGE**

ID	SIGN TYPE
C1	Vehicular Directional



**SITE MONUMENT SIGNAGE**

			ELECTRICAL	LIGHTING	DIGITAL	NOTES
A1	3	Primary Project Entry Monument	Yes	Internal	No	-
A2	1	Entry Column with Tenant	Yes	Internal	No	-
A3	3	Tenant Pylon	Yes	Internal	No	-
A4	3	Highway Pylon	Yes	Internal	Yes*	-
A5	2	Wall Identity	Yes	Internal	No	-

\* One location has the a digital alternate option

**VEHICULAR SIGNAGE**

ID	QTY	SIGN TYPE	ELECTRICAL	LIGHTING	DIGITAL	NOTES
C1	5	Vehicular Directional	Yes	Internal	No	-



# SECTION A

ENTRY MONUMENTS | TENANT SIGNAGE



## A1 - Primary Entry Monument

**ILLUMINATION:** Internal and External Illumination

**MATERIALS:** Stucco, faux wood, metal

**SIZE AND AREA:**

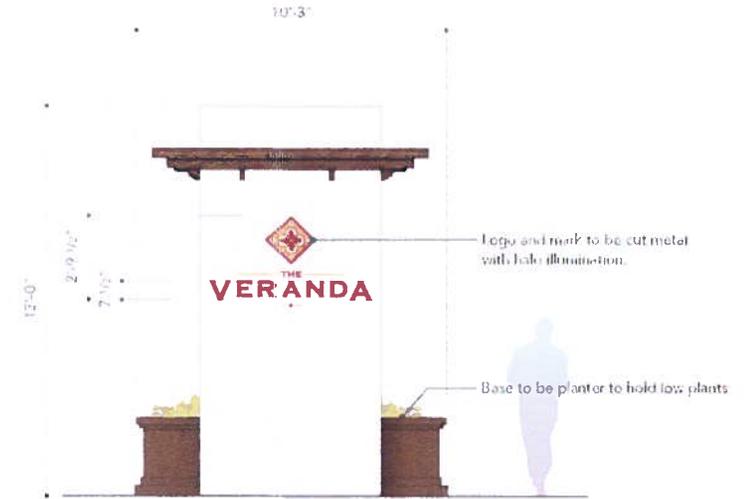
Height: 13'-0"

Width: 27'-11"

Area: 363 sq.ft.



1 A1 Primary Entry Monument - Front View  
Scale: 1/4" = 1'-0"



2 A1 Primary Entry Monument - Front View  
Scale: 1/4" = 1'-0"

## A2 - Entry Column with Tenants

**ILLUMINATION:** Internal illumination

**MATERIALS:** Stucco, faux wood, metal, iron

**SIZE AND AREA:**

Height: 15'-6"

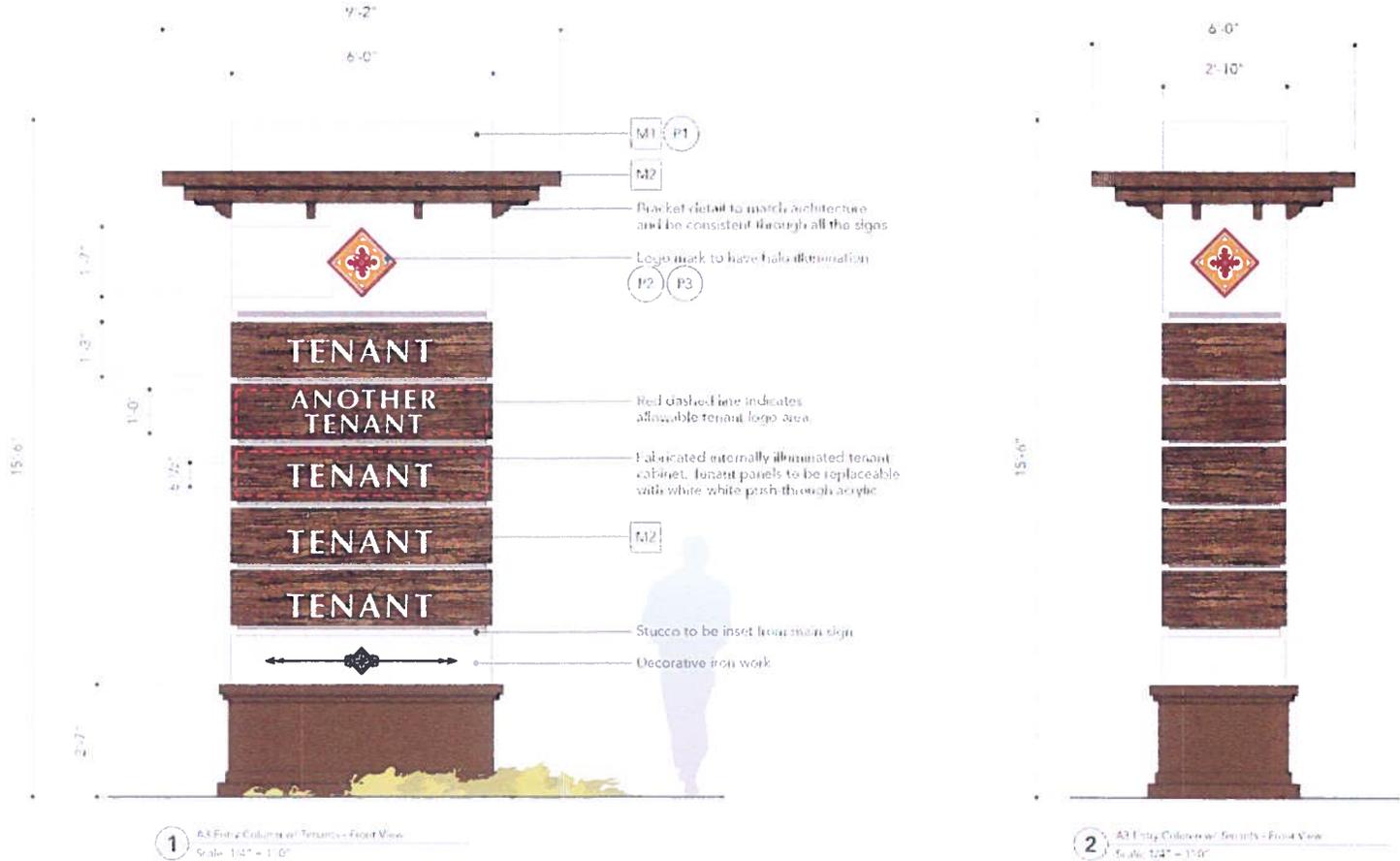
Width: 6'-0"

Area: 93 sq.ft.

**TENANT SIZE AND AREA:**

Max Letter Height: 6 1/2"

Allowable Tenant Area: 5.75 sq.ft.



## A3 - Tenant Pylon

**ILLUMINATION:** Internal illumination

**MATERIALS:** Stucco, faux wood, metal, iron

**SIZE AND AREA:**

Height: 22'-0"

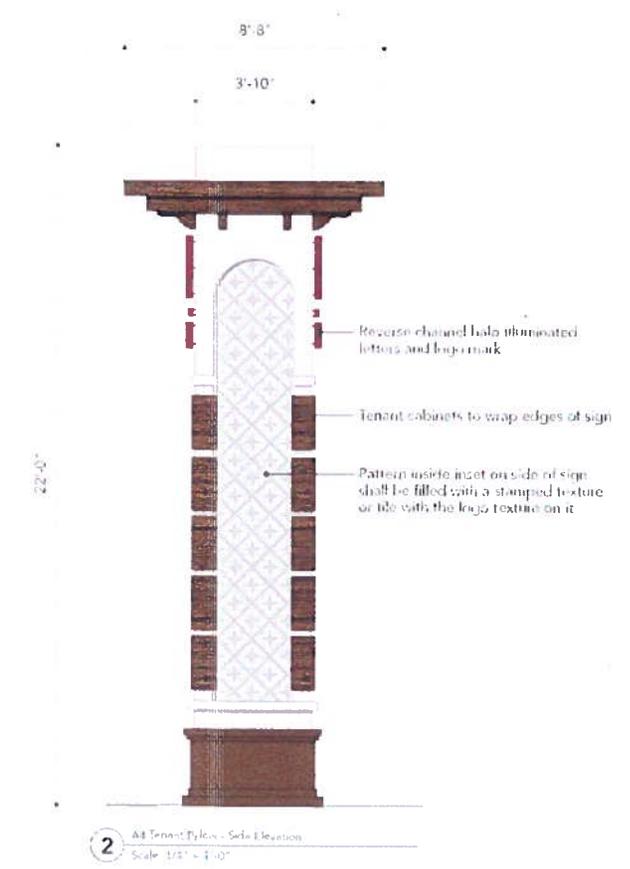
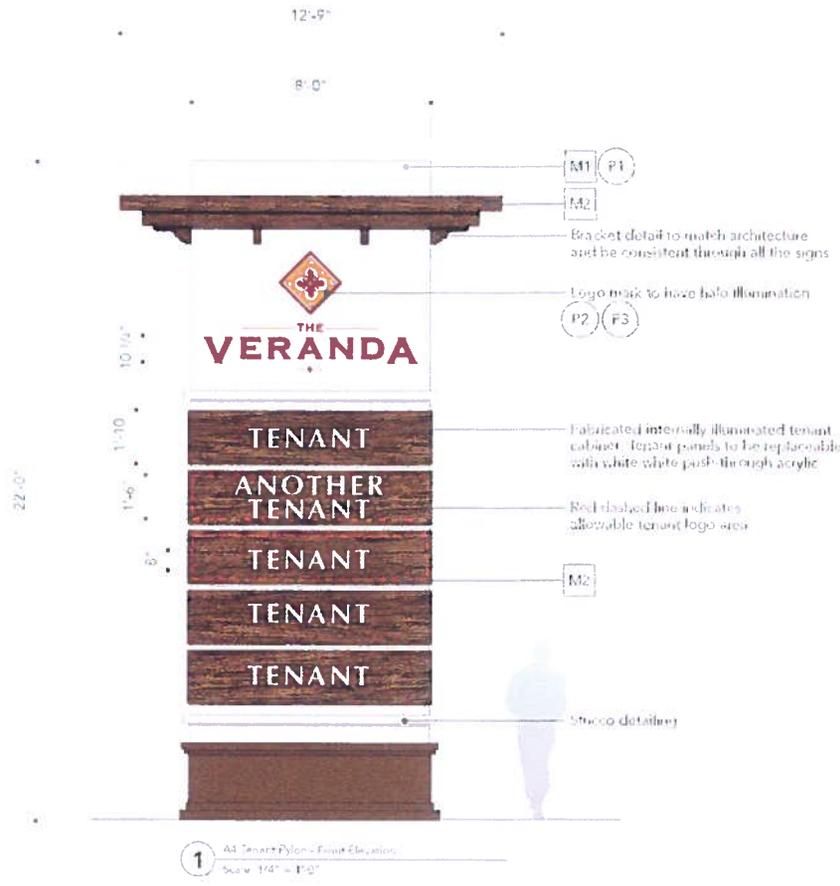
Width: 8'-0"

Area: 176 sq.ft.

**TENANT SIZE AND AREA:**

Max Letter Height: 8"

Allowable Tenant Area: 11 sq.ft.



## A5 - Wall Mounted Identity

**ILLUMINATION:** Internal illumination

**MATERIALS:** Stucco, faux wood, metal, iron

**SIZE AND AREA:**

Height: 22'-0"

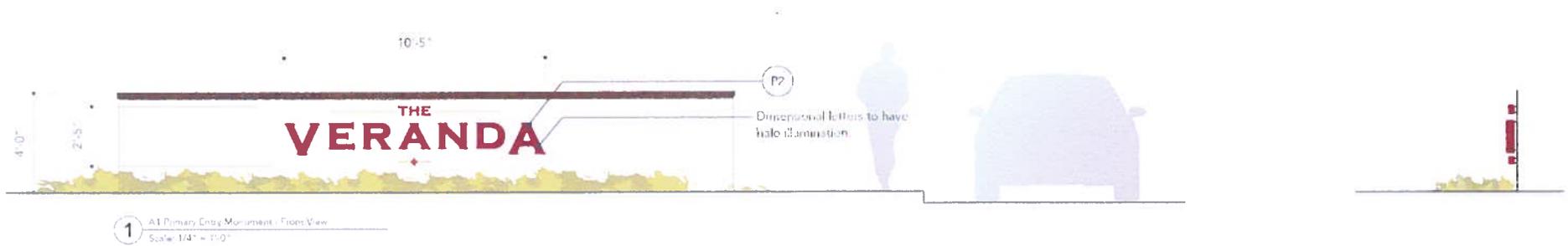
Width: 8'-0"

Area: 176 sq.ft.

**TENANT SIZE AND AREA:**

Max Letter Height: 8"

Allowable Tenant Area: 11 sq.ft.



## C1 - Vehicular Directional

**ILLUMINATION:** Internal illumination

**MATERIALS:** Stucco, faux wood, metal, iron

**SIZE AND AREA:**

Height: 8'-8"

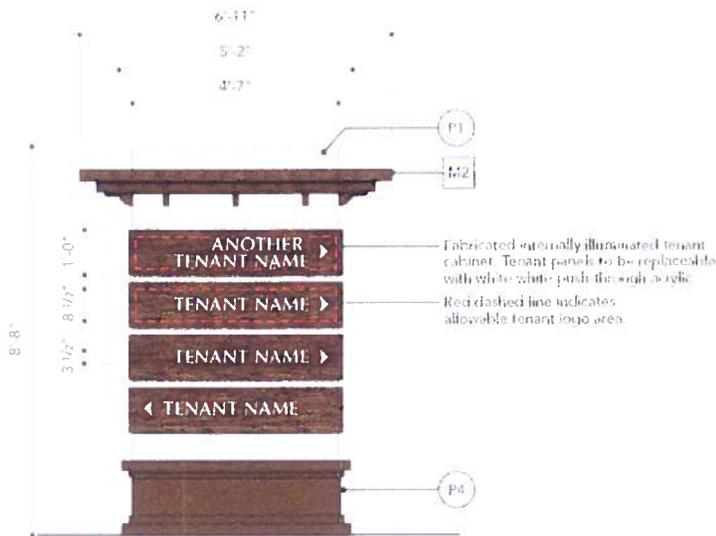
Width: 4'-7"

Area: 40 sq.ft.

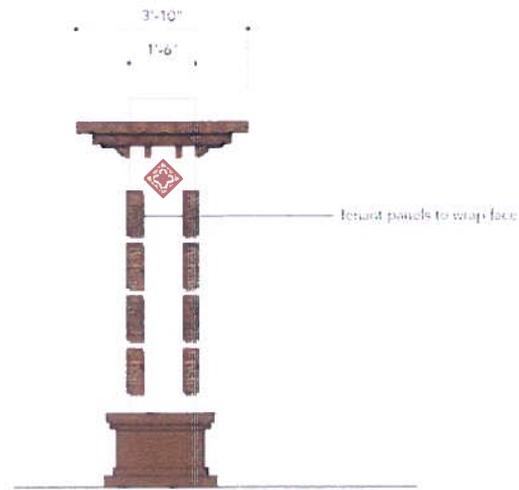
**TENANT SIZE AND AREA:**

Max Letter Height: 3.5"

Allowable Tenant Area: 35 sq.ft.



1 C1 Vehicular Directional - Front Elevation  
Scale: 3/8" = 1'-0"



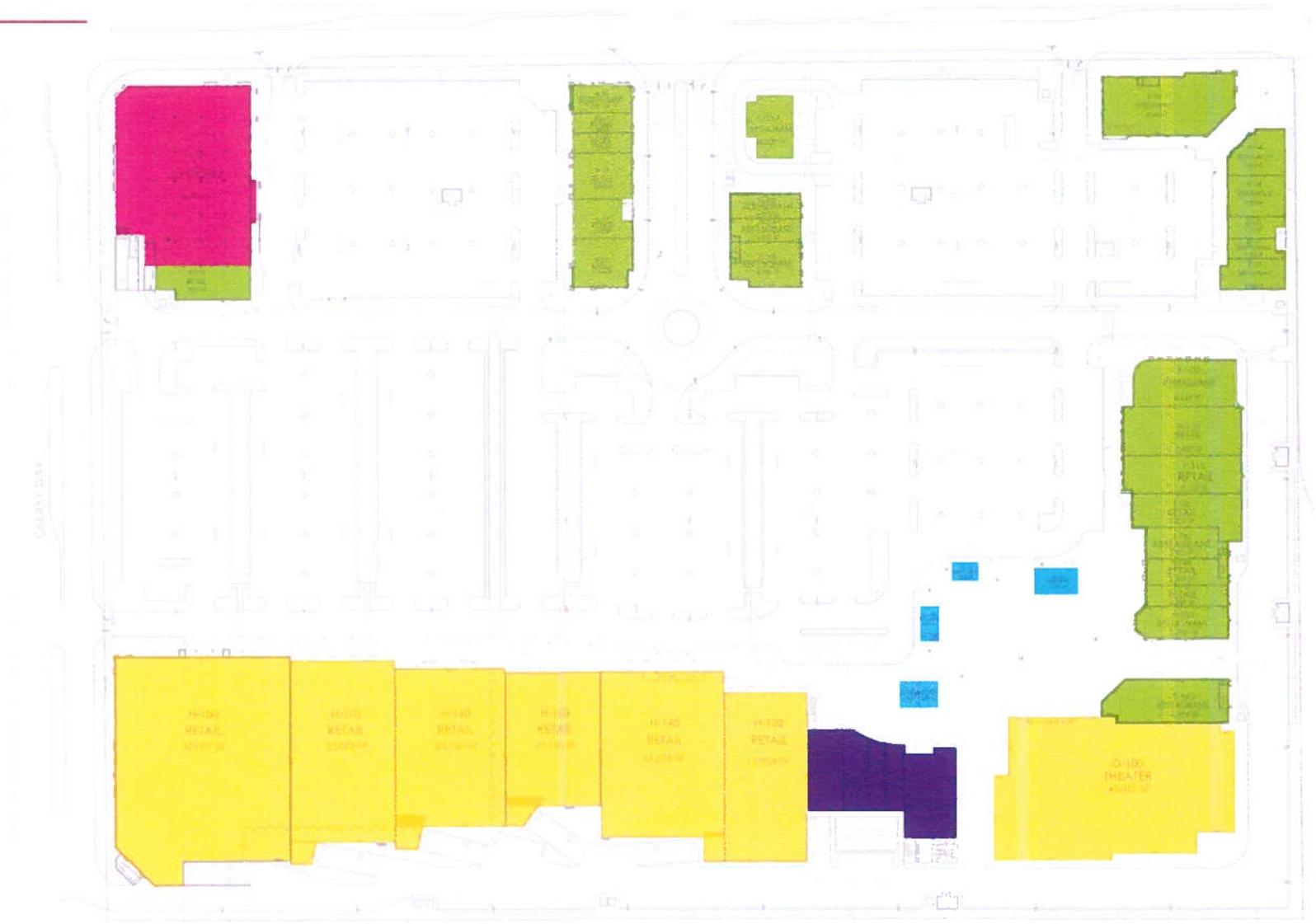
2 C1 Vehicular Directional - Side Elevation  
Scale: 3/8" = 1'-0"



3 C1 Vehicular Directional - Back Elevation  
Scale: 3/8" = 1'-0"

Tenant Zone Plan

- Zone A
- Zone B
- Zone C
- Zone D
- Zone E



## Tenant Signage - Building A

### ZONE A:

#### Primary Tenant Sign Size

Max Letter/Logo Height: 14'

Maximum Square Footage for Primary Sign  
300 sq.ft.

Tenant Signage Area: 2.5 sq.ft./Linear foot

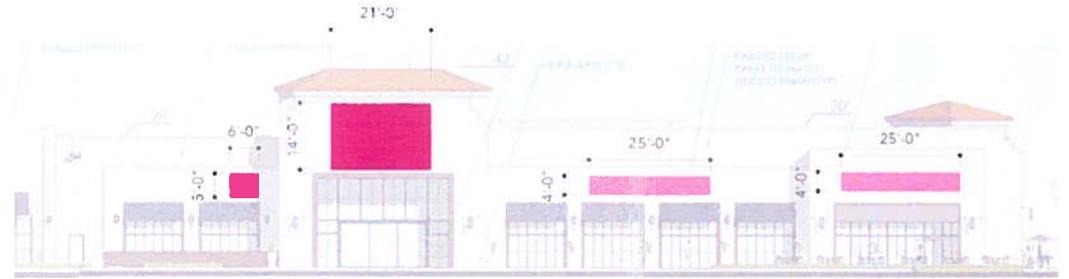
Maximum length shall not exceed more than  
75% of the length or 66% of the height of the  
perceived sign band.

#### Secondary Tenant Sign Size

Maximum Letter/Logo Height: 4'

Maximum length shall not exceed more than  
75% of the length or 66% of the height of the  
perceived sign band.

\*\* Owner shall determine whether the proposed  
signage is consistent with the sign guidelines and  
appropriate for the specific site conditions.



SOUTH ELEVATION - 1



EAST ELEVATION - 2



NORTH ELEVATION - 3



SCALE: 1" = 25'



## Tenant Signage - Building A

### ZONE C:

Max Letter/Logo Height: 3'

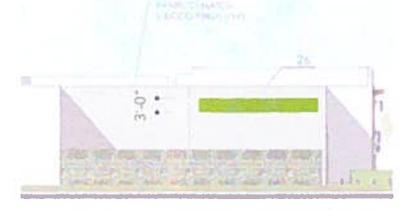
Allowable Tenant Area: 2 sq.ft./linear foot

Maximum length shall not exceed more than 75% of the length or 66% of the height of the perceived sign band.

\*\* Owner shall determine whether the proposed signage is consistent with the sign guidelines and appropriate for the specific site conditions.



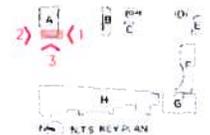
SOUTH ELEVATION - 1



NORTH ELEVATION - 2



WEST ELEVATION - 3



SCALE: 1" = 25'

## Tenant Signage - Building B

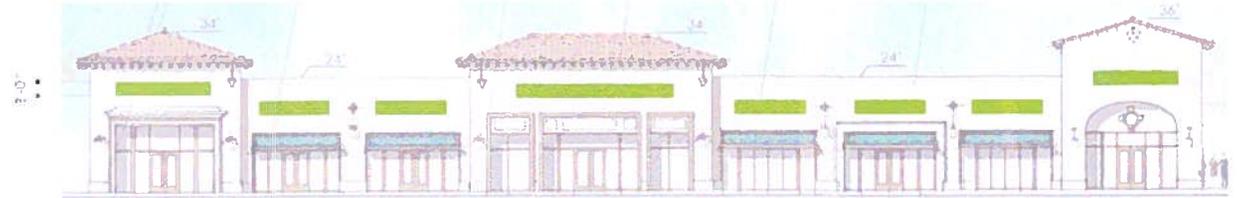
### ZONE C:

Max Letter/Logo Height: 3'

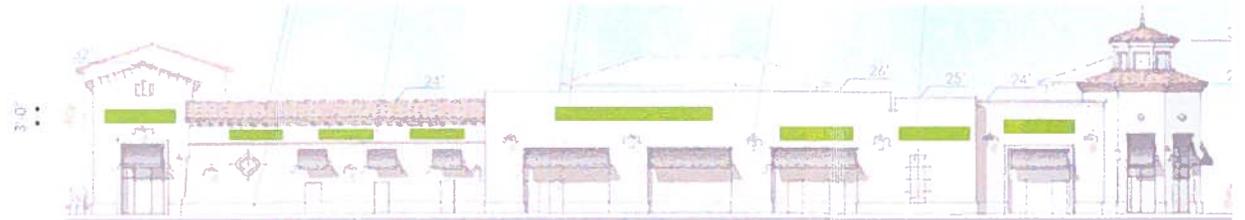
Allowable Tenant Area: 2 sq.ft./linear foot

Maximum length shall not exceed more than 75% of the length or 66% of the height of the perceived sign band.

\*\* Owner shall determine whether the proposed signage is consistent with the sign guidelines and appropriate for the specific site conditions.



NORTH ELEVATION - 1



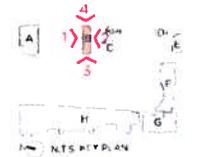
SOUTH ELEVATION - 2



WEST ELEVATION - 3



EAST ELEVATION - 4



SCALE: 1" = 25'

## Tenant Signage - Building C + PD

### ZONE C:

Max Letter/Logo Height: 3'

Allowable Tenant Area: 2 sq.ft./linear foot

Maximum length shall not exceed more than 75% of the length or 66% of the height of the perceived sign band.

\*\* Owner shall determine whether the proposed signage is consistent with the sign guidelines and appropriate for the specific site conditions.

### BUILDING PD



WEST ELEVATION -1



SOUTH ELEVATION -2

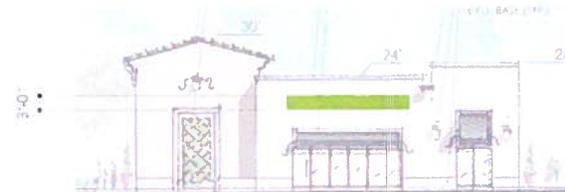


EAST ELEVATION -3



NORTH ELEVATION -4

### BUILDING C



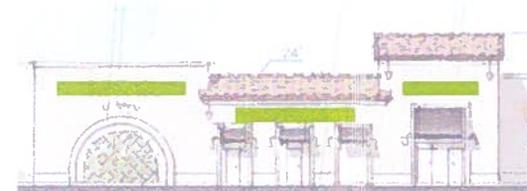
WEST ELEVATION -1



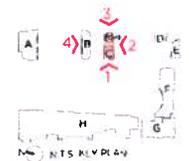
SOUTH ELEVATION -2



EAST ELEVATION -3



NORTH ELEVATION -4



SCALE: 1" = 25'



## Tenant Signage - Building D + E

### ZONE C:

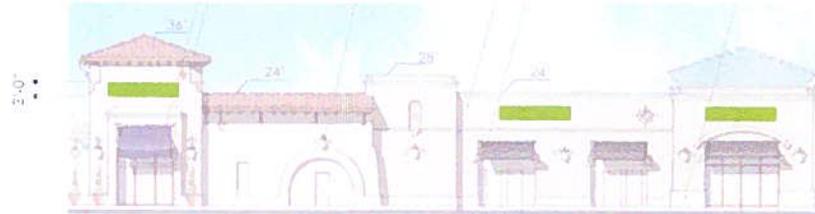
Max Letter/Logo Height: 3'

Allowable Tenant Area: 2 sq ft./linear foot

Maximum length shall not exceed more than 75% of the length or 66% of the height of the perceived sign band.

\*\* Owner shall determine whether the proposed signage is consistent with the sign guidelines and appropriate for the specific site conditions.

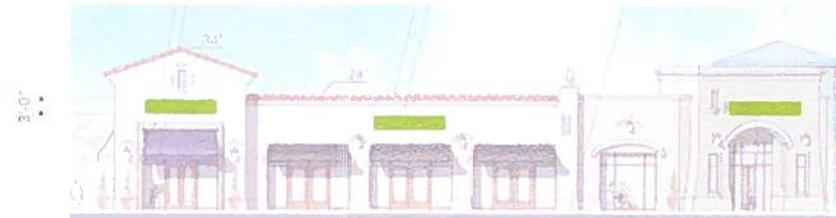
### BUILDING D



EAST ELEVATION -1



NORTH ELEVATION -2



WEST ELEVATION -3



SOUTH ELEVATION -4

### BUILDING E



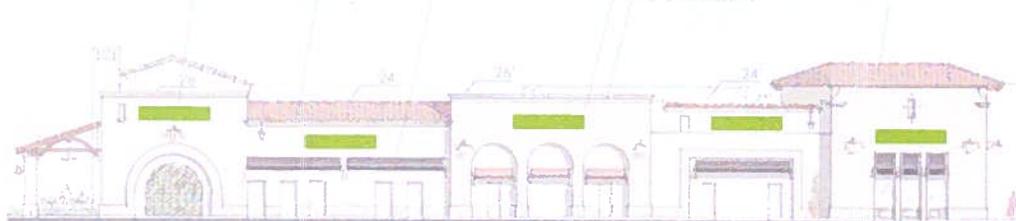
EAST ELEVATION -1



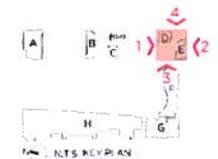
NORTH ELEVATION -2



WEST ELEVATION -3



SOUTH ELEVATION -4



SCALE: 1" = 25'

## Tenant Signage - Building F

### ZONE C:

Max Letter/Logo Height: 3'

Allowable Tenant Area: 2 sq.ft./linear foot

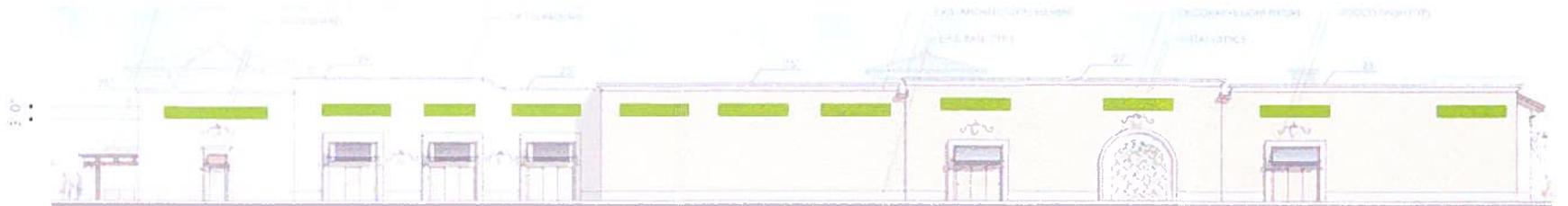
Maximum length shall not exceed more than 75% of the length or 66% of the height of the perceived sign band.

\*\* Owner shall determine whether the proposed signage is consistent with the sign guidelines and appropriate for the specific site conditions.

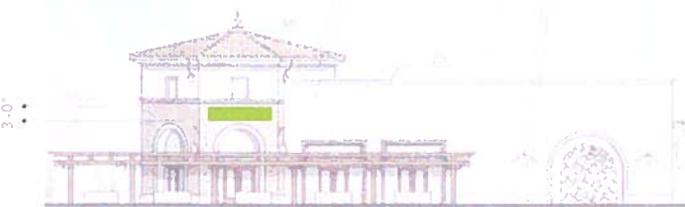
## BUILDING F



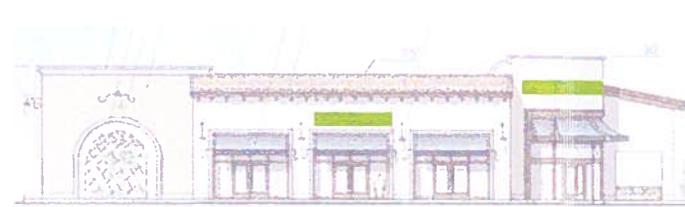
NORTH ELEVATION - 1



SOUTH ELEVATION - 3



WEST ELEVATION - 2



EAST ELEVATION - 4



SCALE: 1" = 25'

## Tenant Signage - Building G

**ZONE C:**

Max Letter/Logo Height: 3'

Allowable Tenant Area: 2 sq.ft./linear foot

Maximum length shall not exceed more than 75% of the length or 66% of the height of the perceived sign band.

\*\* Owner shall determine whether the proposed signage is consistent with the sign guidelines and appropriate for the specific site conditions.

BUILDING G



EAST ELEVATION -2



NORTH ELEVATION -1



SOUTH ELEVATION -3



SCALE: 1" = 25'



## Tenant Signage - Building G

### ZONE B:

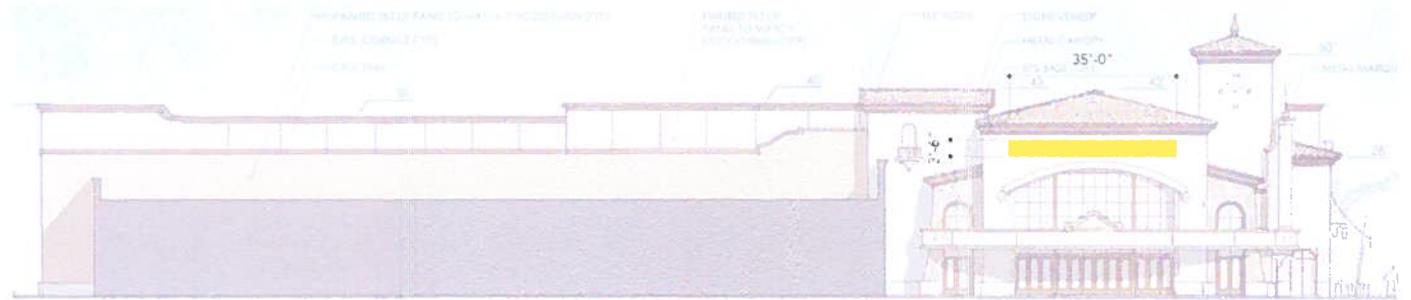
Max Letter/Logo Height: 14'

Allowable Tenant Area: 2 sq.ft./linear foot

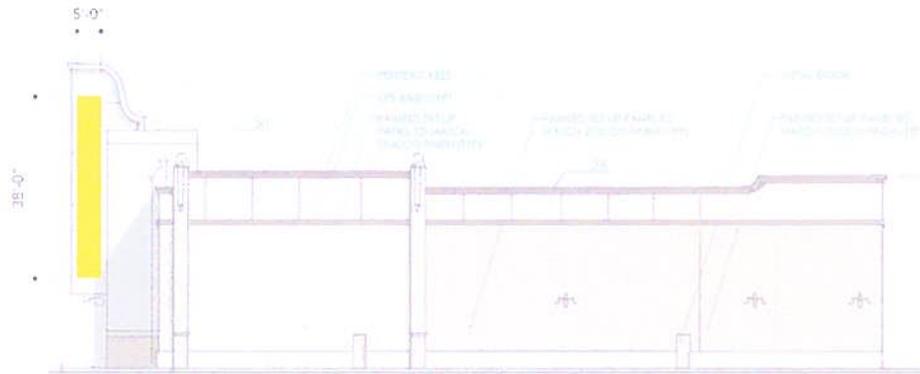
Tenant allowed vertical fin or marquee primary identity signs.

Maximum length shall not exceed more than 75% of the length or 66% of the height of the perceived sign band.

\*\* Owner shall determine whether the proposed signage is consistent with the sign guidelines and appropriate for the specific site conditions.



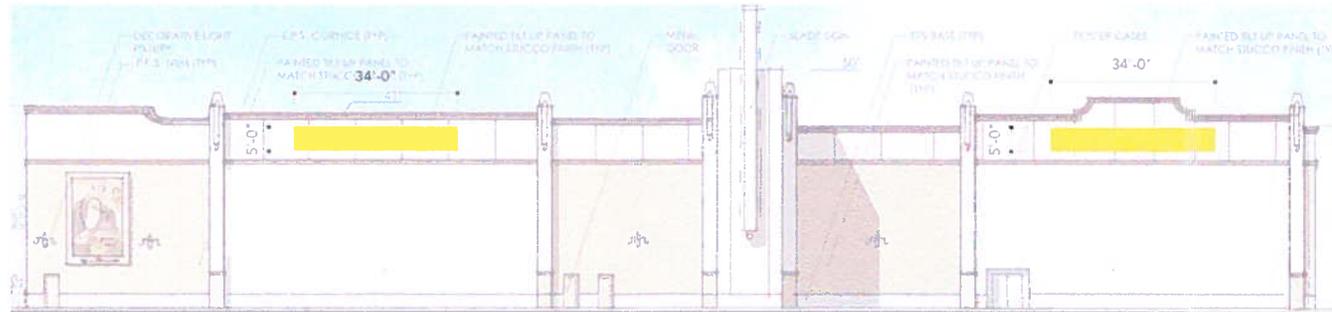
EAST ELEVATION-1



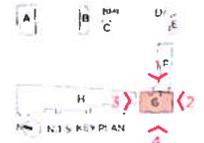
SOUTH ELEVATION - 2



NORTH ELEVATION - 3



WEST ELEVATION - 4



SCALE: 1" = 25'

## Tenant Signage - Building H Corner Tenant

### ZONE B:

Max Letter/Logo Height: 5'

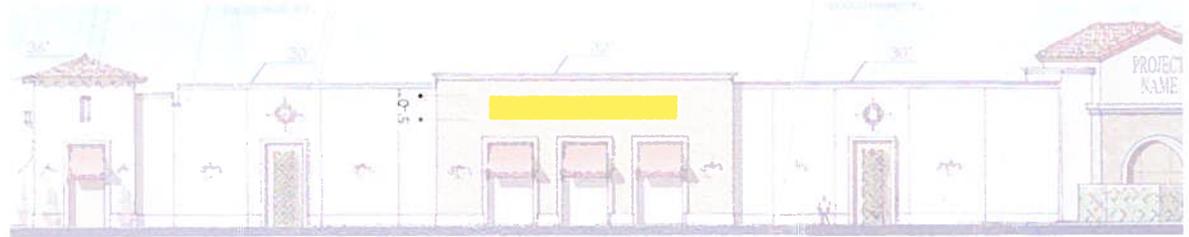
Allowable Tenant Area: 2 sq.ft./linear foot

Maximum length shall not exceed more than 75% of the length or 66% of the height of the perceived sign band

\*\* Owner shall determine whether the proposed signage is consistent with the sign guidelines and appropriate for the specific site conditions.



EAST ELEVATION - 1



WEST ELEVATION - 2



SCALE: 1" = 25'

## Tenant Signage - Building H Front Elevation

### ZONE B:

Max Letter/Logo Height: 5'

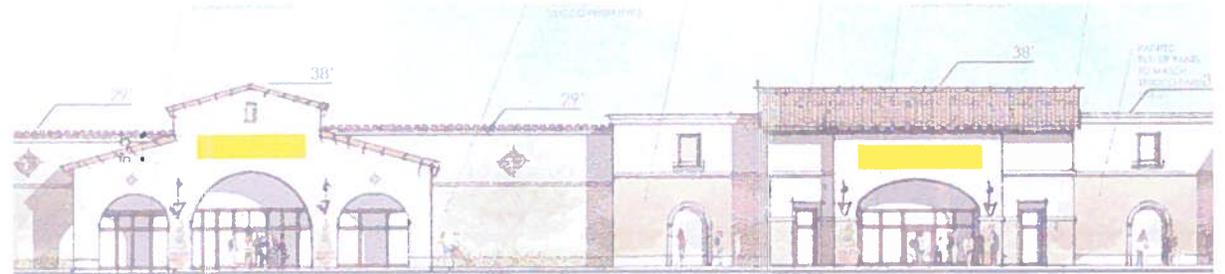
Allowable Tenant Area: 2 sq.ft./linear foot

Maximum length shall not exceed more than 75% of the length or 66% of the height of the perceived sign band.

\*\* Owner shall determine whether the proposed signage is consistent with the sign guidelines and appropriate for the specific site conditions.



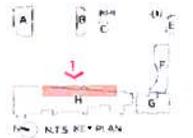
EAST ELEVATION - 1



EAST ELEVATION - 1



EAST ELEVATION - 1



SCALE: 1" = 25'

## Tenant Signage - Building H Back Elevation

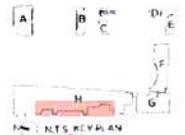
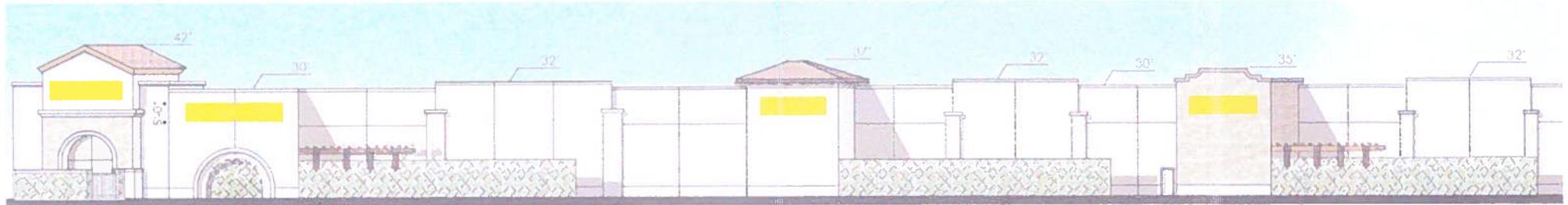
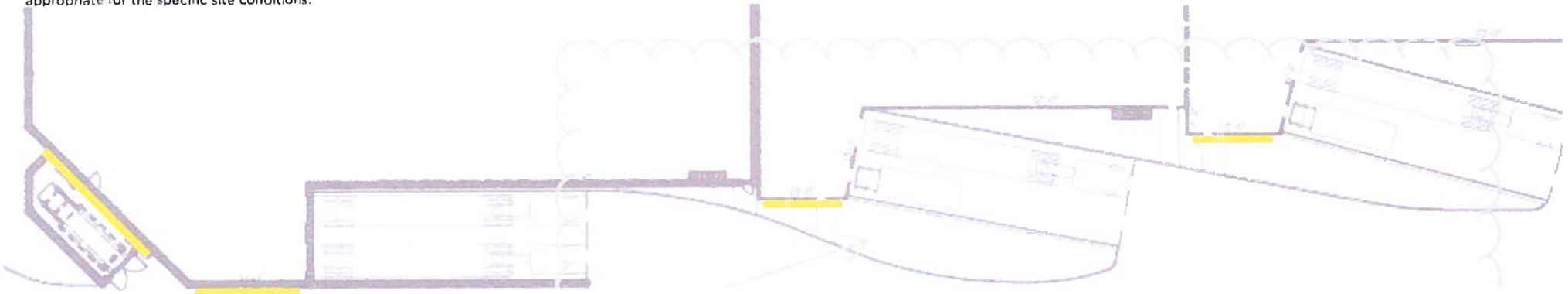
### ZONE B:

Max Letter/Logo Height: 5'

Allowable Tenant Area: 1 sq.ft./linear foot

Maximum length shall not exceed more than 75% of the length or 66% of the height of the perceived sign band

\*\* Owner shall determine whether the proposed signage is consistent with the sign guidelines and appropriate for the specific site conditions.



SCALE: 1" = 25'

## Tenant Signage - Building H Back Elevation

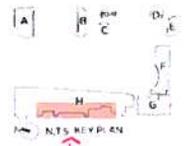
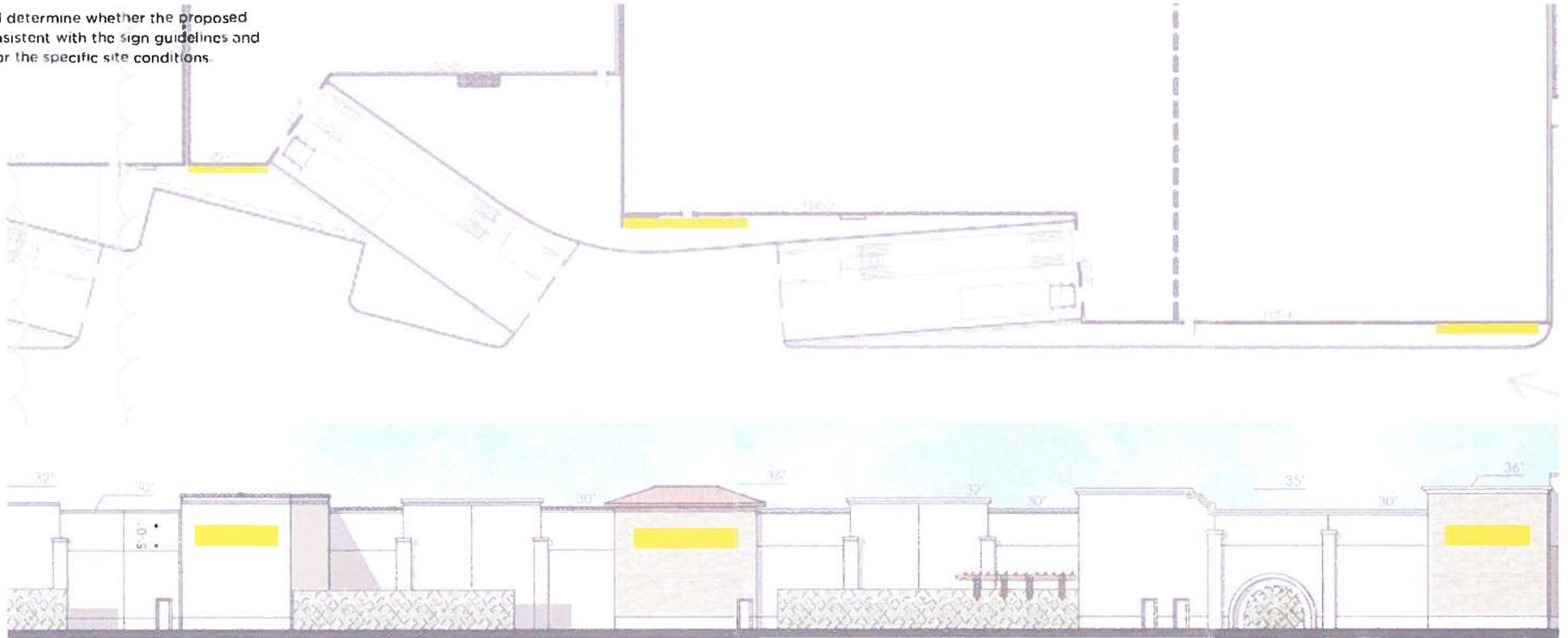
### ZONE B:

Max Letter/Logo Height: 5'

Allowable Tenant Area: 1 sq.ft./linear foot

Maximum length shall not exceed more than 75% of the length or 66% of the height of the perceived sign band

\*\* Owner shall determine whether the proposed signage is consistent with the sign guidelines and appropriate for the specific site conditions.



SCALE: 1" = 25'

## Tenant Signage - Building H Small Tenants

### ZONE D:

Max Letter/Logo Height: 2'

Allowable Tenant Area: 1 sq.ft./linear foot

Maximum length shall not exceed more than 75% of the length or 66% of the height of the perceived sign band.

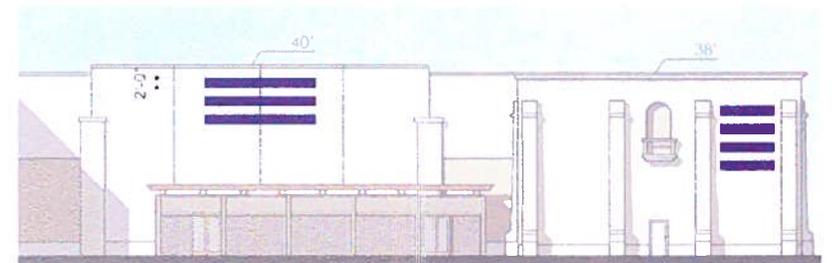
\*\* Owner shall determine whether the proposed signage is consistent with the sign guidelines and appropriate for the specific site conditions.



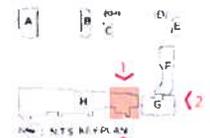
EAST ELEVATION - 1



SOUTH ELEVATION - 2



WEST ELEVATION - 3



SCALE: 1" = 25'

## Tenant Signage - Small Structures

### ZONE E:

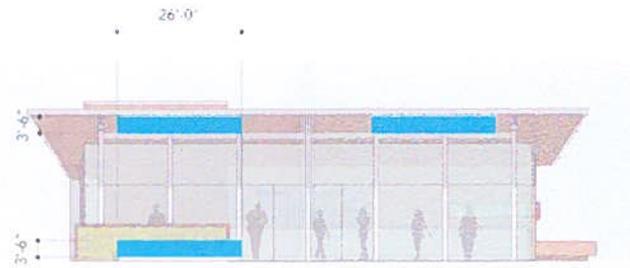
Max Letter/Logo Height: 3'6"

Allowable Tenant Area: 2 sq.ft./linear foot

Due to a need for creative signage, the typical limits of 75% of the length or 66% of the height of the perceived sign band does not pertain to these tenants. Signage for this zone is permitted to sit vertically or horizontally on building.

All signage is subject to landlord approval prior to city submittal.

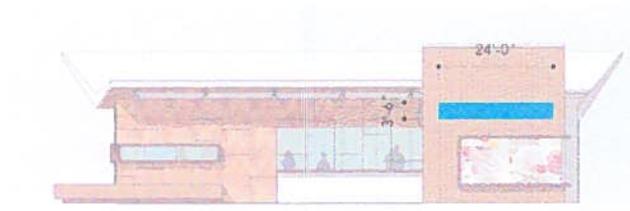
\*\* Owner shall determine whether the proposed signage is consistent with the sign guidelines and appropriate for the specific site conditions.



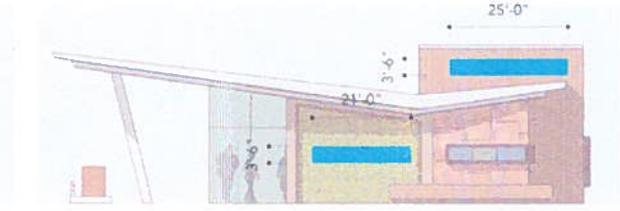
PV-10 FRONT



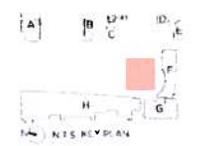
PV-10 LEFT



PV-10 REAR



PV-10 RIGHT



SCALE: 1" = 25'

# SECTION B

PYLON SIGNAGE



## A4 - Highway Pylon

**ILLUMINATION:** Internal illumination

**MATERIALS:** Stucco, faux wood, metal, iron

**SIZE AND AREA:**

Height: 50'-0"

Width: 15'-8"

Area: 783 sq.ft.

**TENANT SIZE AND AREA:**

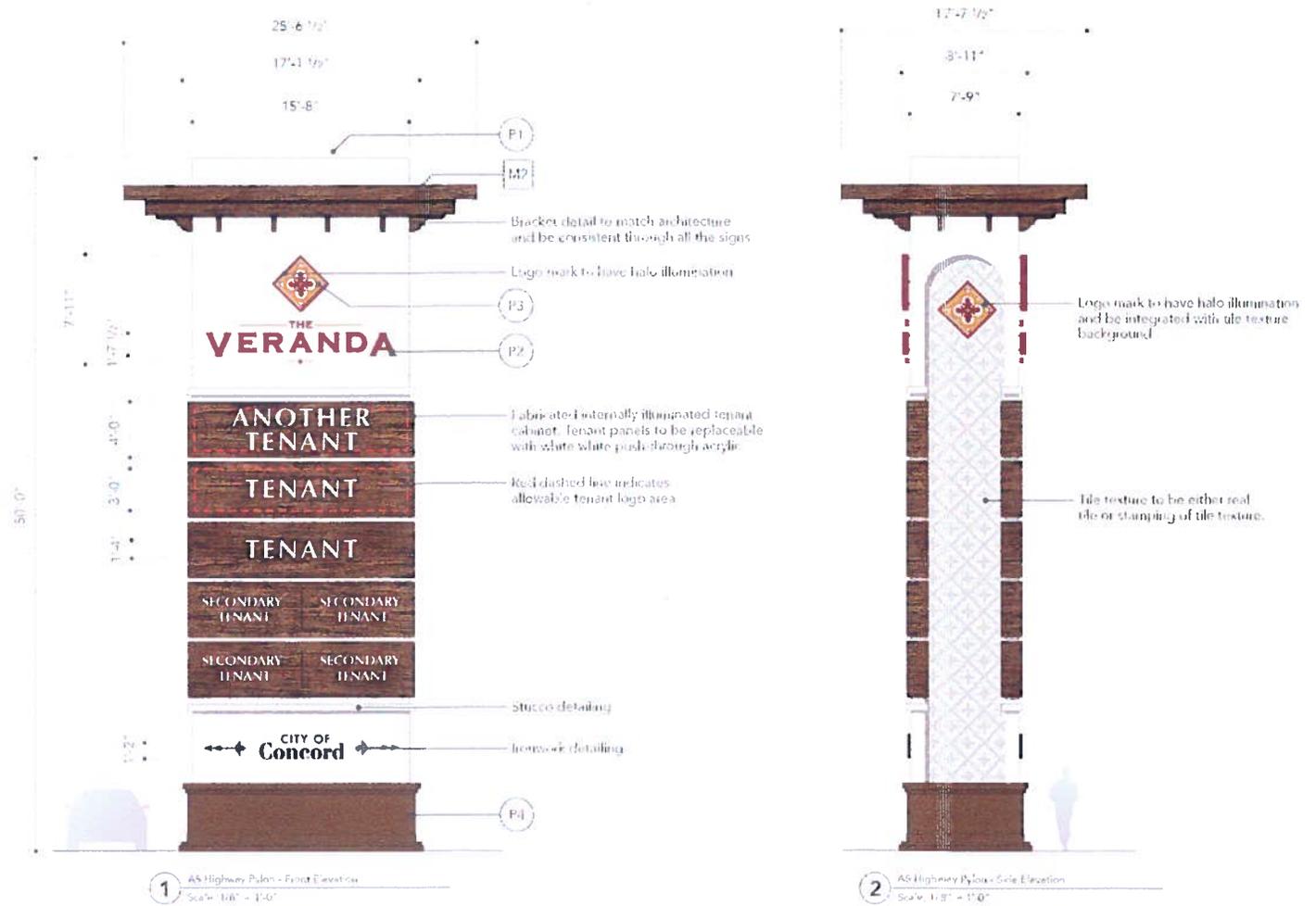
Max Letter Height: 16"

Allowable Tenant Area: 46 sq.ft.

**CODE:**

Code States: Freeway signs are prohibited per code.

Purpose: The scale and orientation of these signs are necessary to draw in customers passing along the freeway. Because the site is hidden off the freeway, these pylons are needed for identification and visibility.



# SECTION C

DIGITAL PYLON SIGNAGE



## A4 - Highway Pylon

**ILLUMINATION:** Internal illumination

**MATERIALS:** Stucco, faux wood, metal, iron

**SIZE AND AREA:**

Height: 50'-0"

Width: 30'-5"

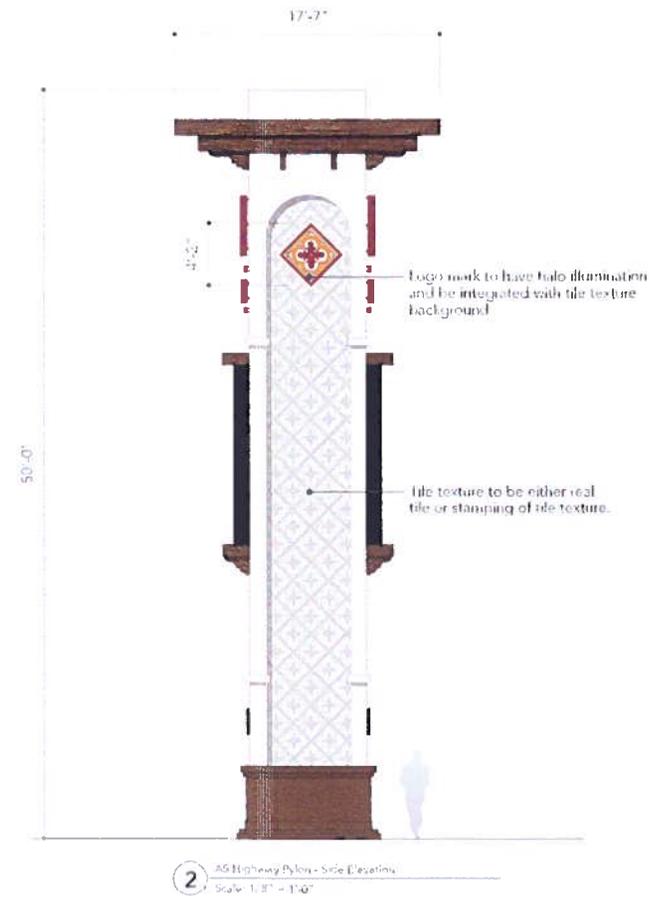
Area: 783 sq.ft.

**DIGITAL SIZE AND AREA:**

Height: 12'-0"

Width: 24'-0"

Area: 288 sq.ft.



Option 1

## A4 - Highway Pylon

**ILLUMINATION:** Internal illumination

**MATERIALS:** Stucco, faux wood, metal, iron

**SIZE AND AREA:**

Height: 50'-0"

Width: 30'-5"

Area: 783 sq.ft.

**DIGITAL SIZE AND AREA:**

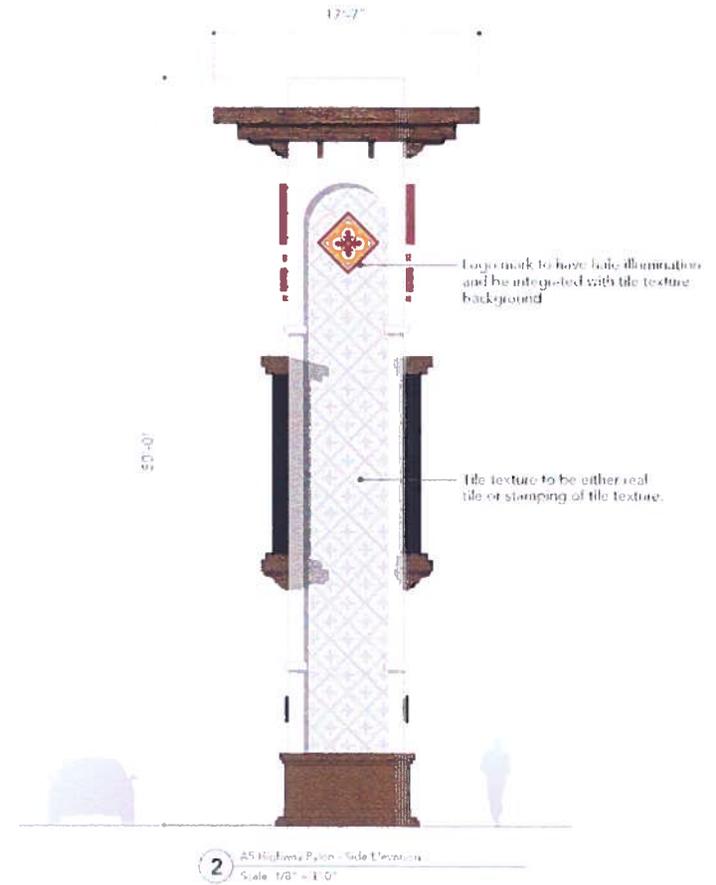
Height: 12'-0"

Width: 24'-0"

Area: 288 sq.ft.



## Option 2



# SECTION D

BACK OF BUILDING ADVERTISING



## Graphic Posters Back of Building - H

### SUPER GRAPHIC GUIDELINES

**ILLUMINATION:** On Building H only

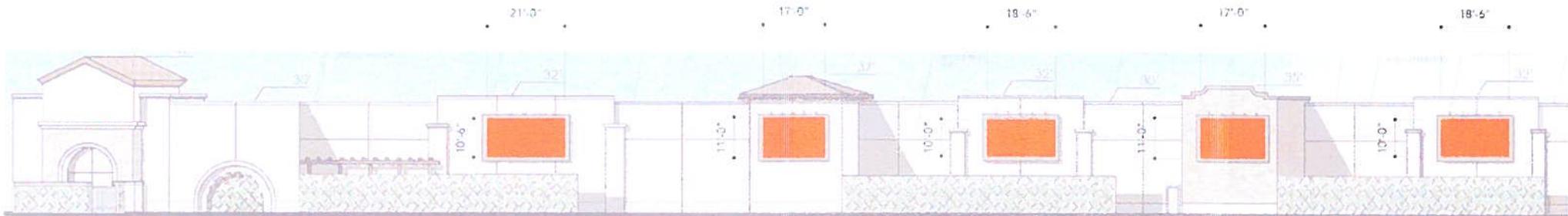
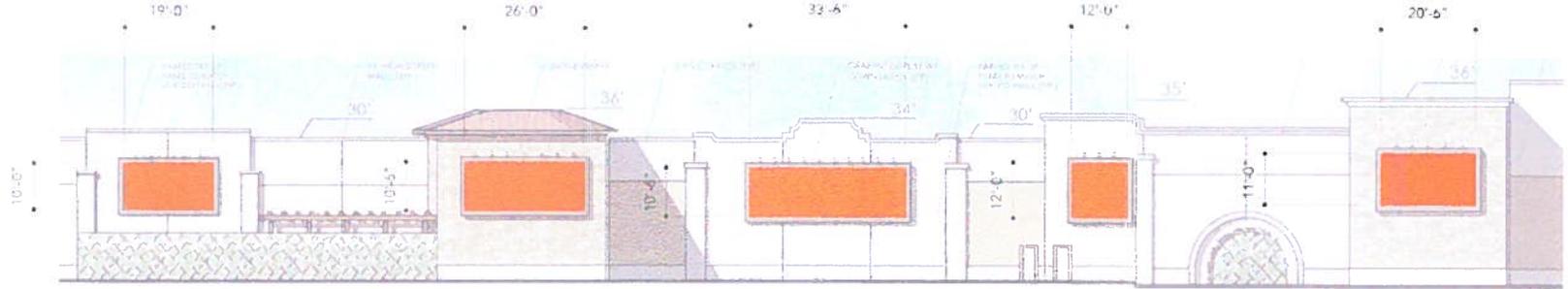
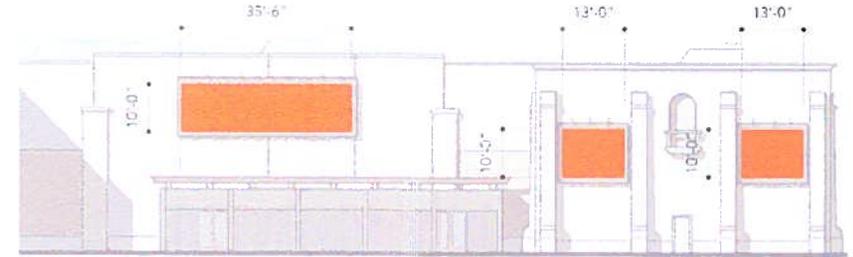
Seasonal/Holiday themed graphic imagery

Local community event graphic or imagery

Externally illuminated

Size: See attached size exhibit

\*\* Owner shall determine whether the proposed signage is consistent with the sign guidelines and appropriate for the specific site conditions.



GRAPHIC PANEL INFORMATION PROVIDED BY ARCHITECTS ORANGE

SCALE: 1" = 25'

## Graphic Posters Back of Building - G

### SUPER GRAPHIC GUIDELINES

**ILLUMINATION:** On Building G only

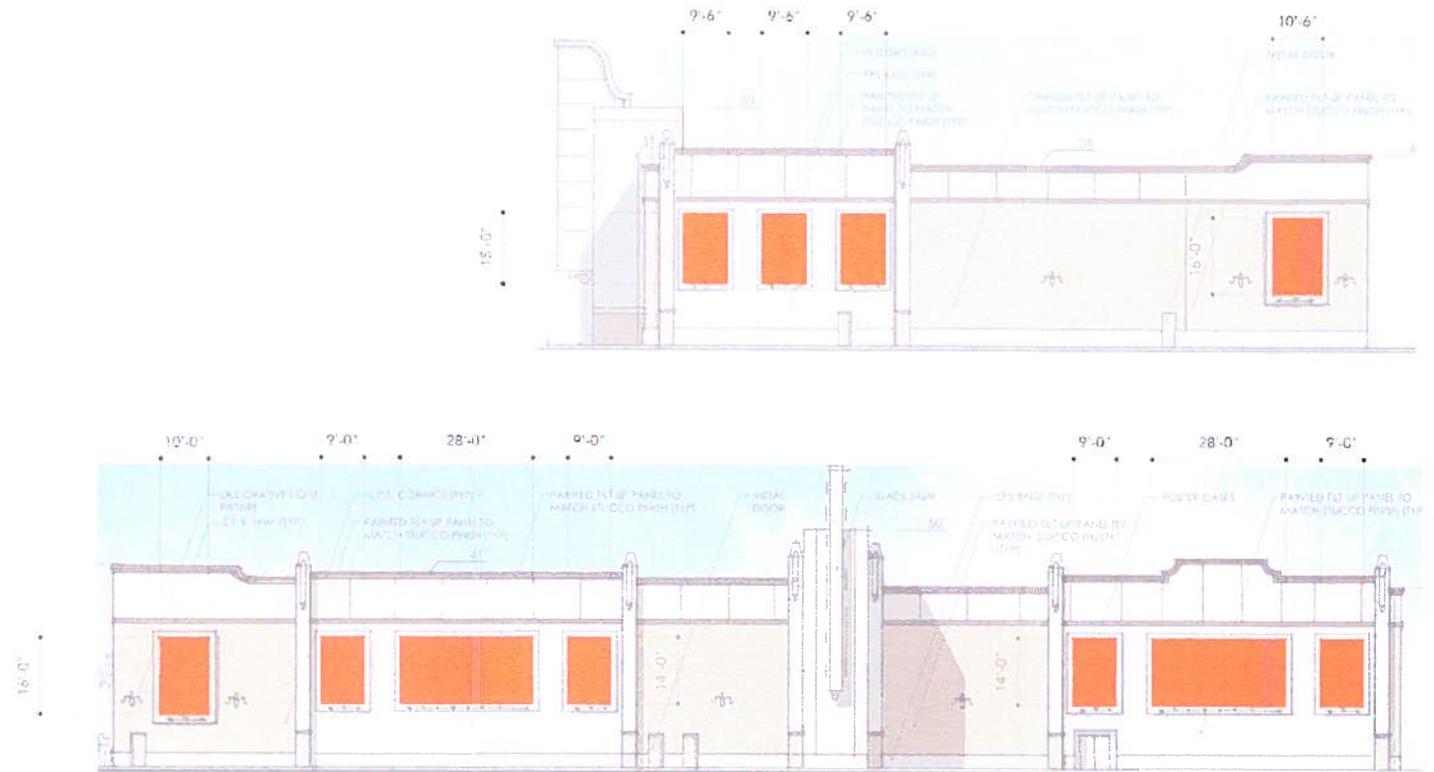
Movie Posters

Local community event graphic or imagery

Externally illuminated

Size: See attached size exhibit

\*\* Owner shall determine whether the proposed signage is consistent with the sign guidelines and appropriate for the specific site conditions.



GRAPHIC PANEL INFORMATION PROVIDED BY ARCHITECTS ORANGE

SCALE: 1" = 25'

# SECTION E

REGULATORY SIGNAGE



